

Brisbane Road, Mooloolaba

Architectural Plan Package

06.02.2018



01 Overview

Development Summary

Site Definition	
Address	7,9,13, 15 First Avenue and 11 Smith Street, Mooloolaba
Lot Description	Lots 64 to 69 on RP52440 Lots 73, 92 and 93 on RP73433

Site Cover	sqm	%
Site Area	6778	
Ground Floor Site Cover	6195	91%
Podium Site Cover	6660	98%
Tower Site Cover	3595	53%

Landscaping (Planted Area)	sqm	%
Ground Floor	54	1%
Levels 1 to 4	213	3%
Level 5	1460	22%
Total Landscape Area	1727	25%

Unit Summary	Care Studio	Studio	1B	2B	3B	Total
Residential	-	-	24	42	30	96
Retirement	30	-	10	82	5	127
Hotel	-	103	-	1	-	104

GFA Summary	sqm
Commercial / Retail	
Supermarket	2997
Shop / Food & Drink Outlet	624
Residential, Retirement & Hotel	30044
Total GFA	33665

Carpark Summary	
Basement Public Parking	300
Podium Public Spaces (including retail and hotel)	404
Retirement and Residential	243
Total Carpark Spaces	947

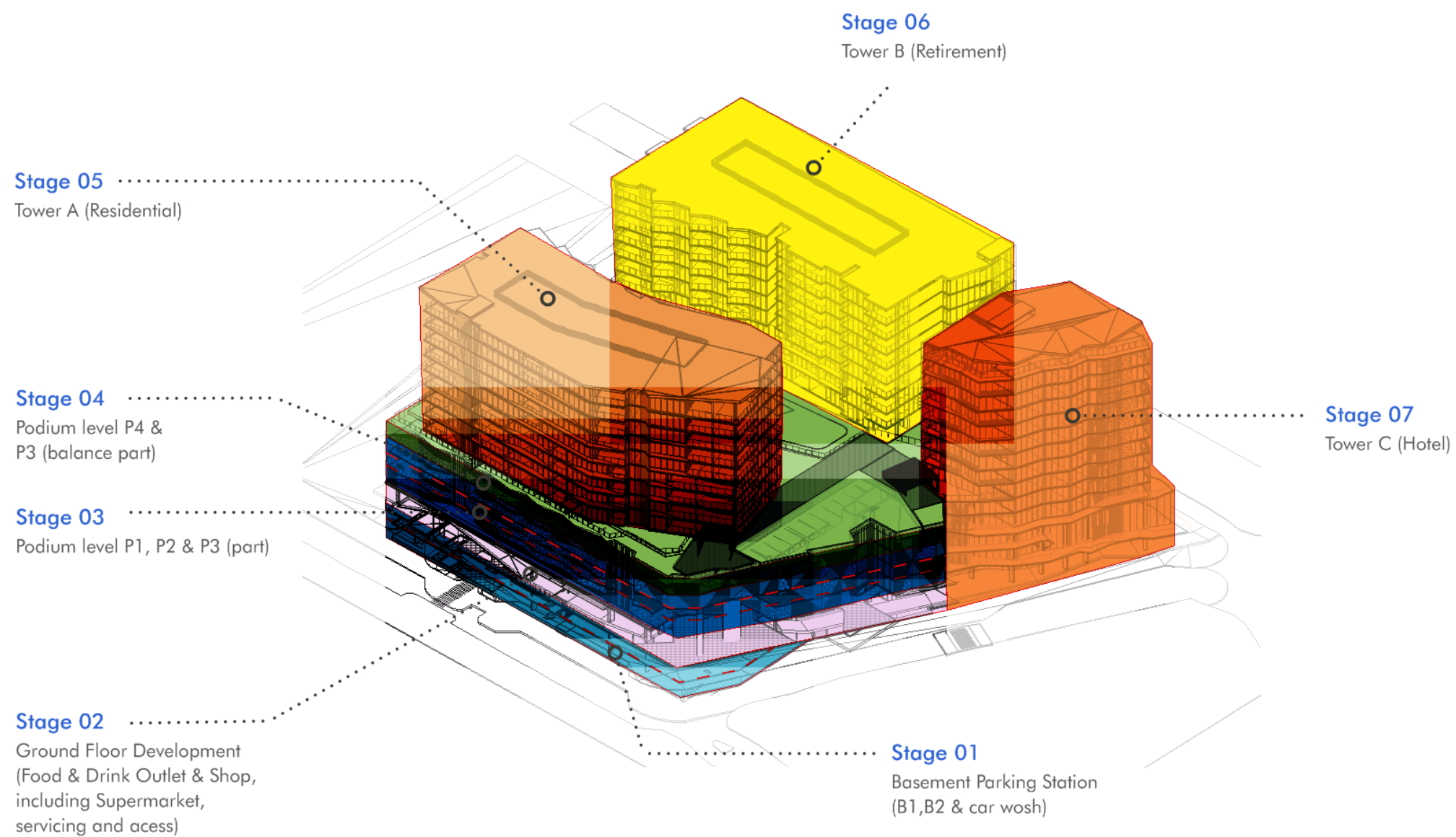
Public Motorbike Spaces	23
Retirement and Residential Motorbike Spaces	8
Total Motorbike Spaces	31

Public Use Bicycle Spaces	119
Residential / Retirement Use Bicycle Spaces	89
Total Bicycle Spaces	208



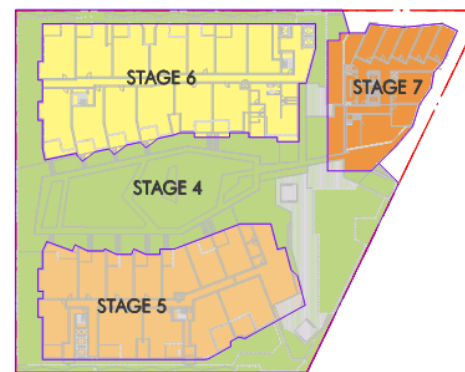
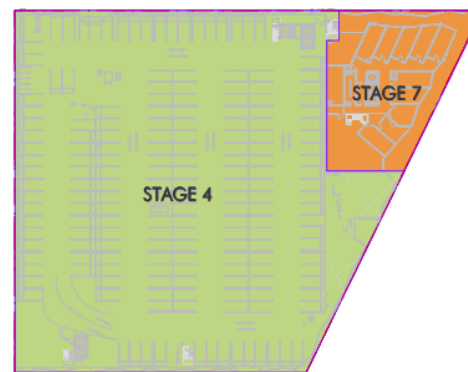
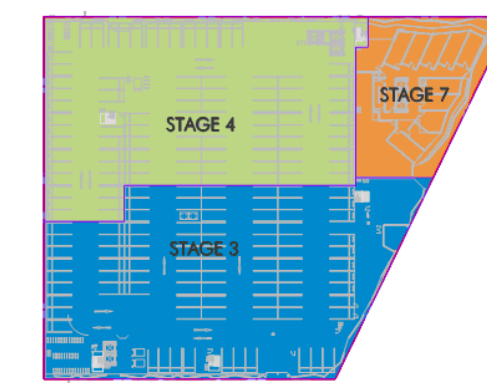
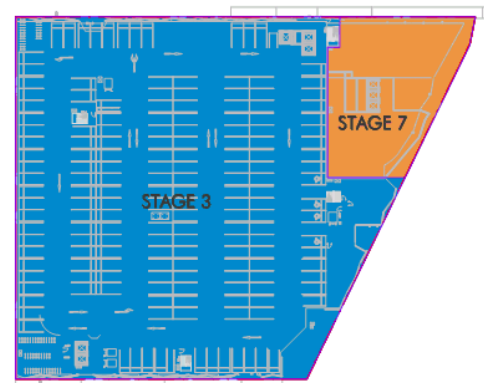
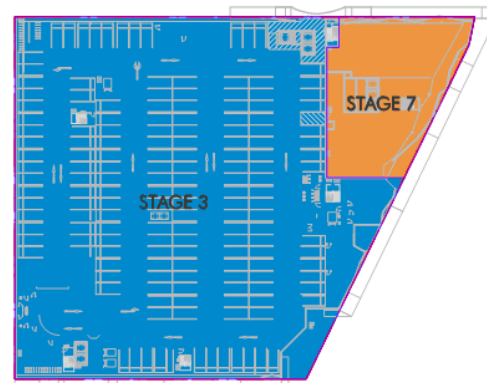
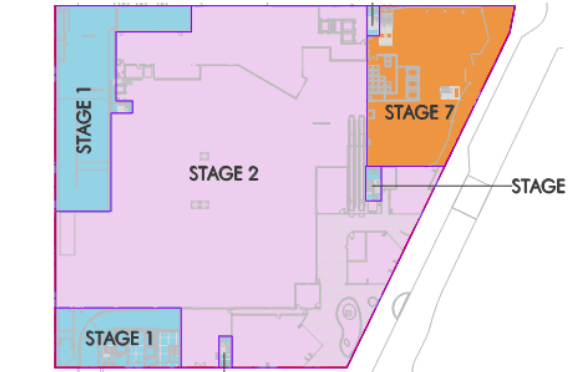
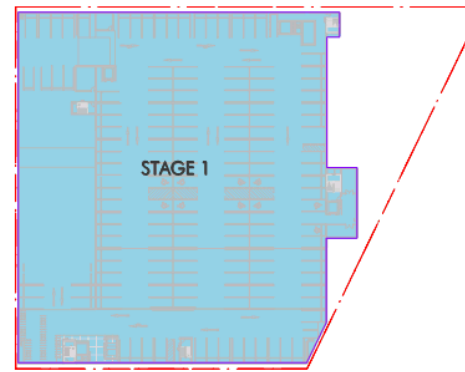
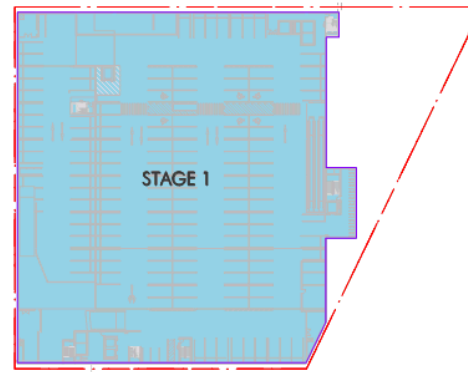
03 Design Report

Development Staging



03 Design Report

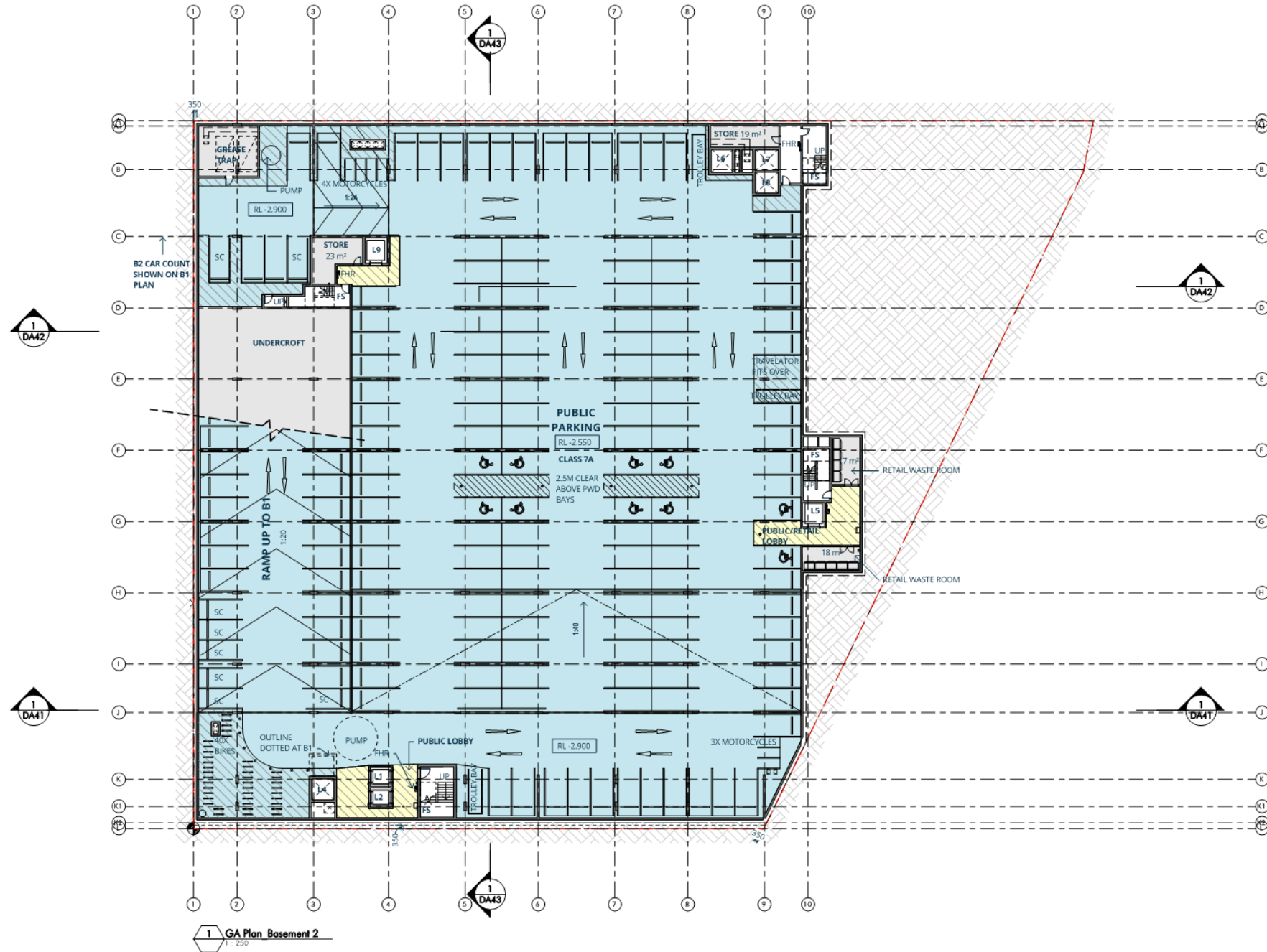
Development Staging



LEGEND

STAGE 1	B1 & B2 (INCL. BRISBANE RD LIFT & FIRE STAIR EXITS TO GROUND)
STAGE 2	GROUND FLOOR (INCL. RETAIL, LOADING DOCK, LOBBY COLD SHELLS)
STAGE 3	P1, P2 & P3 (PART) INCL. RELEVANT RAMPS AND SUPERMARKET PLANT AREA
STAGE 4	P3 (BALANCE PART) & P4
STAGE 5	RESIDENTIAL
STAGE 6	RETIREMENT
STAGE 7	HOTEL





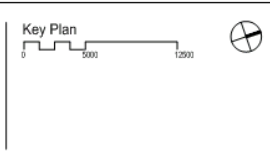
1 GA Plan Basement 2
 1:200

PRELIMINARY - NOT FOR CONSTRUCTION

No.	Description	Date
1	Client Approval	15/02/18
2	Development Application	15/02/18
3	Public Hearing	15/02/18
4	Final Approval	15/02/18

For Approval

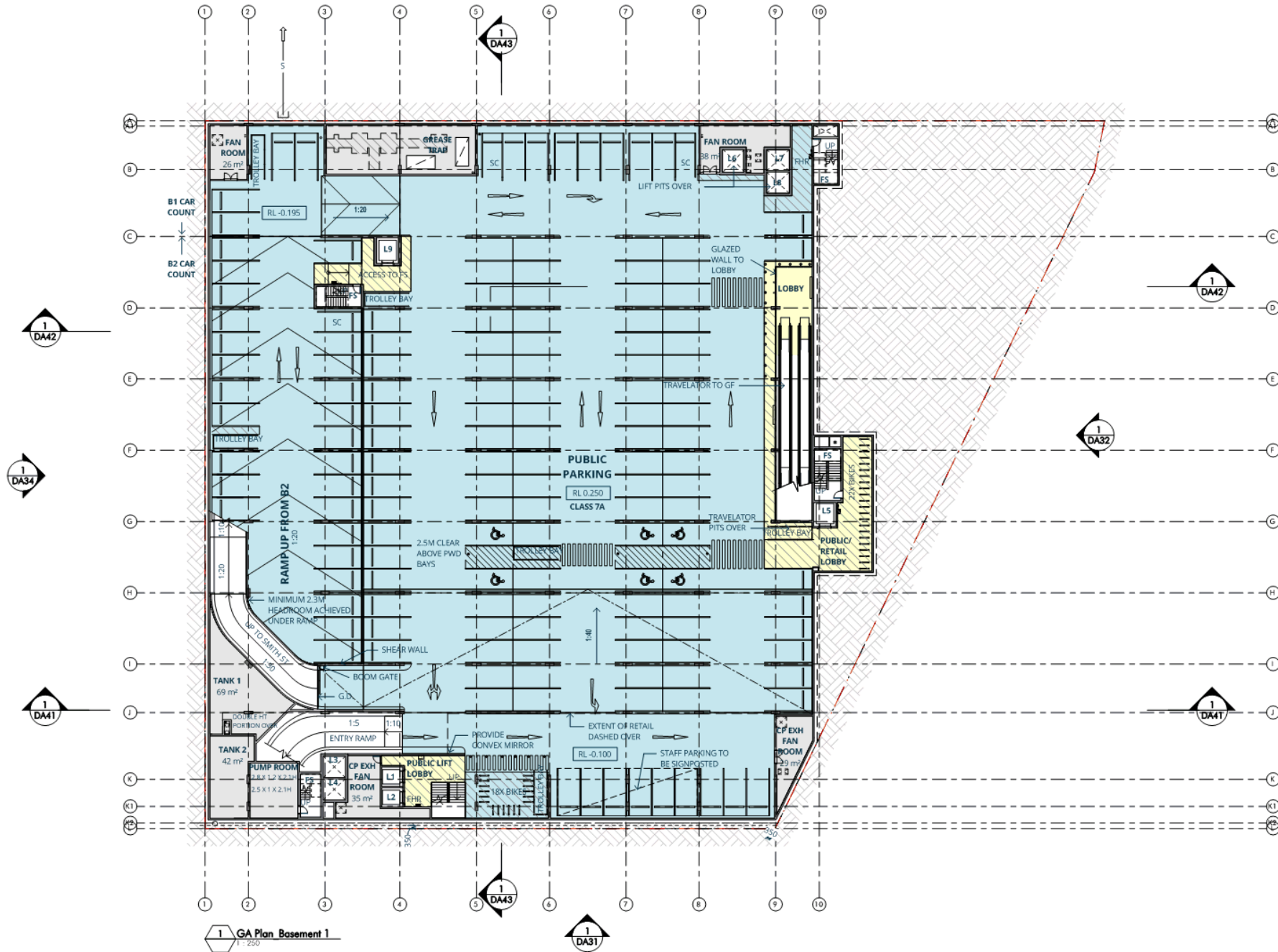
Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



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 Sheet: **3**



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GA Plan Basement 1
 1:250

PRELIMINARY - NOT FOR CONSTRUCTION



No.	Description	Date
1	Issue for approval	21/02/18
2	Issue for approval	21/02/18
3	Issue for approval	21/02/18

For Approval

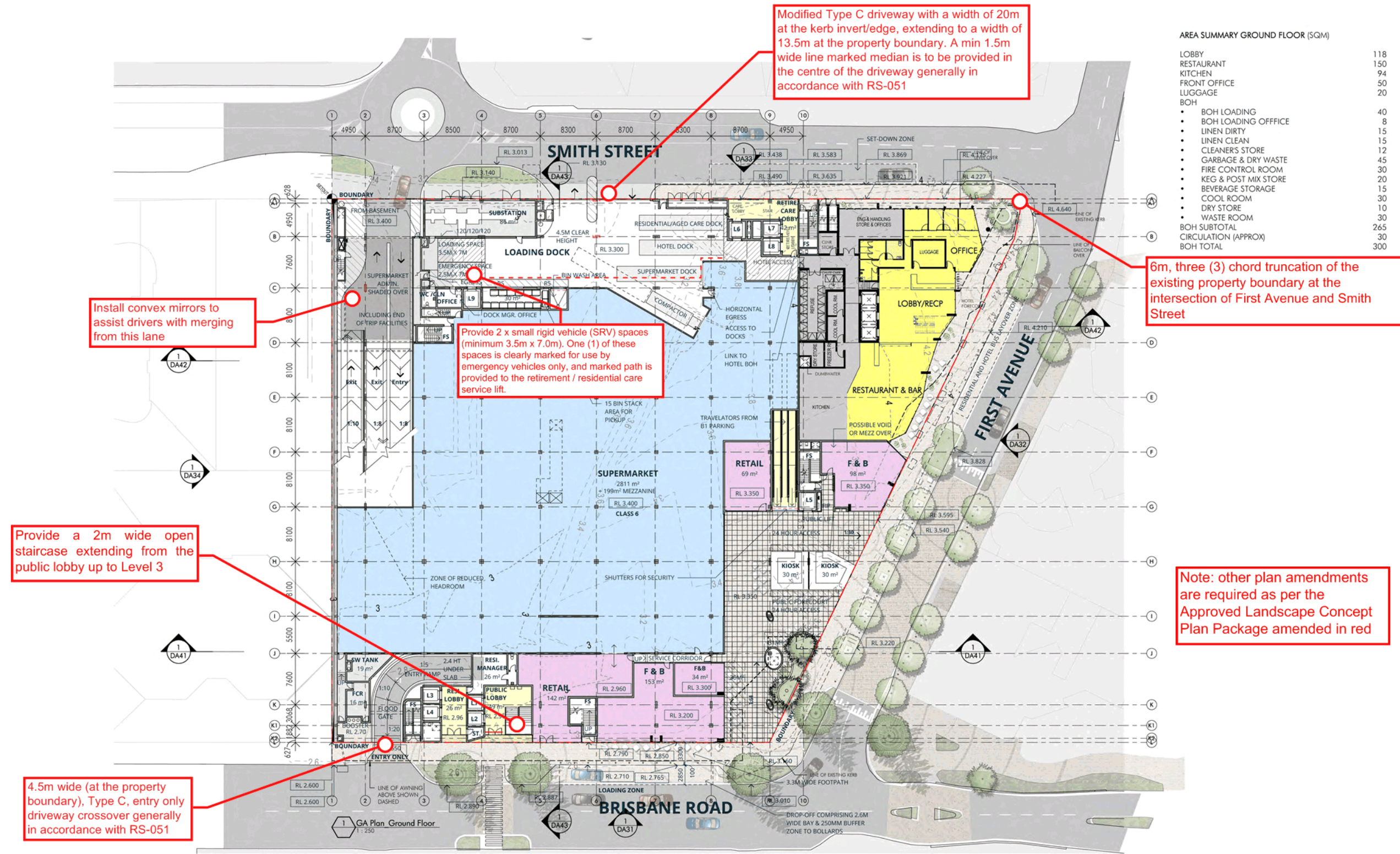
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 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



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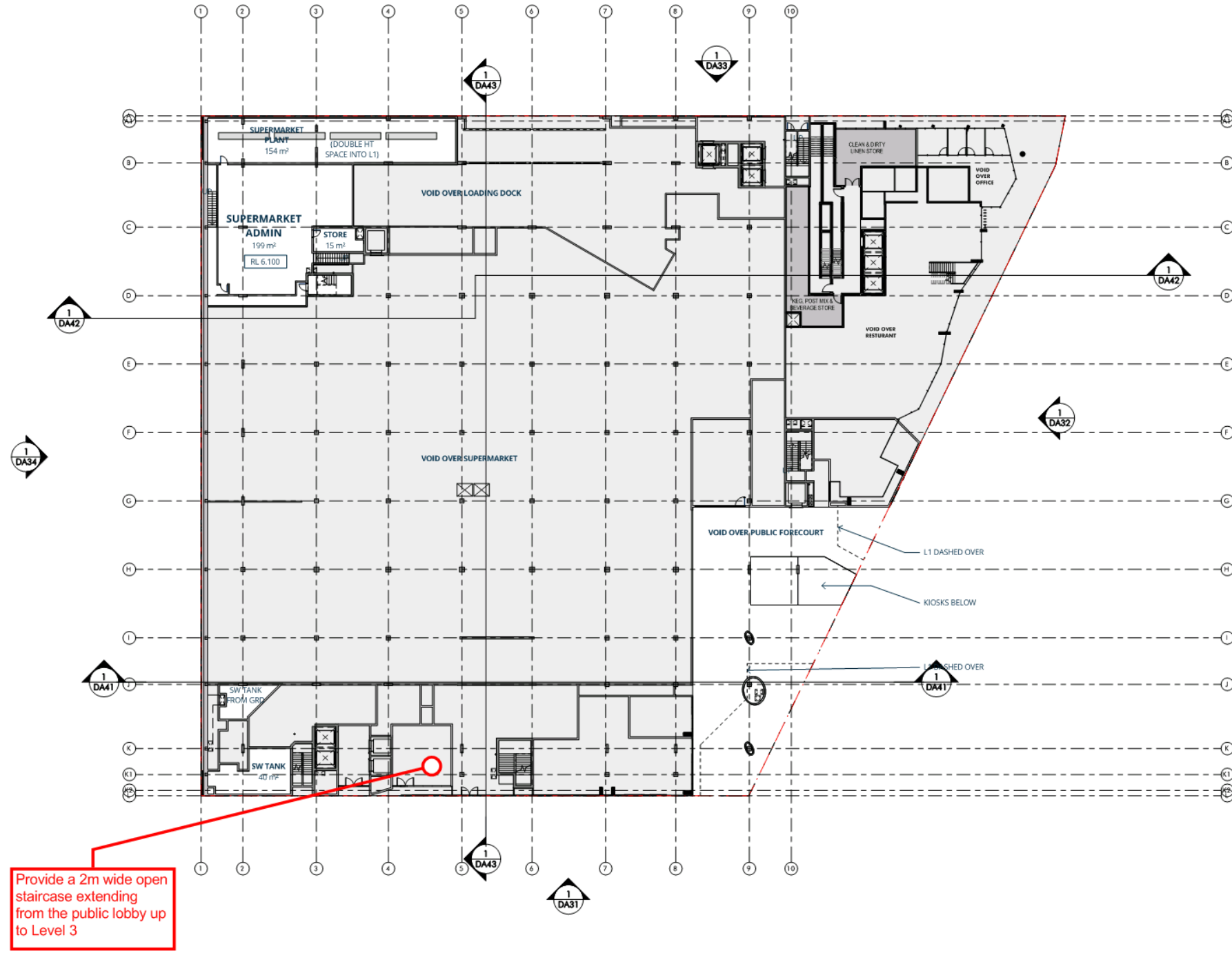


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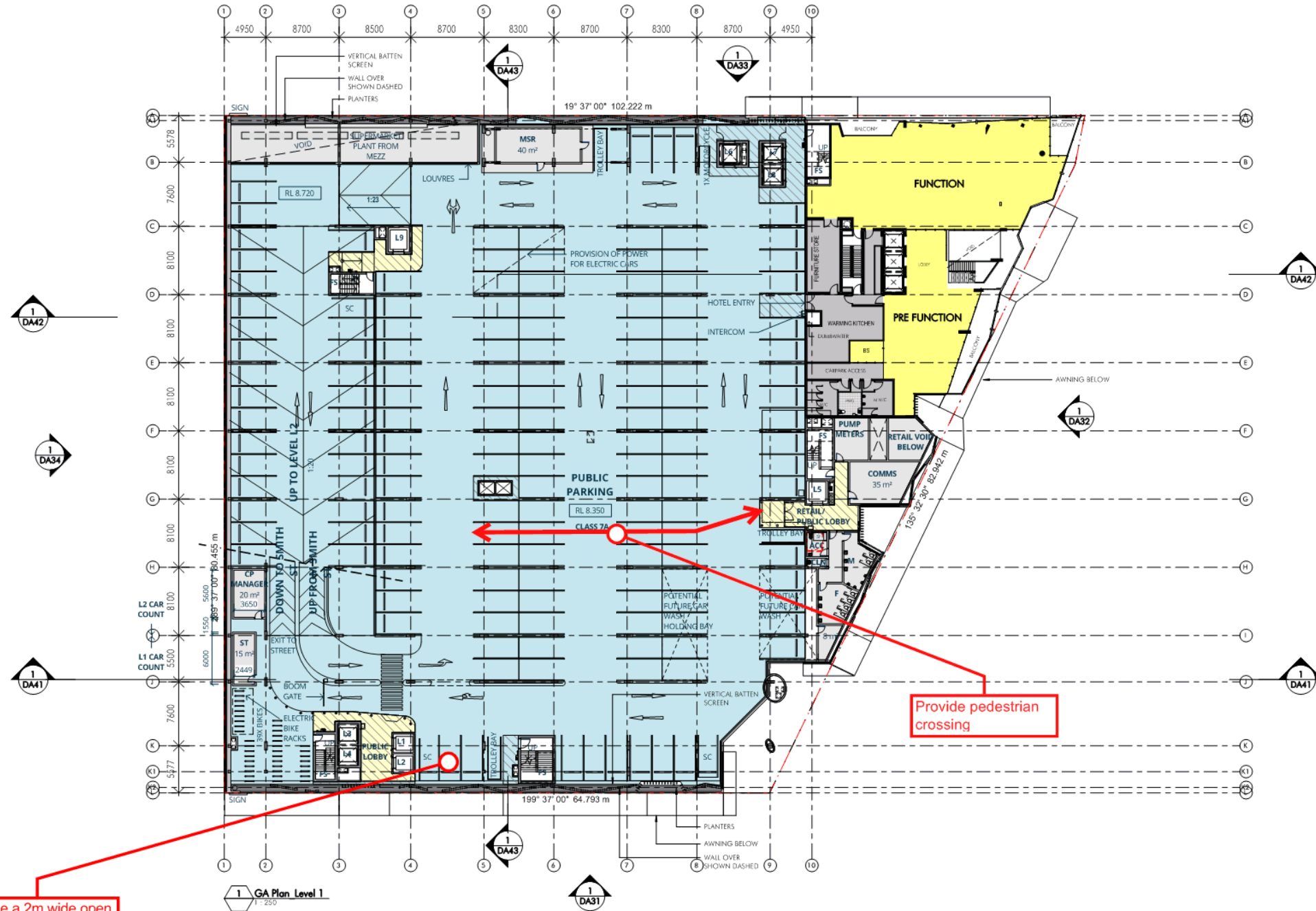


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	Name	Description	Date																																				
<p>For Approval</p>																																							

HOTEL AREA SUMMARY LEVEL 01 (SQM)

FUNCTION ROOM + CONF	303
FUNCTION ROOM STORE	57
PRE FUNCTION	192
WARMING KITCHEN	57
FUNCTION AVENITIES	60



Provide a 2m wide open staircase extending from the public lobby up to Level 3

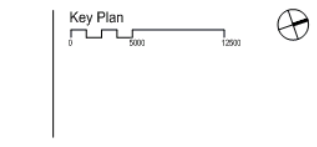
Provide pedestrian crossing



Rev	Description	Date
1	Issue for approval	21/02/18
2	Revised for approval	21/02/18
3	Final for approval	21/02/18
4	Issue for approval	21/02/18
5	Issue for approval	21/02/18
6	Issue for approval	21/02/18
7	Issue for approval	21/02/18
8	Issue for approval	21/02/18
9	Issue for approval	21/02/18
10	Issue for approval	21/02/18

For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



GA PLAN_LEVEL 1
 Drawing Number: 10630_DA12
 Sheet: 8

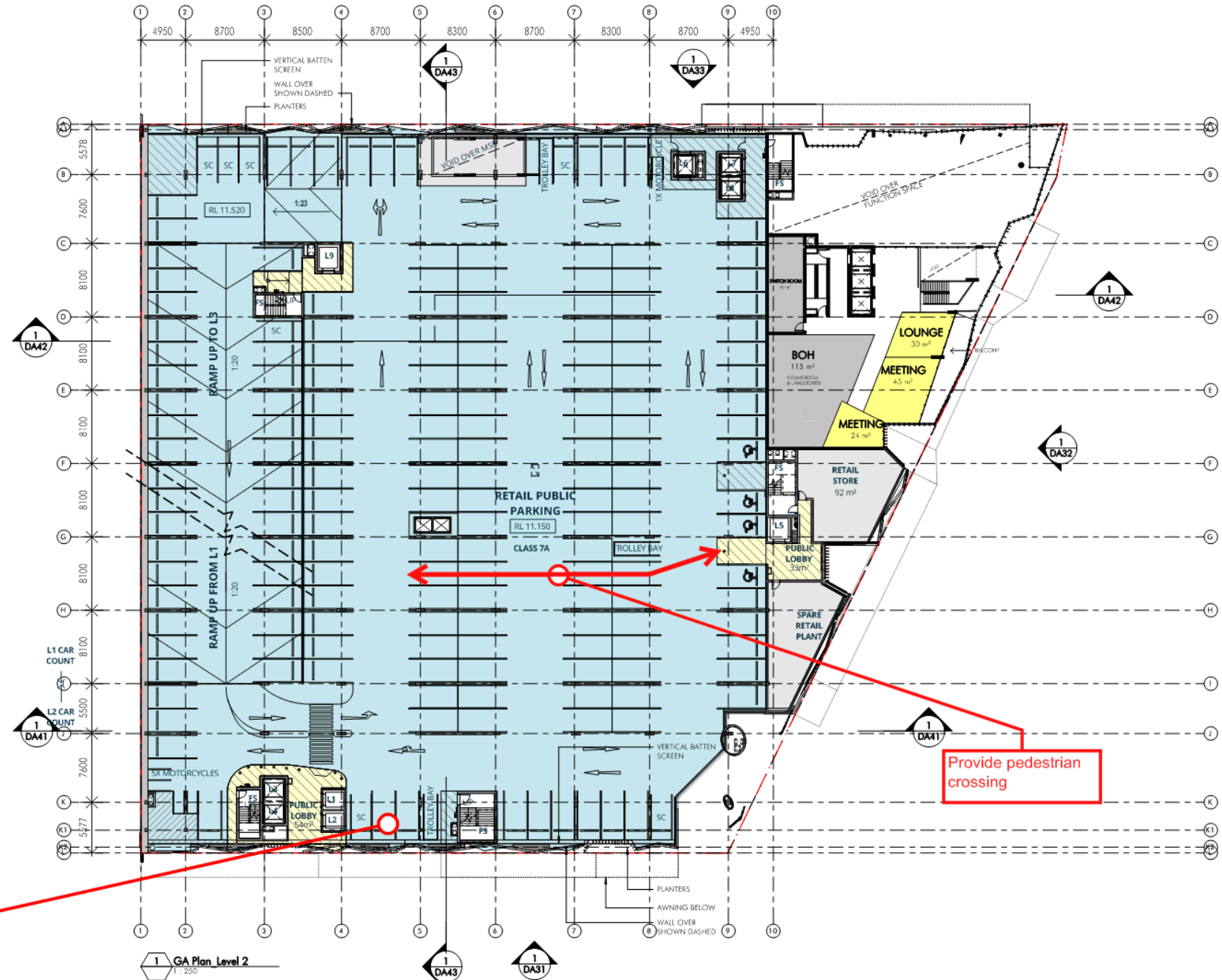


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HOTEL AREA SUMMARY LEVEL 02 (SQM)

SMALL MEETING	61
BUSINESS SUPPORT	10
LOUNGE AREA	30
BOH	
• SWITCH ROOM	30
• COMMS ROOM	25
• ENG. OFFICE	30
• UNALLOCATED	64
BOH SUBTOTAL	143
CIRCULATION	20
BOH TOTAL	164



Provide a 2m wide open staircase extending from the public lobby up to Level 3

Provide pedestrian crossing

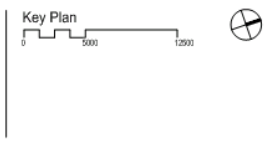
PRELIMINARY - NOT FOR CONSTRUCTION



Rev	Description	Date
1	Issue for approval	21/02/18
2	Revised for approval	21/02/18
3	Revised for approval	21/02/18
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5	Revised for approval	21/02/18
6	Revised for approval	21/02/18
7	Revised for approval	21/02/18
8	Revised for approval	21/02/18
9	Revised for approval	21/02/18
10	Revised for approval	21/02/18

For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



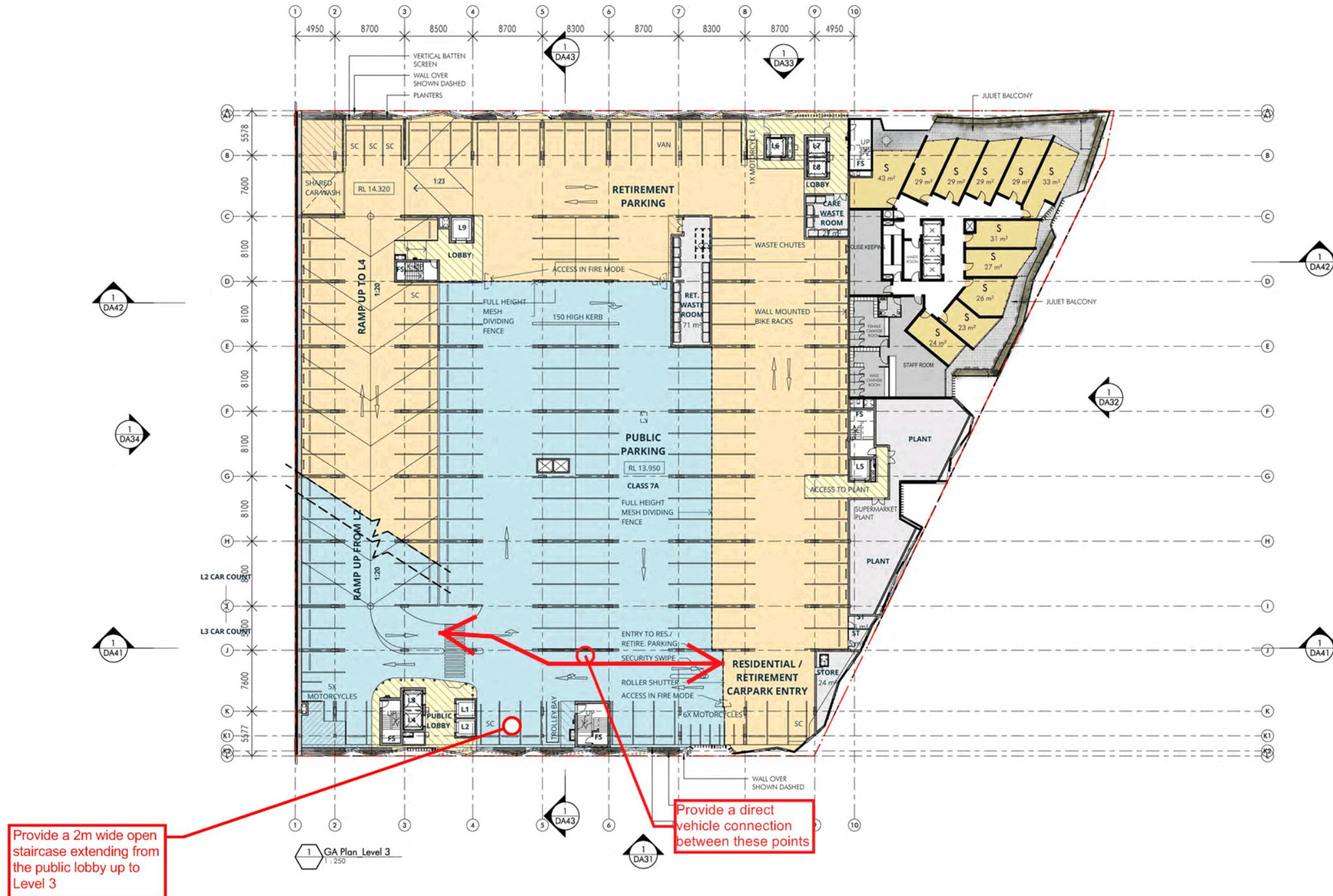
GA PLAN_LEVEL 2
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 Sheet: 8



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HOTEL AREA SUMMARY LEVEL 03 (SQM)

BOH	
• HOUSE KEEPING	40
• BOH OFFICE	50
• BOH STAFF	30
• BOH STAFF AMENITIES	16
• BOH MAIDS ROOM	15
BOH SUBTOTAL	
CIRCULATION	151
BOH TOTAL	178



Provide a 2m wide open staircase extending from the public lobby up to Level 3

Provide a direct vehicle connection between these points

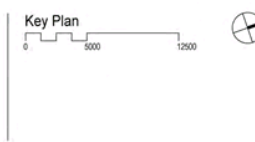
PRELIMINARY - NOT FOR CONSTRUCTION



No.	Description	Date
1	Issue Change	18.02.17
2	Coordination with other Plans	18.02.17
3	Revised St. Paulus Screen Printing	27.02.17
4	Final Council Presentation	13.03.17
5	Product Package Pricing	05.11.17
6	Development Application Draft	24.11.17
7	Development Application	02.12.17
8	DA IR Response	02.02.18

For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



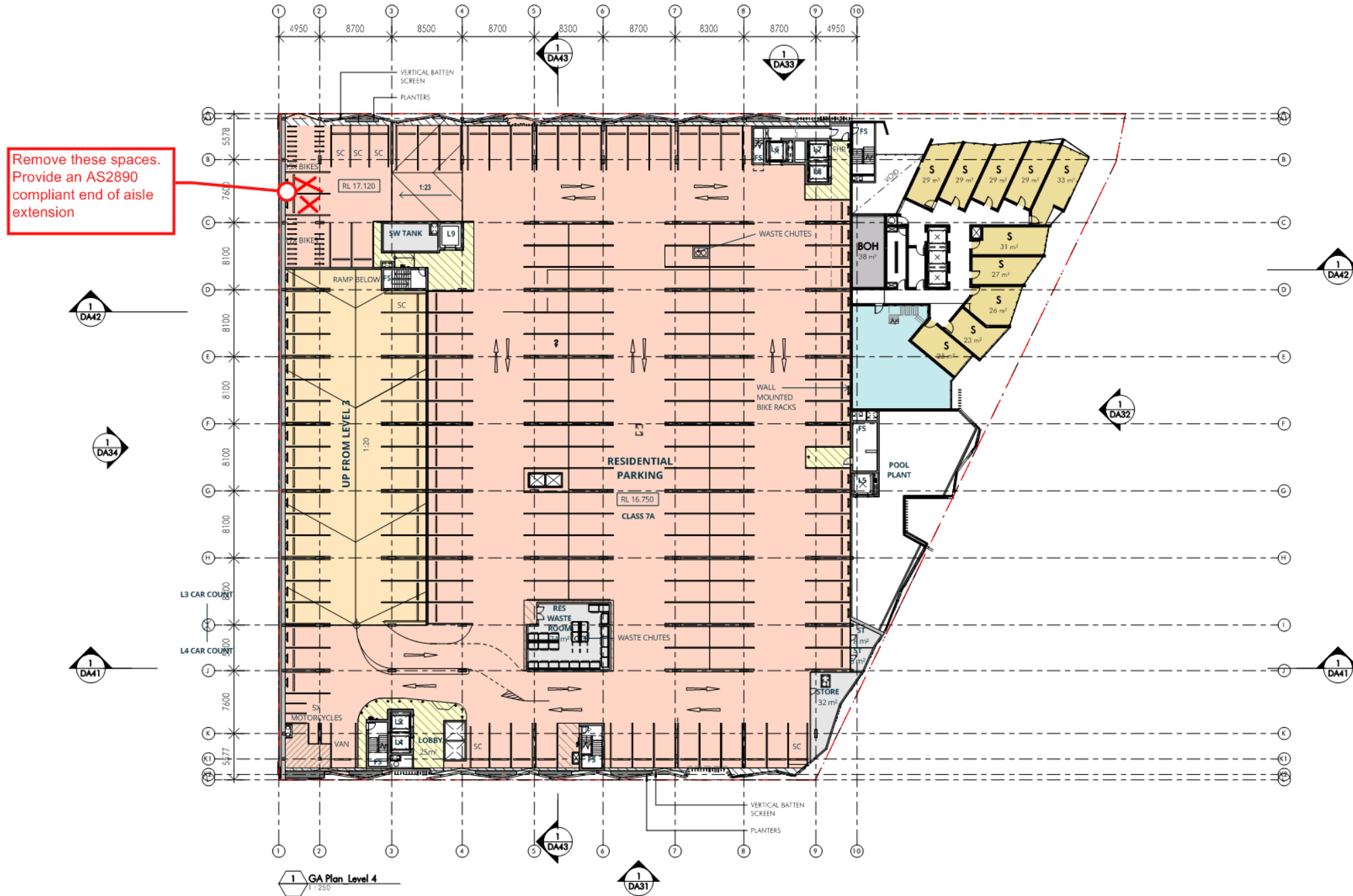
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 Drawing Number
10630_DA14
 Sheet Number
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HOTEL AREA SUMMARY LEVEL 04 (SQM)

WELLNESS CENTRE	132
BOH UNALLOCATED	37

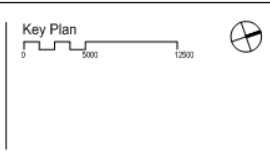


PRELIMINARY - NOT FOR CONSTRUCTION

Rev	Description	Date
1	Issue for approval	22/02/18
2	Revised plan	23/02/18
3	Final plan	23/02/18

For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



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 Sheet: **8**



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RETIREMENT SUMMARY	CU	1B	2B	3B	TOTALS
LEVELS 6 & 7	30	-	-	3B	30
LEVELS 5, 8 TO 13	-	10	82	5	97
TOTALS					127

HOTEL SUMMARY	STUDIO	2B
LEVEL 3	11	-
LEVEL 4	10	-
LEVEL 5	5	-
LEVELS 6 TO 12	77	-
LEVEL 13 (POOL DECK & BAR)	-	1
TOTAL		104

RESIDENTIAL SUMMARY	1B	2B	3B	TOTALS
LEVELS 5 TO 8	21	30	0	51
LEVELS 9 TO 13	0	15	30	45
TOTALS	24	42	30	96

1 GA PLAN LEVEL 5
1:250



No.	Description	Date
10	GA Information Request Response	26.02.18
9	GA Information Request	16.02.18
8	GA Information Request	16.02.18
7	Development Application	30.11.17
6	Development Application (DA) 16/17	24.11.17
5	Pre Council Presentation	20.11.17
4	Pre Council Presentation	15.11.17
3	Architectural Concept	30.10.17
2	Architectural Concept	20.10.17
1	Issued for Information	19.10.17

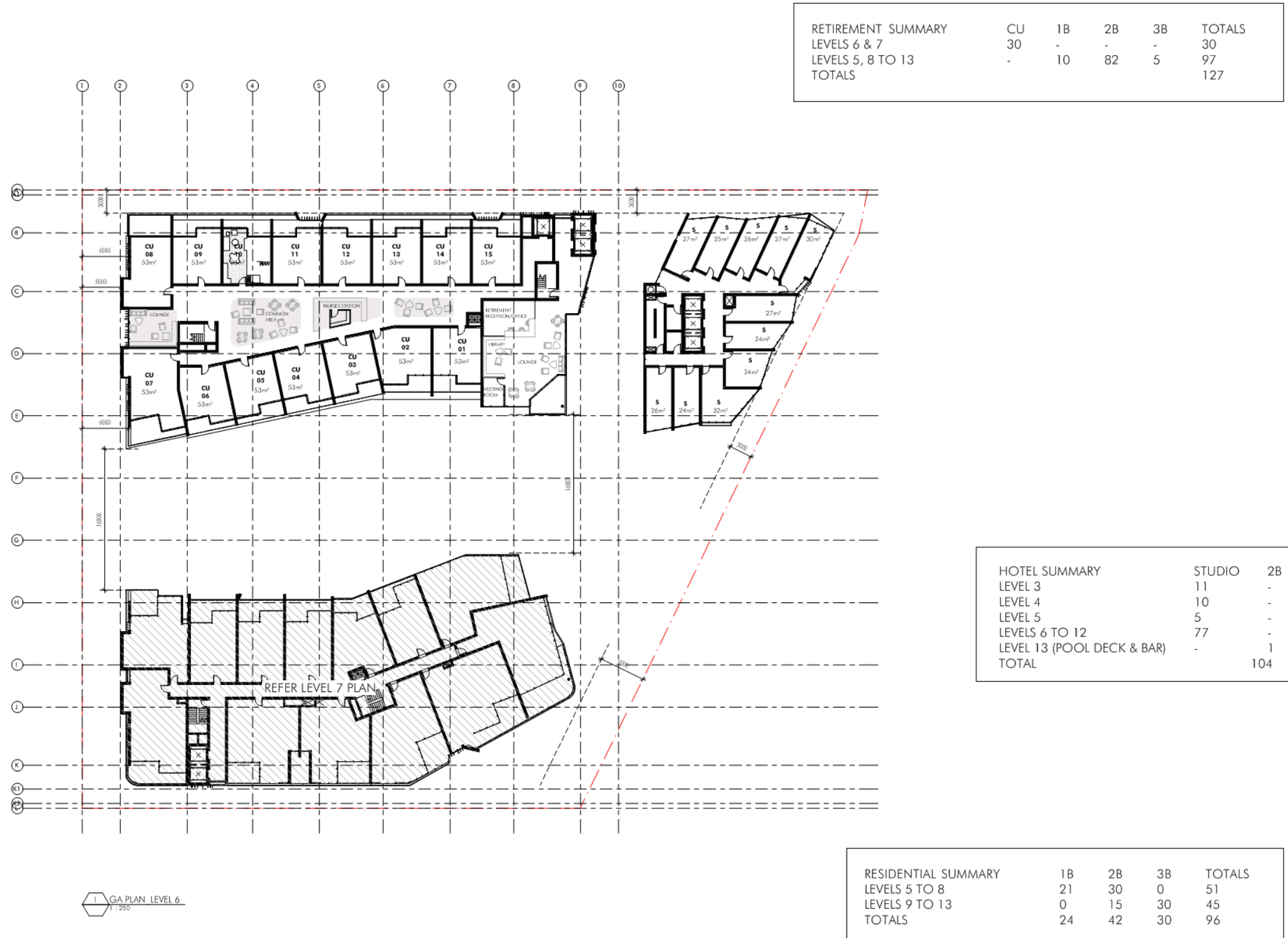
For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



Drawing Title
GA PLAN LEVEL 5
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 Drawing Number: **10630_DA16** Scale: **1:250 (1:500 @ A3)**
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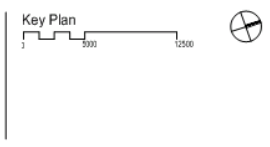


abacus property group

Date	Description	By
18/02/18	Issue for Approval	AB
15/02/18	Issue for Approval	AB
15/02/18	Issue for Approval	AB
15/02/18	Issue for Approval	AB
15/02/18	Issue for Approval	AB
15/02/18	Issue for Approval	AB
15/02/18	Issue for Approval	AB
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15/02/18	Issue for Approval	AB

For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



GA PLAN_LEVEL 6
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 Author: AB
 Date: 12/01/18 (1:500 @ A3)
 Drawing Number: 10630_DA17
 Sheet: 8

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RETIREMENT SUMMARY	CU	1B	2B	3B	TOTALS
LEVELS 6 & 7	30	-	-	-	30
LEVELS 5, 8 TO 13	-	10	82	5	97
TOTALS	-	-	-	-	127



HOTEL SUMMARY	STUDIO	2B
LEVEL 3	11	-
LEVEL 4	10	-
LEVEL 5	5	-
LEVELS 6 TO 12	77	-
LEVEL 13 (POOL DECK & BAR)	-	1
TOTAL	-	104

RESIDENTIAL SUMMARY	1B	2B	3B	TOTALS
LEVELS 5 TO 8	21	30	0	51
LEVELS 9 TO 13	0	15	30	45
TOTALS	24	42	30	96

GA PLAN LEVEL 7
1:250

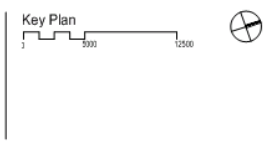
abacus property group

Item	Description	Date
1	Development Application	18/02/18
2	Site Plan	18/02/18
3	Site Plan	18/02/18
4	Site Plan	18/02/18
5	Site Plan	18/02/18
6	Site Plan	18/02/18
7	Site Plan	18/02/18
8	Site Plan	18/02/18
9	Site Plan	18/02/18
10	Site Plan	18/02/18
11	Site Plan	18/02/18
12	Site Plan	18/02/18
13	Site Plan	18/02/18
14	Site Plan	18/02/18
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18	Site Plan	18/02/18
19	Site Plan	18/02/18
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For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT

Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



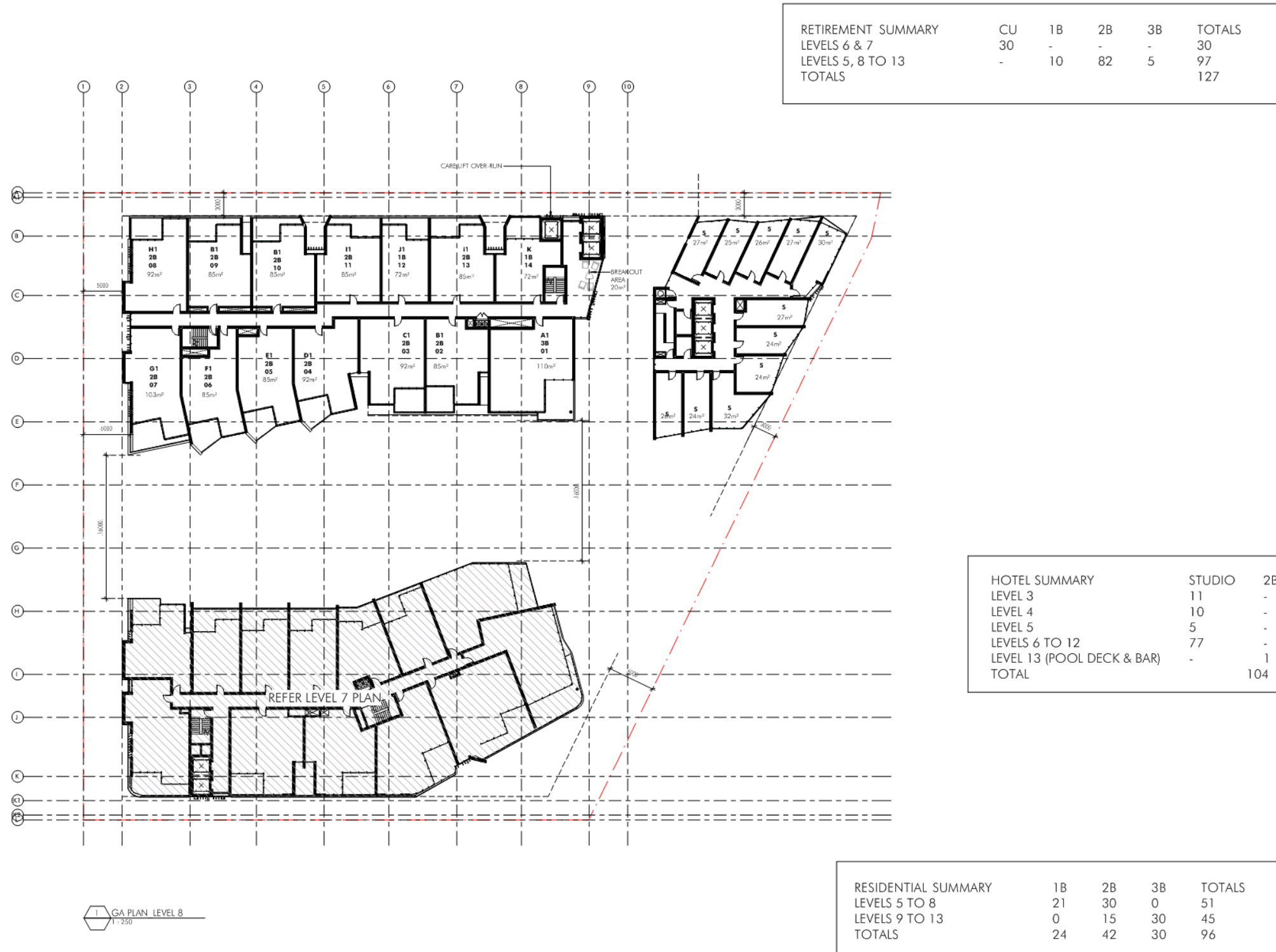
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Drawing Number: **10630_DA18** Scale: **10**

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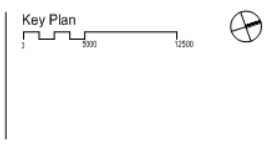


abacus property group

Date	Description	By
18/02/18	Final Design	[Signature]
15/02/18	Final Design	[Signature]
15/02/18	Final Design	[Signature]
15/02/18	Final Design	[Signature]
15/02/18	Final Design	[Signature]
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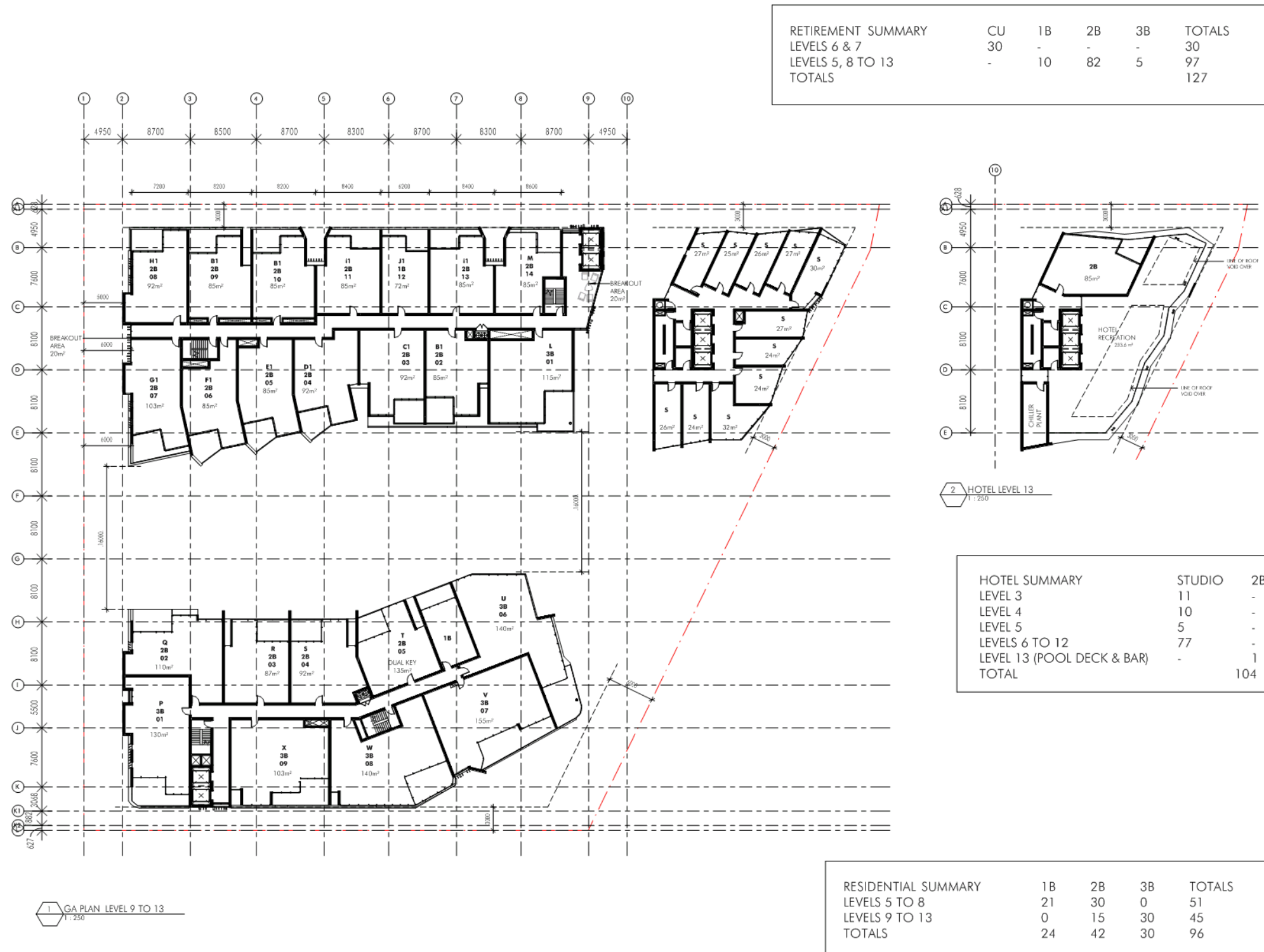
For Approval

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GA PLAN_LEVEL 8
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 Drawing Number: 10630_DA19
 Sheet: 9

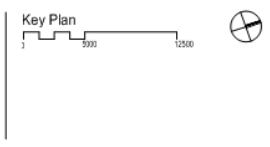
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Date	Description	By
18/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]
15/02/18	Final Design Review	[Signature]

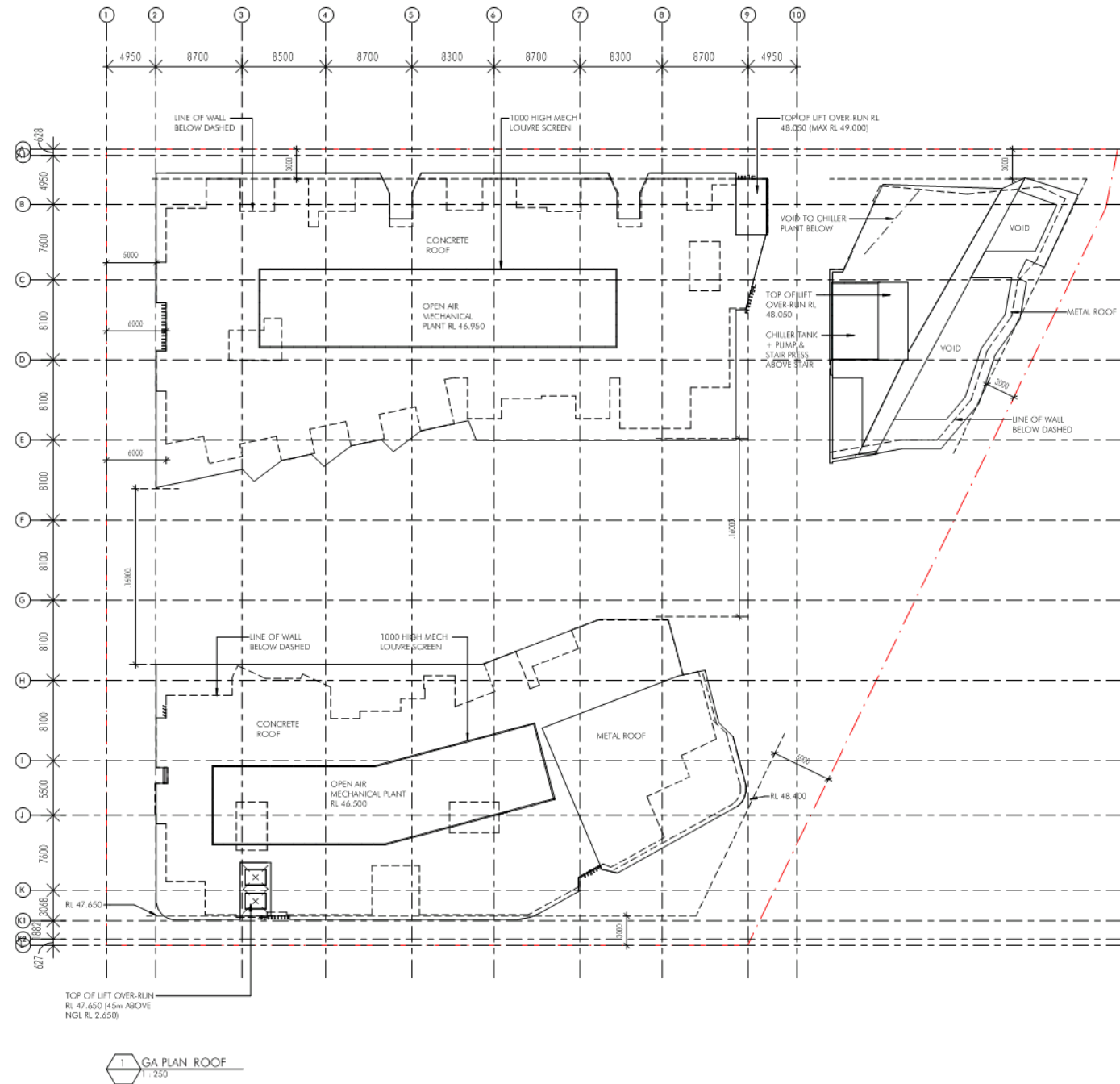
For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



Drawing Title
GA PLAN_LEVELS 9 TO 13
 Author: [Name] Designer: [Name] Draft Date: [Date]
A1
 Drawing Number: **10630_DA20** Scale: **8**





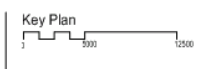
1 GA PLAN ROOF
 17-250



Date	Description	By
10/02/18	2D ARCHITECTURAL DRAWINGS	10/02/18
08/01/18	STRUCTURAL DRAWINGS	08/01/18
08/01/18	MECHANICAL DRAWINGS	08/01/18
08/01/18	ELECTRICAL DRAWINGS	08/01/18
08/01/18	PLUMBING DRAWINGS	08/01/18
08/01/18	MECHANICAL DRAWINGS	08/01/18
08/01/18	ELECTRICAL DRAWINGS	08/01/18
08/01/18	PLUMBING DRAWINGS	08/01/18

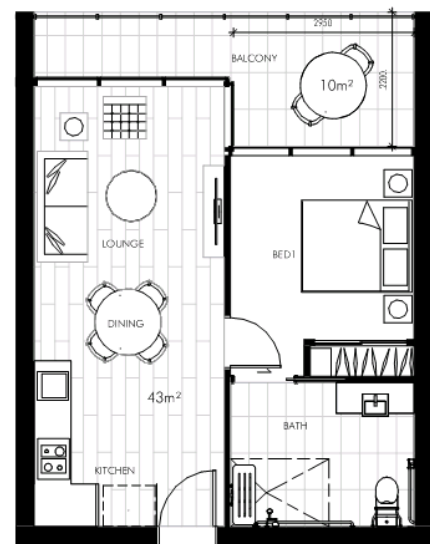
For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE

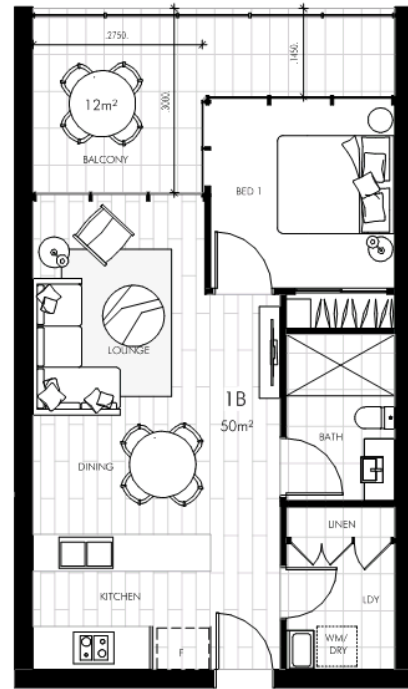


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 Author: [] Checker: [] Draft Date: [] Date: 12/01/18 (1:500 @ A3)
 Drawing Number: **10630_DA21** Sheet: **3**

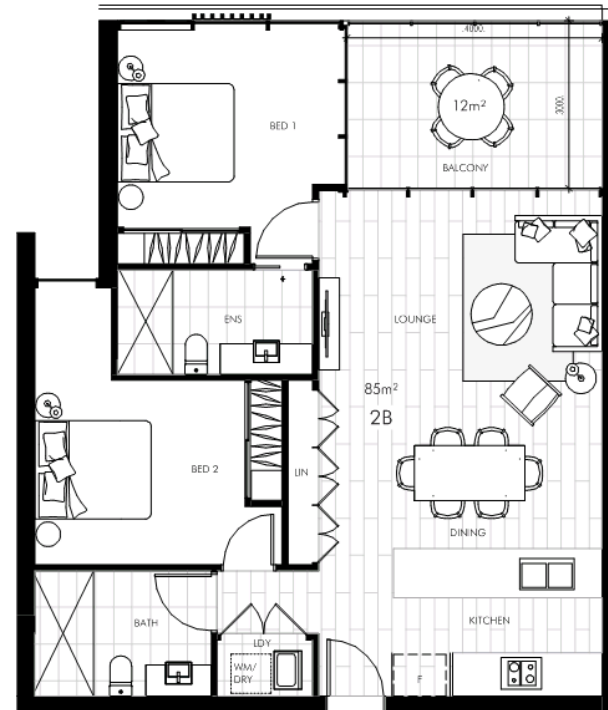




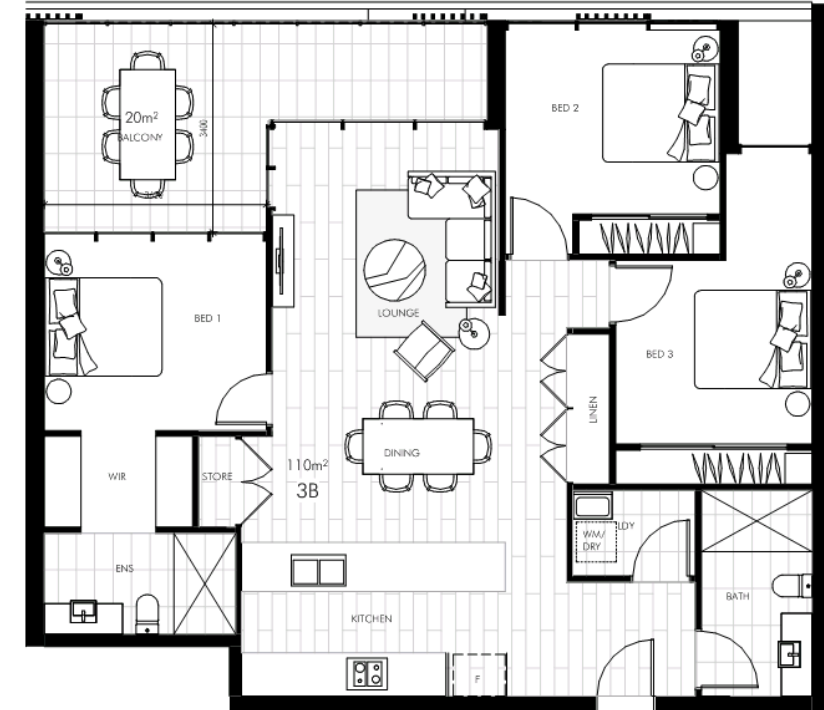
1 TYPICAL CARE UNIT
1:50



2 TYPICAL 1 BED UNIT
1:50



3 TYPICAL 2 BED UNIT
1:50



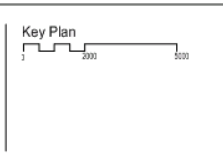
4 TYPICAL 3 BED UNIT
1:50

- Residential balconies to achieve the following minimum areas and dimensions:
- Typical care unit - minimum 10sqm consolidated area with a minimum dimension of 3metres;
 - Typical 1 bed unit - minimum 12sqm consolidated area with a minimum dimension of 3metres;
 - Typical 2 bed unit - minimum 12sqm consolidated area with a minimum dimension of 3.5metres; and
 - Typical 3 bed unit - minimum 15sqm consolidated area with a minimum dimension of 3.5metres.

NOTE: Typical unit plans are indicative of all internal layouts, showing the minimum balcony sizes and configurations provided. These internal unit layouts are subject to minor changes, following detailed design.

Rev	Description	Date

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



Drawing Title
RETIREMENT & RESIDENTIAL TYPICAL UNIT LAYOUTS

Author: _____
 Designer: _____
 Draftsman: _____
 Date: _____

Drawing Number
10630_DA22

Sheet
1

nettleontribe
 nettleontribe partnership pty ltd ABN 55 161 683 122
 Level 5, 344 Queen Street, Brisbane, QLD 4000
 t +61 7 3235 2444
 e: brisbane@nettleontribe.com.au w: nettleontribe.com.au



- PC1 STAINED PRECAST CONCRETE PANELS, 2 COLOURS, 40% FORM-LINER TEXTURE
- PC2 STAINED TEXTURED PRECAST PANELS- SAND TONE
- PC3 STAINED TEXTURED PRECAST PANELS- CHARCOAL
- PC4 STAINED SMOOTH PRECAST, 2 COLOURS
- SC1 VERTICAL BATTEN CHARCOAL CARPARK SCREEN, 60SQM FREE AIR REQUIRED PER LEVEL PER ELEVATION
- SC2 TIMBER FEATURE SCREEN WITH BATTEN COMBINATION OF 150x450 (25%) & 50x300 (75%)
- SC3 ACOUSTIC DOUBLE STAGE PLANT ROOM ALUMINIUM SCREEN, FREE AIR TO MECH ENG'S REQUIREMENT
- SC4 CHARCOAL PLANT AREA LOUVERS
- SC5 VERTICAL TIMBER LOOK BATTEN SCREENING
- SC6 TIMBER LOOK PRIVACY SCREENING
- MT1 MOSAIC TILES TO POOL & PODIUM EDGE
- AW1 LOBBY ENTRY STEEL FRAMED AWNING, COLORBOND ROOF & TIMBER CLAD SOFFIT
- AW2 STEEL FRAME RETAIL AWNING, COLORBOND ROOF & CFC SOFFIT
- G1 CLEAR RETAIL GLAZING WITH TIMBER FRAMING
- G2 CLEAR GLASS BALUSTRADE WITH CHARCOAL BALUSTERS
- G3 CLEAR RESIDENTIAL GLASS WITH CHARCOAL FRAME
- G4 DARK TINTED GLAZING RESIDENTIAL GLASS WITH CHARCOAL FRAME
- G5 BLUE TINTED HOTEL GLASS WITH SILVER GLAZING FRAME
- G6 TIMBER LOOK GLAZING MULLIONS IN VARIED SIZES

- COL1 LIGHTWEIGHT COLUMN CLADDING/ BUILDOUT
- COL2 WHITE PAINTED COLUMN
- PLN1 PLANTER BOX BEHIND PRECAST, REFER ELEVATIONS FOR LOCATIONS
- CB PROPRIETARY CRASH BARRIER SYSTEM
- WA1 WHITE CONCRETE UPSTAND/ SLAB EDGE
- WA2 CHARCOAL CONCRETE WALL/ UPSTAND
- WA3 CONCRETE WALL
- TIM1 FEATURE SOFFIT MATERIAL
- BR1 BRONZE SOFFIT CLADDING
- BAL1 CHARCOAL ALUMINIUM BATTEN BALUSTRADE
- BS1 BUILDING SIGNAGE
- PS1 PARKING SIGNAGE

PRELIMINARY - NOT FOR CONSTRUCTION

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No.	Description	Date														
1	Development Application	20/11/17														
2	Development Application	20/11/17														



PC1	STAINED PRECAST CONCRETE PANELS, 2 COLOURS, 40% FORM-LINER TEXTURE	COL1	LIGHTWEIGHT COLUMN CLADDING/ BUILDOUT
PC2	STAINED TEXTURED PRECAST PANELS- SAND TONE	COL2	WHITE PAINTED COLUMN
PC3	STAINED TEXTURED PRECAST PANELS- CHARCOAL	PLN1	PLANTER BOX BEHIND PRECAST, REFER ELEVATIONS FOR LOCATIONS
PC4	STAINED SMOOTH PRECAST, 2 COLOURS	CB	PROPRIETARY CRASH BARRIER SYSTEM
SC1	VERTICAL BATTEN CHARCOAL CARPARK SCREEN, 60SQM FREE AIR REQUIRED PER LEVEL PER ELEVATION	WA1	WHITE CONCRETE UPSTAND/ SLAB EDGE
SC2	TIMBER FEATURE SCREEN WITH BATTEN COMBINATION OF 150x450 (25%) & 50x300 (75%)	WA2	CHARCOAL CONCRETE WALL/ UPSTAND
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SC5	VERTICAL TIMBER LOOK BATTEN SCREENING	TIM2	PODIUM SHADE STRUCTURE
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AW1	LOBBY ENTRY STEEL FRAMED AWNING, COLORBOND ROOF & TIMBER CLAD SOFFIT	BS1	BUILDING SIGNAGE
AW2	STEEL FRAME RETAIL AWNING, COLORBOND ROOF & CFC SOFFIT	PS1	PARKING SIGNAGE
G1	CLEAR RETAIL GLAZING WITH TIMBER FRAMING		
G2	CLEAR GLASS BALUSTRADE WITH CHARCOAL BALUSTERS		
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G5	BLUE TINTED HOTEL GLASS WITH SILVER GLAZING FRAME		
G6	TIMBER LOOK GLAZING MULLIONS IN VARIED SIZES		

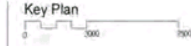
PRELIMINARY - NOT FOR CONSTRUCTION



Rev	Description	Date
1	Issue for Approval	20/02/18
2	Development Application	26/02/18
3	Development Application (REV)	26/02/18

For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



Drawing Title
FIRST AVENUE ELEVATION
 Sheet No: **A1**
 Scale: **1:150 (1:300 @ A3)**
 Drawing No: **10630_DA32**
 No: **3**



nettleontribe
 nettleon tribe partnership Pty Ltd ABN 55 161 683 122
 Level 5, 344 Queen Street, Brisbane, QLD 4000
 t +61 7 3239 2444
 e. brisbane@nettleontribe.com.au w. nettleontribe.com.au



PC1	STAINED PRECAST CONCRETE PANELS, 2 COLOURS, 40% FORM-LINER TEXTURE	COL1	LIGHTWEIGHT COLUMN CLADDING/ BUILDOUT
PC2	STAINED TEXTURED PRECAST PANELS- SAND TONE	COL2	WHITE PAINTED COLUMN
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PC4	STAINED SMOOTH PRECAST, 2 COLOURS	CB	PROPRIETARY CRASH BARRIER SYSTEM
SC1	VERTICAL BATTEN CHARCOAL CARPARK SCREEN, 60SQM FREE AIR REQUIRED PER LEVEL PER ELEVATION	WA1	WHITE CONCRETE UPSTAND/ SLAB EDGE/ WALL
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SC3	ACOUSTIC DOUBLE STAGE PLANT ROOM ALUMINIUM SCREEN, FREE AIR TO MECH ENG'S REQUIREMENT	WA3	CONCRETE WALL
SC4	CHARCOAL PLANT AREA LOUVERS	TIM1	FEATURE SOFFIT MATERIAL
SC5	VERTICAL TIMBER LOOK BATTEN SCREENING	TIM2	PODIUM SHADE STRUCTURE
SC6	TIMBER LOOK PRIVACY SCREENING	BR1	BRONZE SOFFIT CLADDING
MT1	MOSAIC TILES TO POOL & PODIUM EDGE	BAL1	CHARCOAL ALUMINIUM BATTEN BALUSTRADE
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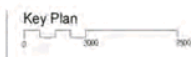
PRELIMINARY - NOT FOR CONSTRUCTION



Rev	Description	Date
1	Issue for Approval	20/02/18
2	Development Agreement	20/02/18
3	Final Design Drawing	20/02/18

For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



Drawing Title
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 Drawing Number
10630_DA33
 Sheet No.
A1
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1:150 (1:300 @ A3)
 Date
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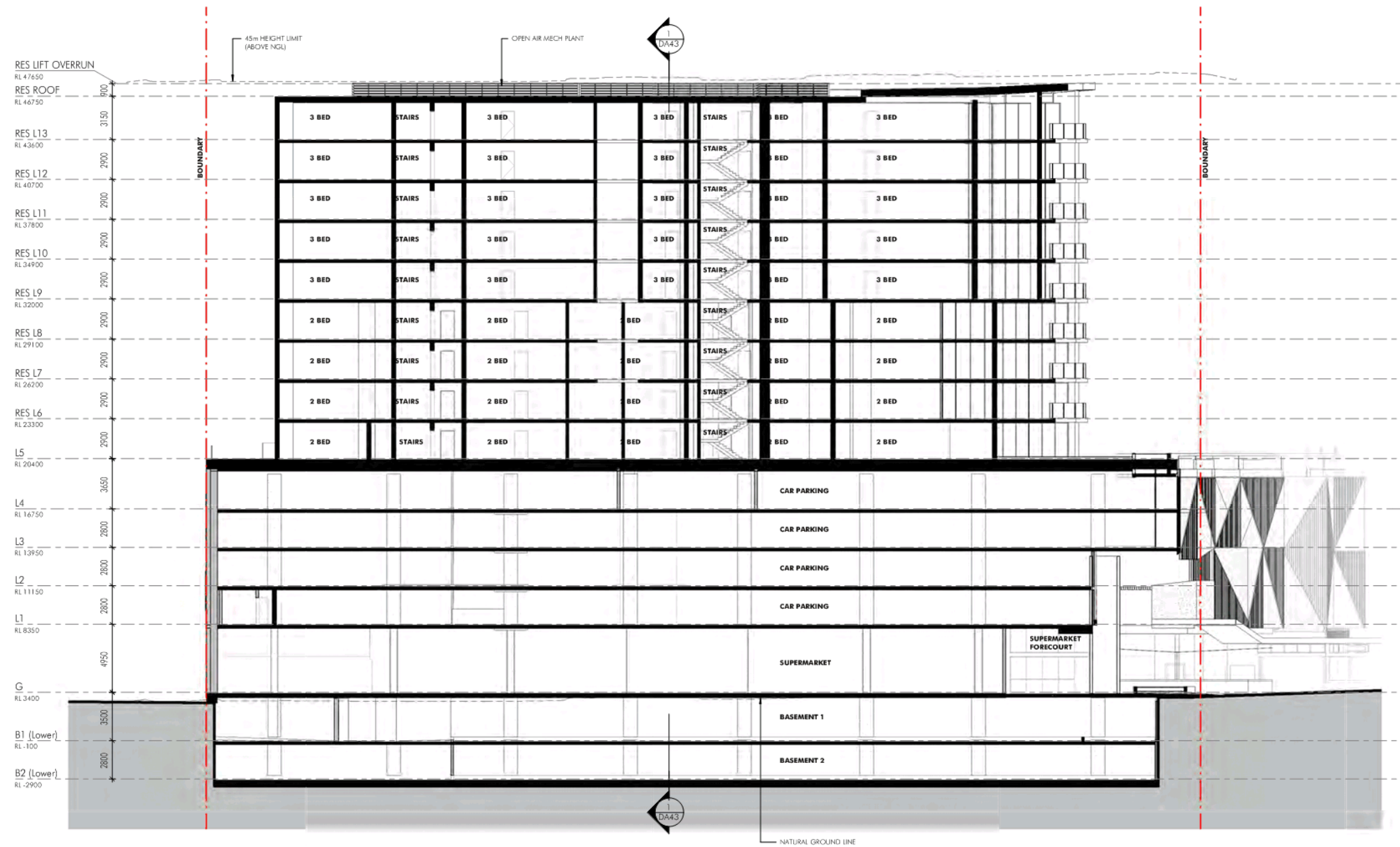
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 nettleon tribe partnership Pty Ltd ABN 58 161 683 122
 Level 5, 344 Queen Street, Brisbane, QLD 4000
 t +61 7 3239 2444
 e. brisbane@nettleontribe.com.au w. nettleontribe.com.au



- | | | | |
|-----|--|------|--|
| PC1 | STAINED PRECAST CONCRETE PANELS, 2 COLOURS, 40% FORM-LINER TEXTURE | COL1 | LIGHTWEIGHT COLUMN CLADDING/ BUILDOUT |
| PC2 | STAINED TEXTURED PRECAST PANELS- SAND TONE | COL2 | WHITE PAINTED COLUMN |
| PC3 | STAINED TEXTURED PRECAST PANELS- CHARCOAL | PLN1 | PLANTER BOX BEHIND PRECAST, REFER ELEVATIONS FOR LOCATIONS |
| PC4 | STAINED SMOOTH PRECAST, 2 COLOURS | CB | PROPRIETARY CRASH BARRIER SYSTEM |
| SC1 | VERTICAL BATTEN CHARCOAL CARPARK SCREEN, 60SQM FREE AIR REQUIRED PER LEVEL PER ELEVATION | WA1 | WHITE CONCRETE UPSTAND/ SLAB EDGE |
| SC2 | TIMBER FEATURE SCREEN WITH BATTEN COMBINATION OF 150x450 (25%) & 50x300 (75%) | WA2 | CHARCOAL CONCRETE WALL/ UPSTAND |
| SC3 | ACOUSTIC DOUBLE STAGE PLANT ROOM ALUMINIUM SCREEN, FREE AIR TO MECH ENG'S REQUIREMENT | WA3 | CONCRETE WALL |
| SC4 | CHARCOAL PLANT AREA LOUVERS | TIM1 | FEATURE SOFFIT MATERIAL |
| SC5 | VERTICAL TIMBER LOOK BATTEN SCREENING | TIM2 | PODIUM SHADE STRUCTURE |
| SC6 | TIMBER LOOK PRIVACY SCREENING | BR1 | BRONZE SOFFIT CLADDING |
| MT1 | MOSAIC TILES TO POOL & PODIUM EDGE | BAL1 | CHARCOAL ALUMINIUM BATTEN BALUSTRADE |
| AW1 | LOBBY ENTRY STEEL FRAMED AWNING, COLORBOND ROOF & TIMBER CLAD SOFFIT | BS1 | BUILDING SIGNAGE |
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| G6 | TIMBER LOOK GLAZING MULLIONS IN VARIED SIZES | | |

PRELIMINARY - NOT FOR CONSTRUCTION

<p>abacus property group</p>	<p>For Approval</p>	<p>Project Name MOOLOOLABA MIXED USE DEVELOPMENT</p> <p>Project Address CORNER OF BRISBANE RD & FIRST AVENUE</p>	<p>Key Plan</p>	<p>Drawing Title SOUTH ELEVATION</p> <p>Author: [] Checker: [] Date: [] Scale: 1:150 (1:300 @ A3)</p> <p>Drawing Number 10630_DA34</p> <p>Sheet 3</p>	<p>IGNITE</p>	<p>nettleontribe</p> <p>nettleon tribe partnership Pty Ltd ABN 59 151 683 132 Level 5, 344 Queen Street, Brisbane, QLD 4000 t +61 7 3239 2444 e. brisbane@nettleontribe.com.au w. nettleontribe.com.au</p>
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SECTION A
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PRELIMINARY - NOT FOR CONSTRUCTION

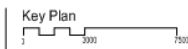


Rev	Description	Date
1	Issue for Approval	10/02/18
2	Issue for Approval	28/01/18
3	Issue for Approval	28/01/18

Submitter's Declaration: I/We, the undersigned, certify that the information provided in this Development Application is true and correct to the best of our knowledge and belief. I/We warrant that the information provided is true and correct to the best of our knowledge and belief. I/We warrant that the information provided is true and correct to the best of our knowledge and belief.

For Approval

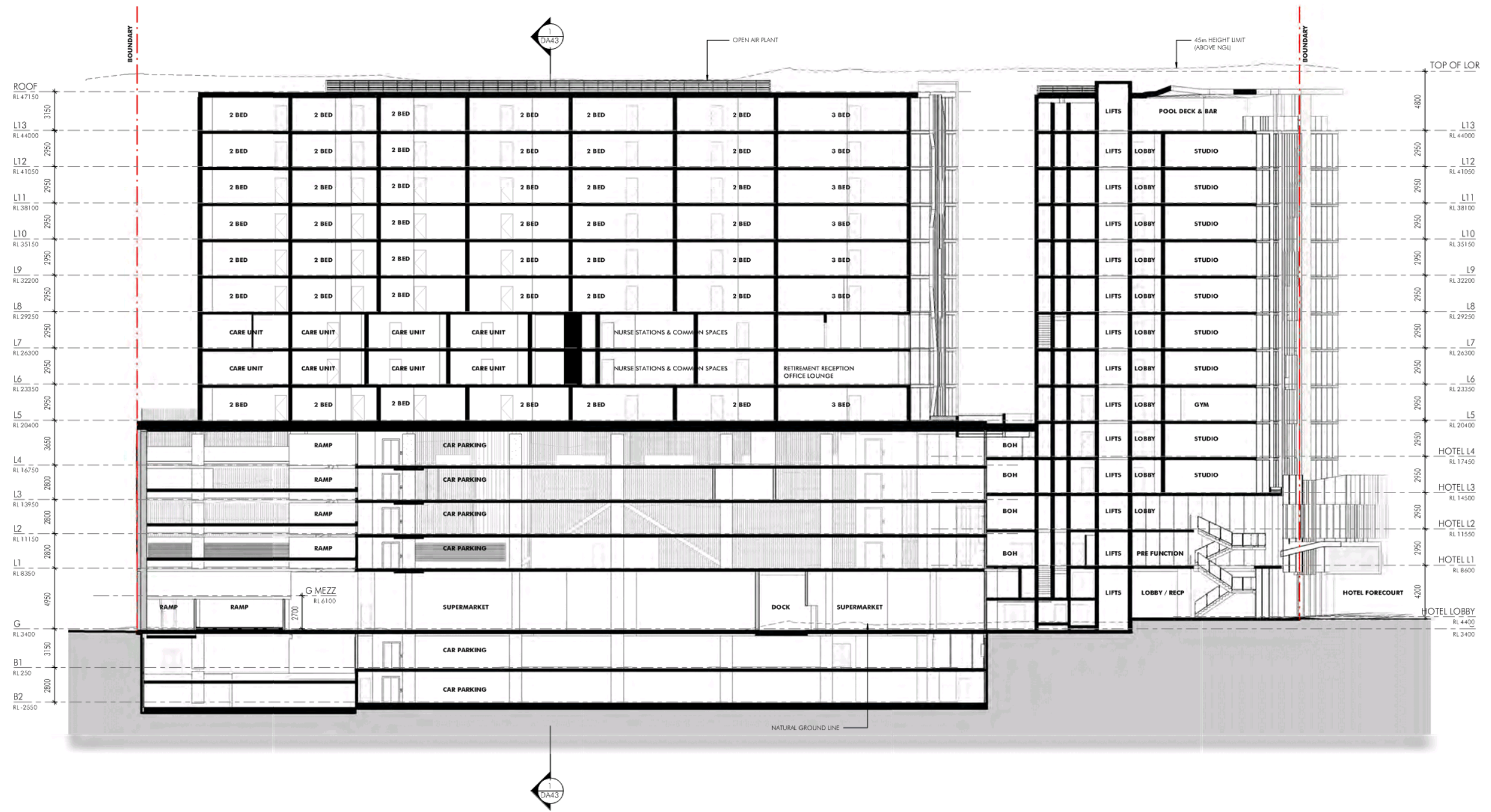
Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



SECTION A			
Author	Checker	Drawn By	Date
		A1	1:150 (1:300 @ A3)
Drawing Number	Sheet		
10630_DA41	3		



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 Level 5, 344 Queen Street, Brisbane, QLD 4000
 t +61 7 3235 2444
 e: brisbane@nettleontribe.com.au w: nettleontribe.com.au



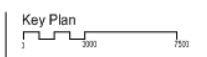
1 DA Section B
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PRELIMINARY - NOT FOR CONSTRUCTION

Rev	Description	Date
1	As Issued	10/02/18
2	PROVISIONAL APPROVAL	28/01/18
3	PROVISIONAL APPROVAL	28/01/18

For Approval

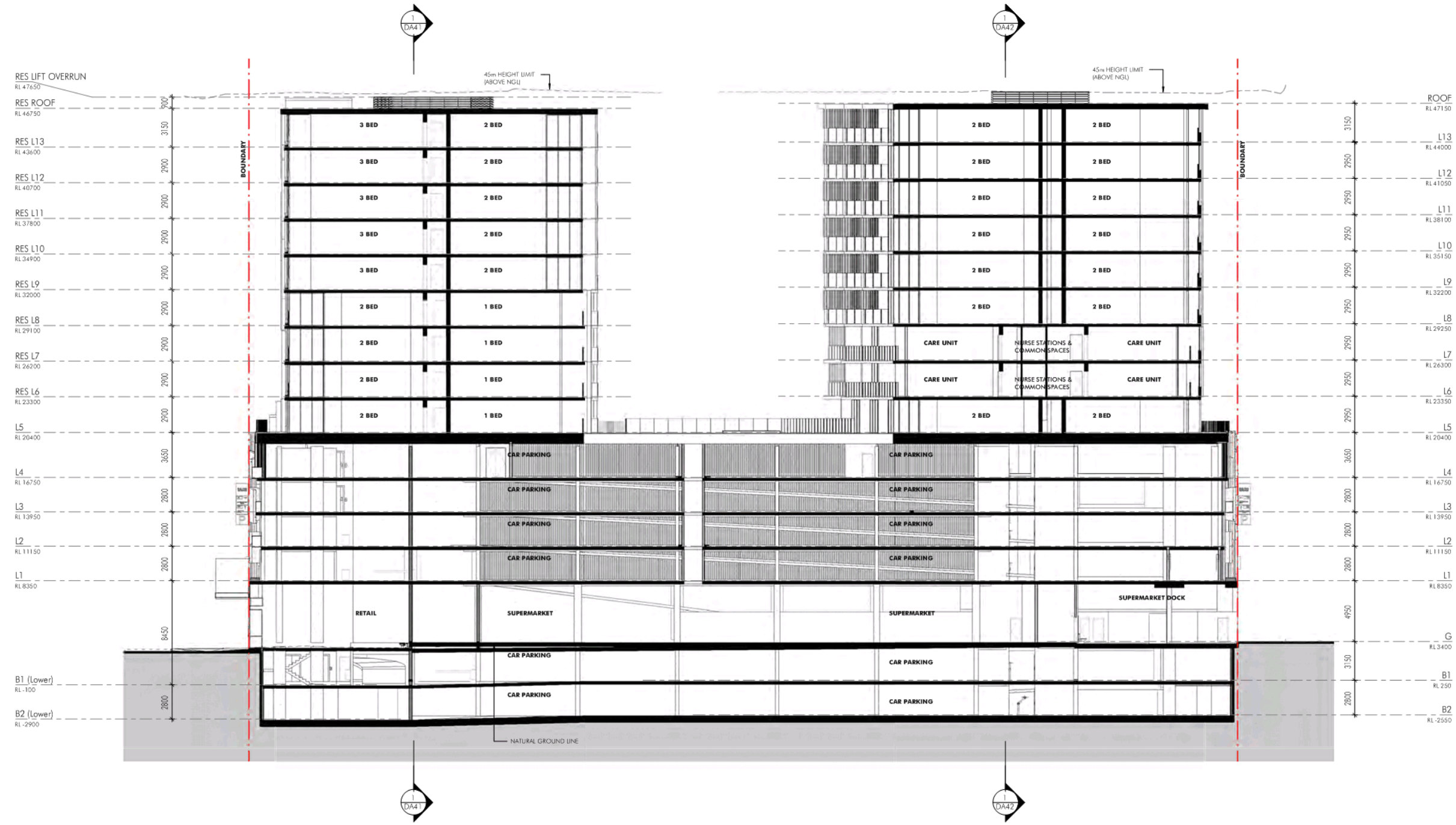
Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



SECTION B
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 Date: 1:150 (1:300 @ A3)
 Drawing Number: 10630_DA42
 Sheet: 3



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 Level 5, 344 Queen Street, Brisbane, QLD 4000
 t +61 7 3235 2444
 e: brisbane@nettleontribe.com.au w: nettleontribe.com.au



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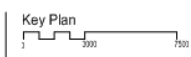
PRELIMINARY - NOT FOR CONSTRUCTION



Date	Description	By
10/02/18	DA Preparation	[Signature]
28/01/18	DA Preparation	[Signature]
28/01/18	DA Preparation	[Signature]

For Approval

Project Name
MOOLOOLABA MIXED USE DEVELOPMENT
 Project Address
CORNER OF BRISBANE RD & FIRST AVENUE



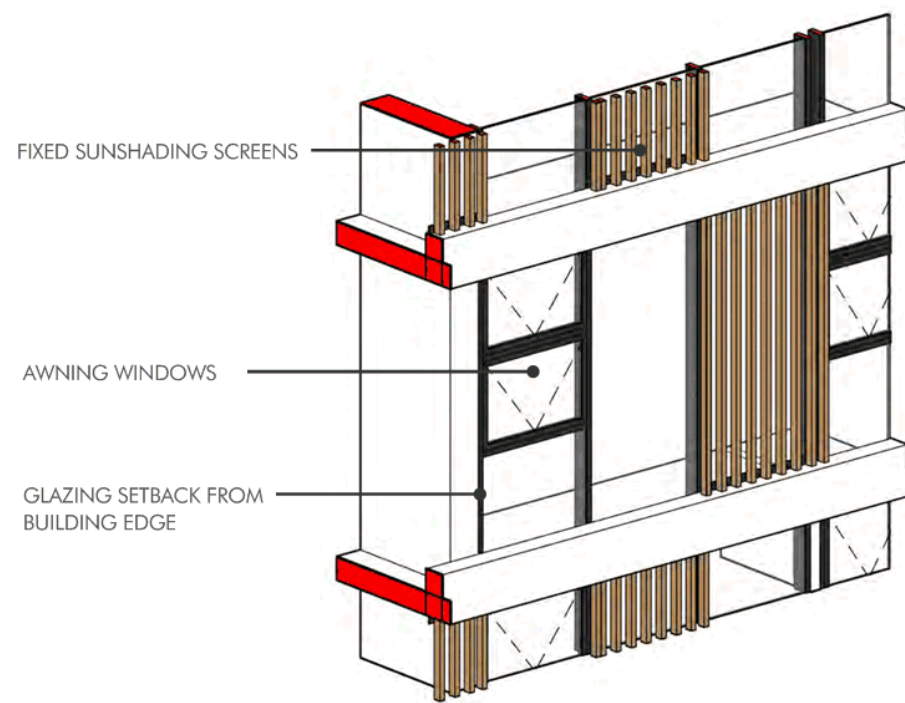
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 Sheet: 3



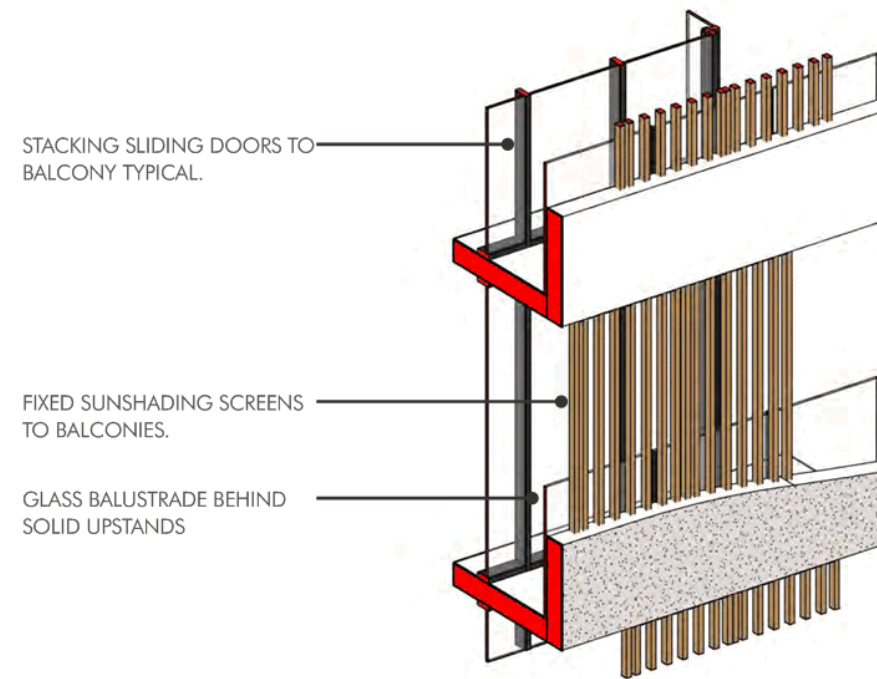
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 nettleontribe partners hip ply 161 ABN 55 161 683 122
 Level 5, 344 Queen Street, Brisbane, QLD 4000
 t +61 7 3235 2444
 e: brisbane@nettleontribe.com.au w: nettleontribe.com.au

03 Design Report

Tower Facade Concept



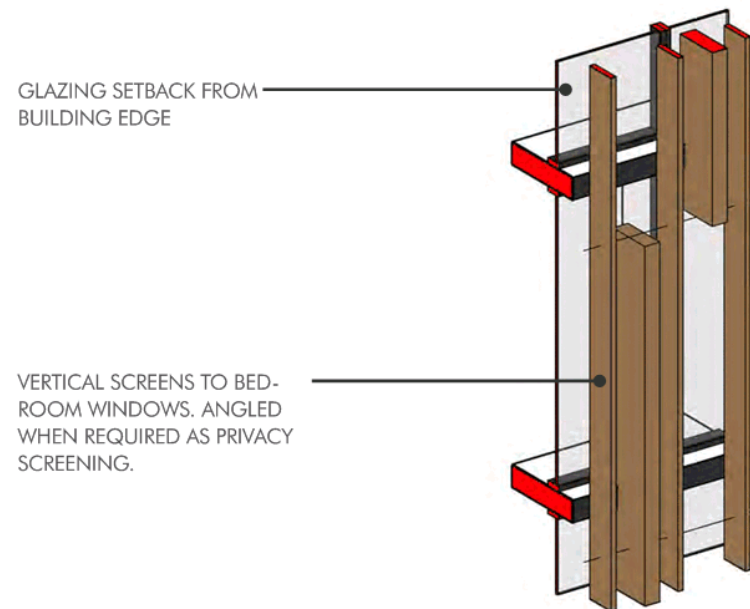
DETAIL 01 | SCREENS TO BEDROOM WINDOWS



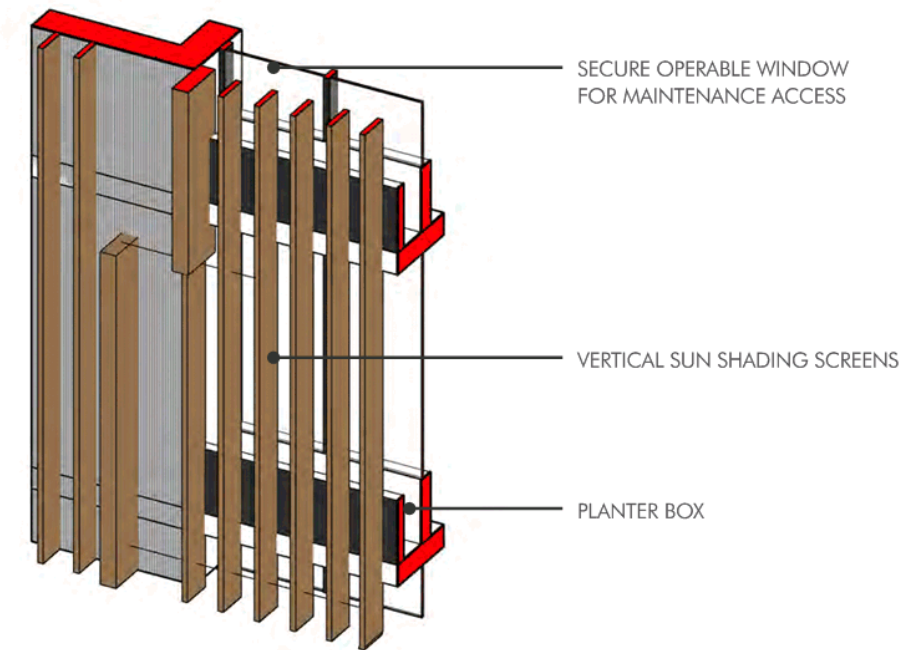
DETAIL 02 | SUNSHADING TO BALCONIES INFRONT OF BEDROOM WINDOWS

03 Design Report

Tower Facade Concept



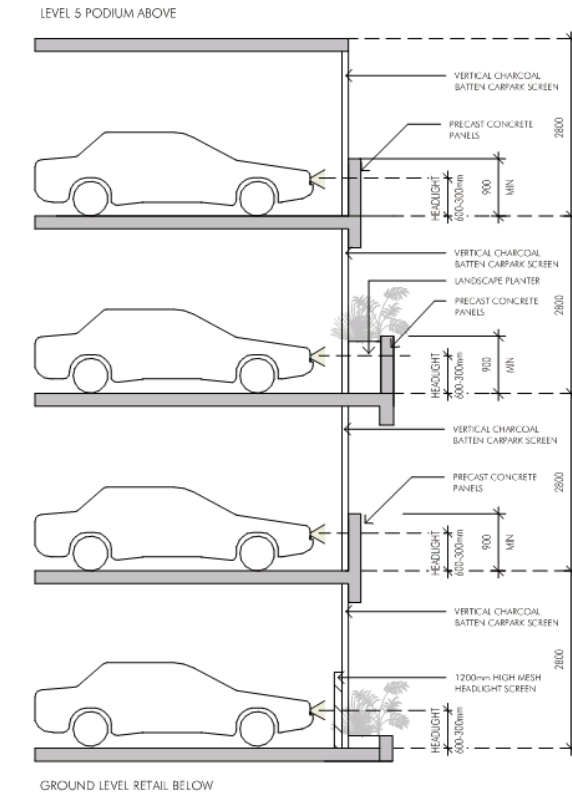
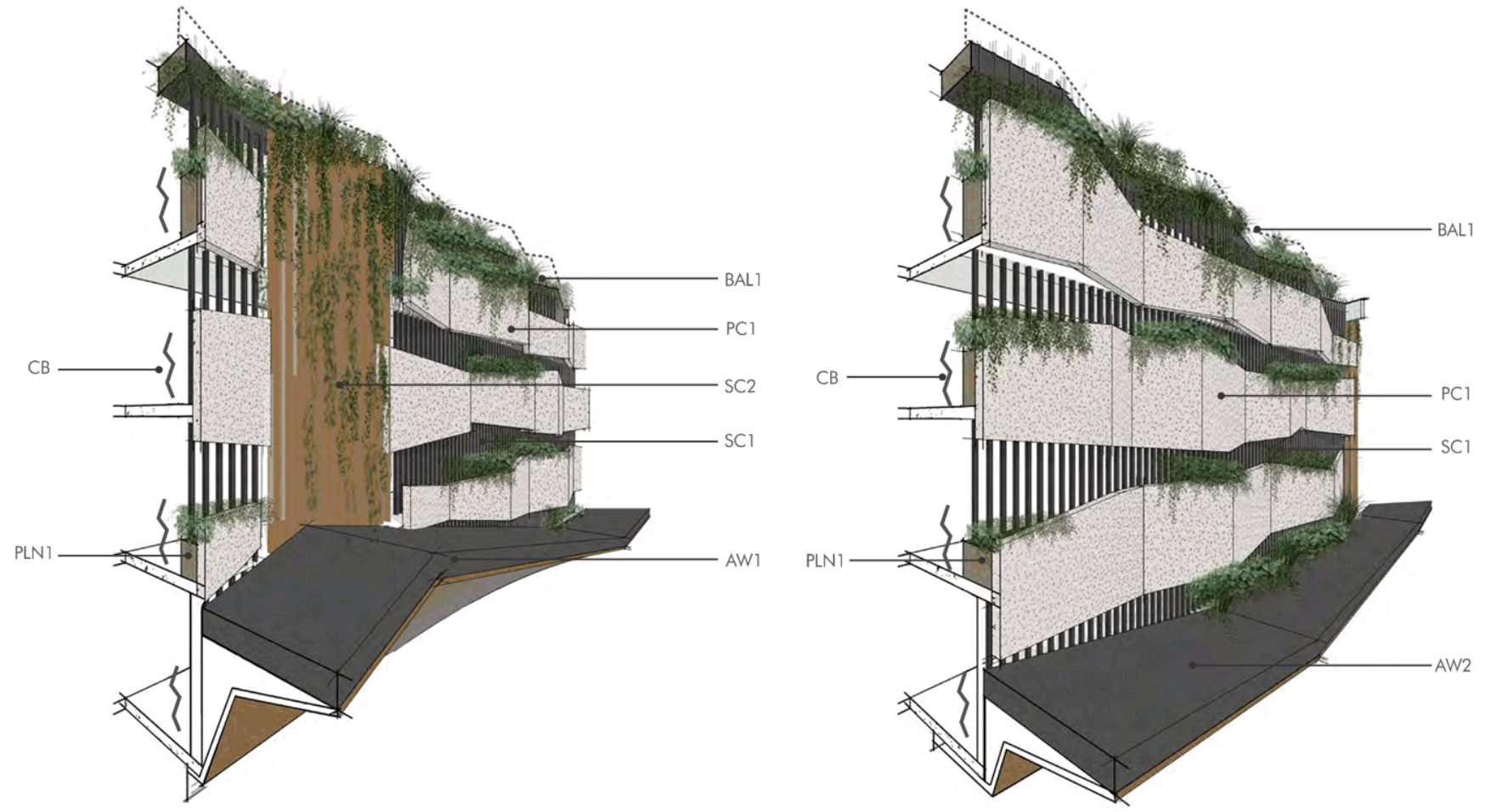
DETAIL 03 | VERTICAL SCREENING



DETAIL 04 | VERTICAL SCREENING TO LIFT LOBBY WINDOWS

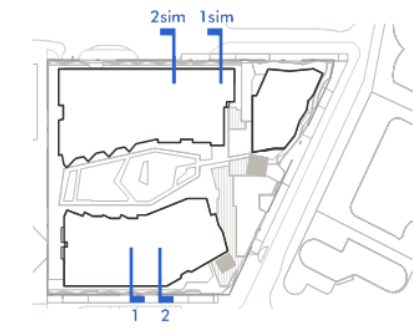
03 Design Report

Podium Facade Concept



VEHICLE HEADLIGHT HEIGHT AND UPSTAND DIAGRAM

- PC1 STAINED PRECAST CONCRETE PANELS, 2 COLOURS, 40% FORM-LINER TEXTURE
- SC1 VERTICAL CHARCOAL BATTEN CARPARK SCREEN, 60SQM FREE AIR REQUIRED PER LEVEL PER ELEVATION
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- AW1 LOBBY ENTRY STEEL FRAMED AWNING, COLORBOND ROOF & TIMBER CLAD SOFFIT
- AW2 STEEL FRAME RETAIL AWNING, COLORBOND ROOF & CFC SOFFIT
- PLN1 PLANTER BOX BEHIND PRECAST, REFER ELEVATIONS FOR LOCATIONS
- CB PROPRIETARY CRASH BARRIER SYSTEM
- BAL1 CHARCOAL ALUMINIUM BATTEN BALUSTRADE



Brisbane Road, Mooloolaba

DA Submission

February 2018, Rev B



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03 Design Report

Perspective Views

Brisbane Road



Approach from the Beachfront Promenade



Brisbane Road, Mooloolaba

DA Submission

February 2018, Rev B



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03 Design Report

Perspective Views

Brisbane Road and First Avenue



Public Plaza on corner of Brisbane Road and First Avenue



Brisbane Road, Mooloolaba

DA Submission

February 2018, Rev B



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03 Design Report

Perspective Views

Landscaped Podium



Pool and Landscaped Recreation Podium



Brisbane Road, Mooloolaba

DA Submission

February 2018, Rev B



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03 Design Report

Perspective Views

First Avenue and Smith Street



View of the hotel on the corner of First Avenue and Smith Street



Brisbane Road, Mooloolaba

DA Submission

February 2018, Rev B



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03 Design Report

Perspective Views

Brisbane Road and Smith Street



View from South-East along Brisbane Road



View from South-West along Smith Street



03 Design Report

Perspective Views

Brisbane Road & First Avenue Public Plaza



Public Plaza on corner of Brisbane Road and First Avenue



Brisbane Road, Mooloolaba

DA Submission

February 2018, Rev B



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36

BRISBANE ROAD MOOLOOLABA QLD

LANDSCAPE DOCUMENTATION

DEVELOPMENT APPLICATION

DRAWING REGISTER

Dwg No.	Drawing Title	Size	Scale	Iss
General				
LAN-DA-01	Cover Page	A1	N/A	B
LAN-DA-02	Design Statement	A1	N/A	B
LAN-DA-03	Public Domain Design Principles	A1	N/A	B
LAN-DA-04	Communal Facilities Design Principles	A1	N/A	B
LAN-DA-05	Landscape Compliance	A1	N/A	B
Plans				
LAN-DA-06	Ground Floor Landscape Plan	A1	1:200	B
LAN-DA-07	Level 03 Landscape Plan	A1	1:200	B
LAN-DA-08	Level 05 Podium Landscape Plan	A1	1:200	B
Elevations + Sections				
LAN-DA-09	First Avenue Landscape Section	A1	1:100	B
LAN-DA-10	Brisbane Road Landscape Section	A1	1:100	B
LAN-DA-11	Level 05 Podium Section	A1	1:150	B
LAN-DA-12	Facade Planting Detail	A1	N/A	B
Palettes				
LAN-DA-13	Public Domain Material Palette	A1	N/A	B
LAN-DA-14	Public Domain Furniture Palette	A1	N/A	B
LAN-DA-15	Planting Palette	A1	N/A	B
LAN-DA-16	Planting Palette	A1	N/A	B

GENERAL NOTES

- * FOR DEVELOPMENT APPLICATION ONLY
- * Do not scale from drawings
- * Larger scale drawings and written dimensions take preference
- * All dimensions in mm unless otherwise stated.
- * All tree dimensions and RLs in metres.
- * Use figured dimensions only.
- * Verify all dimensions on site before the commencement of any works.
- * Contractors shall locate and protect all services prior to construction.
- * All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
- * Structural Details shall be subject to Engineer's Specifications.
- * Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- * All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
- * Protect all adjoining property building, walls and paving. Damaged elements are to be replaced.
- * No responsibility will be taken by 360 degrees, for any variations in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
- * Service location on plans are indicative only . 360 accepts no responsibility for the accuracy of service location, it is the responsibility of the contractor to determine service locations prior to the commencement of work. Any damages remains the responsibility of the contractor.
- * This Drawing is copyright to 360 degrees.

LOCATION PLAN



NTS

ISS	AMENDMENT	DATE	BY	IMPORTANT NOTES	CLIENT	ARCHITECT	DRAWING	DWG. TITLE
A	Draft DA	24.11.17	LB		Abacus Property Group	Ignite & Nathan Tribe	DB	TITLE PAGE
B	DA	01.12.17	LB					PROJECT
C	DA	06.12.17	LB					Brisbane Road, Mooloolaba QLD
D	Response to Council RP	06.02.18	LB					



LANDSCAPE CONTROLS

The landscape design has considered all relevant planning controls and addresses each item satisfying the minimum requirement. The following statement identifies & confirms compliance. The diagrams above have been prepared to illustrate total garden area.

DEEP SOIL

Due to the nature of the site facility to operate as a below and above ground car park, the ability for the building to satisfy its functional use as required by Sunshine Coast City Council consequently means the minimum site deepsoil requirement can not be met. However, the built form mitigates this by proposing and incorporating an extensive podium landscape on Level 05 which has deep soil gardens that satisfy Sunshine Coast City Council minimum requirements.

Ground Floor = 54m²
 Level 01 = 85m²
 Level 02 = 22m²
 Level 03 = 81m²
 Level 04 = 25.5m²
 Level 05 = 1460m² (garden)

SITE AREA = 6781m²
 TOTAL GARDEN = 1673.5m²
 LANDSCAPE % of SITE = 24.5%

OPEN SPACE REQUIREMENTS

- A minimum of 10% of the site area is provided as communal open space. - This is achieved with the design providing 2175m² of communal open space, equating to 32%
- Provide communal open space to all residential apartment buildings at a minimum size of 60m² with a minimum dimension of 6m.
- Ensure a minimum of 50% of the communal open space area is unpaved and planted.
- Ensure communal open space is designed to provide:
 - a balance of sunshine and shade.
 - Accessible and safe routes through the area between buildings
 - Privacy for dwellings and their associated outdoor spaces addressing the larger communal space
 - Accessible and screened service areas.

PLANTING

- Priorities drought tolerant plant species
- Designing planters to support the appropriate soil depth and plant selection and to accommodate the largest volume of soil possible to a maximum depth of 1.2m
- Minimum soil depths are identified in detail sections. Typically soil depth is minimum of 300mm with localised mounding to 1000mm for trees

FENCES & WALLS

- A minimum 1.8m high solid screen fence is provided and maintained along the full length of any side or rear boundary.
- Design fences to highlight building entrances and allow for outlook and casual visual surveillance.
- Integrated with the building and landscape through the use of common materials and detailing. Particularly the level 3 and 5 balcony balustrades to ensure permeability of planting to the facade edge.

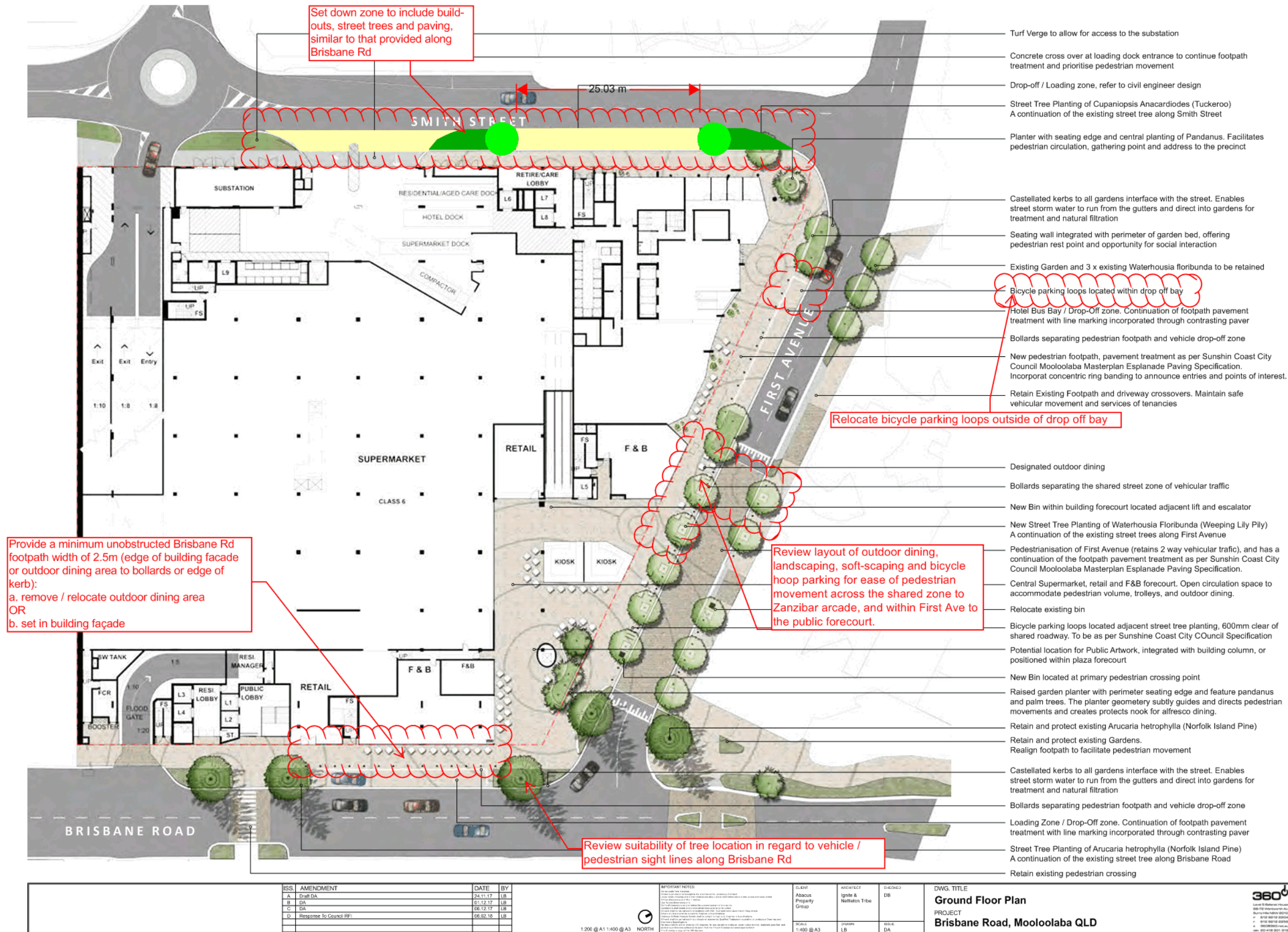
SAFETY & SECURITY REQUIREMENTS

- Ensure site boundaries and private and communal space boundaries are clearly defined and secure through incorporation of 1.8m high solid screen fence
- Ensure all communal and public site areas have clear sight lines and minimize opportunities for concealment.

ISS	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

CLIENT	ARCHITECT	DRAWING	DWG. TITLE
Abacus Property Group	Ignite & Nathan Tribe	DA	Design Compliance
SCALE	PROJECT	BRISBANE ROAD, MOOLOOLABA QLD	
1:1000			

<p>IMPORTANT NOTES: 1. This drawing is a design proposal and is not to be used for construction without the approval of the relevant authorities. 2. The design is based on the information provided and is not to be used for any other purpose. 3. The design is subject to change without notice. 4. The design is not to be used for any other purpose. 5. The design is not to be used for any other purpose.</p>	<p>360 LANDSCAPE ARCHITECTURE 100/110 BROADWAY SUITE 101/102 BRISBANE QLD 4000 P 07 559 10 000 F 07 559 10 000 E info@360la.com.au www.360la.com.au</p>
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ISS	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

CLIENT	ARCHITECT	DRAWING	DWG. TITLE
Abacus Property Group	Ignite & Nathan Tribe	DB	Ground Floor Plan
SCALE	PROJECT		Brisbane Road, Mooloolaba QLD
1:400 @ A3			

360
 LAND-DA-07



ISS	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

CLIENT	ARCHITECT	DRAWN	CHECKED
Abacus Property Group	Ignite & Nathan Tribe	LB	DB

SCALE	DWG. TITLE
1:400 @ A3	Level 03 Floor Plan

PROJECT
Brisbane Road, Mooloolaba QLD

<p>360</p> <p>Level 03 Brisbane Road 2018 02 22 09:00 AM 1:400 @ A3 1:400 @ A3 1:400 @ A3 1:400 @ A3</p>	<p>LAN-DA-08</p>
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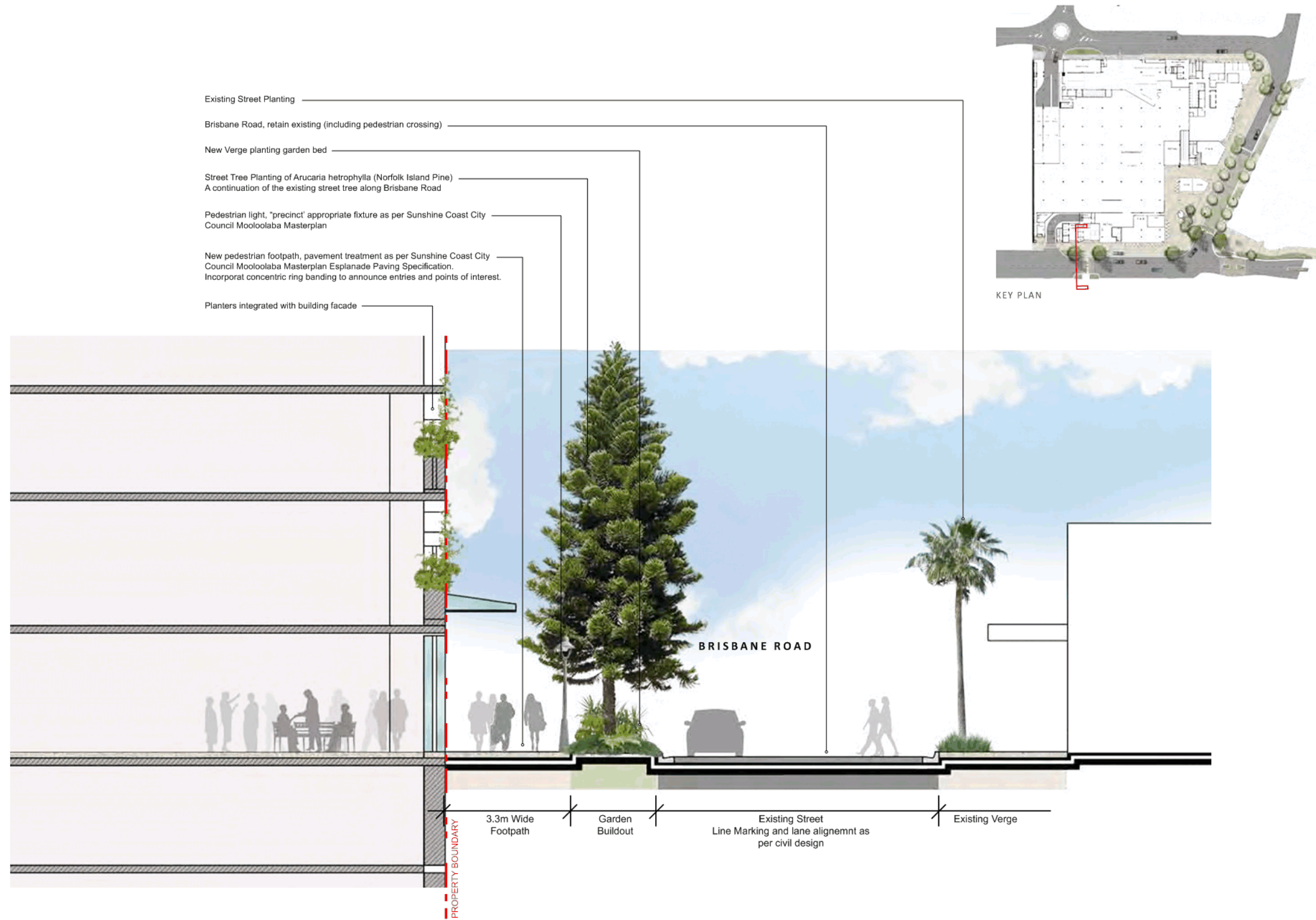
- LEGEND**
- 1 FACADE PLANTERS AND PLANTING TO PARAPET, REFER TO PLANTING SCHEDULE FOR SPILL OVER PLANTING SPACIES
 - 2 SWIMMING POOL DEDICATED TO AGED LIVING RESIDENTS, INCLUDES 1:14 RAMP WITH HANDRAILS FOR ACCESS AND A 15X3M LAP LANE
 - 3 POOL DECK WITH COMPLIANT STAIRS, RAMP & HANDRAILS
 - 4 SHALLOW WADING AREA AND LINEAR INPOOL BENCH SEAT
 - 5 HOTEL ACCESS TO COMMUNAL COURTYARD AND SWIMMING POOL
 - 6 SWIMMING POOL DEDICATED TO HOTEL AND RESIDENTIAL BUILDING GUESTS, INCLUDING 20M LAP LANE & SHALLOW KIDS WADING AREA
 - 7 NORTHERN FACING POOL DECK WITH SUN LOUNGES AND POT PLANTING
 - 8 1:20 RAMP ACCESS UP TO POOL DECK
 - 9 SECURE GATE AND FENCE TO AGED LIVING
 - 10 DWARF DATE PALM PLANTING TO EXTERNAL LOUNGE
 - 11 GATED ACCESS TO SWIMMING POOL
 - 12 EXTERNAL LOUNGE AND GATHERING SPACE
 - 13 ACTIVE COMMUNAL LAWN
 - 14 SCREEN PLANTING TO PRIVATE AND COMMUNAL COURTYARDS
 - 15 PRIVATE COURTYARDS WITH SECURE GATE ACCESS TO COMMUNAL COURTYARD
 - 16 BOCCO COURT
 - 17 CIRCULATION PATH AND NODAL SEATING POINTS
 - 18 OUTDOOR PING PONG TABLE
 - 19 DENSE BUFFER AND SCREEN PLANTING TO ADJOINING PROPERTY
 - 20 1500 HIGH FENC AND GATE TO PRIVATE COURTYARDS
 - 21 OUTDOOR TERRACE WITH SEATING, TABLES, POT PLANTS TO CAFE

ISS.	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

CLIENT	ARCHITECT	DRAWN	CHECKED
Abacus Property Group	Ignite & Nathan Tribe	LB	DA

SCALE	DWG. TITLE
1:400 @ A3	Level 05 Podium Floor Plan
	PROJECT
	Brisbane Road, Mooloolaba QLD

<p>360</p> <p>Level 05 Podium Floor Plan 2018-02-28 09:00 AM 01-12-17 09:00 AM 06-12-17 09:00 AM 06-02-18 09:00 AM</p>	<p>LAN-DA-09</p>
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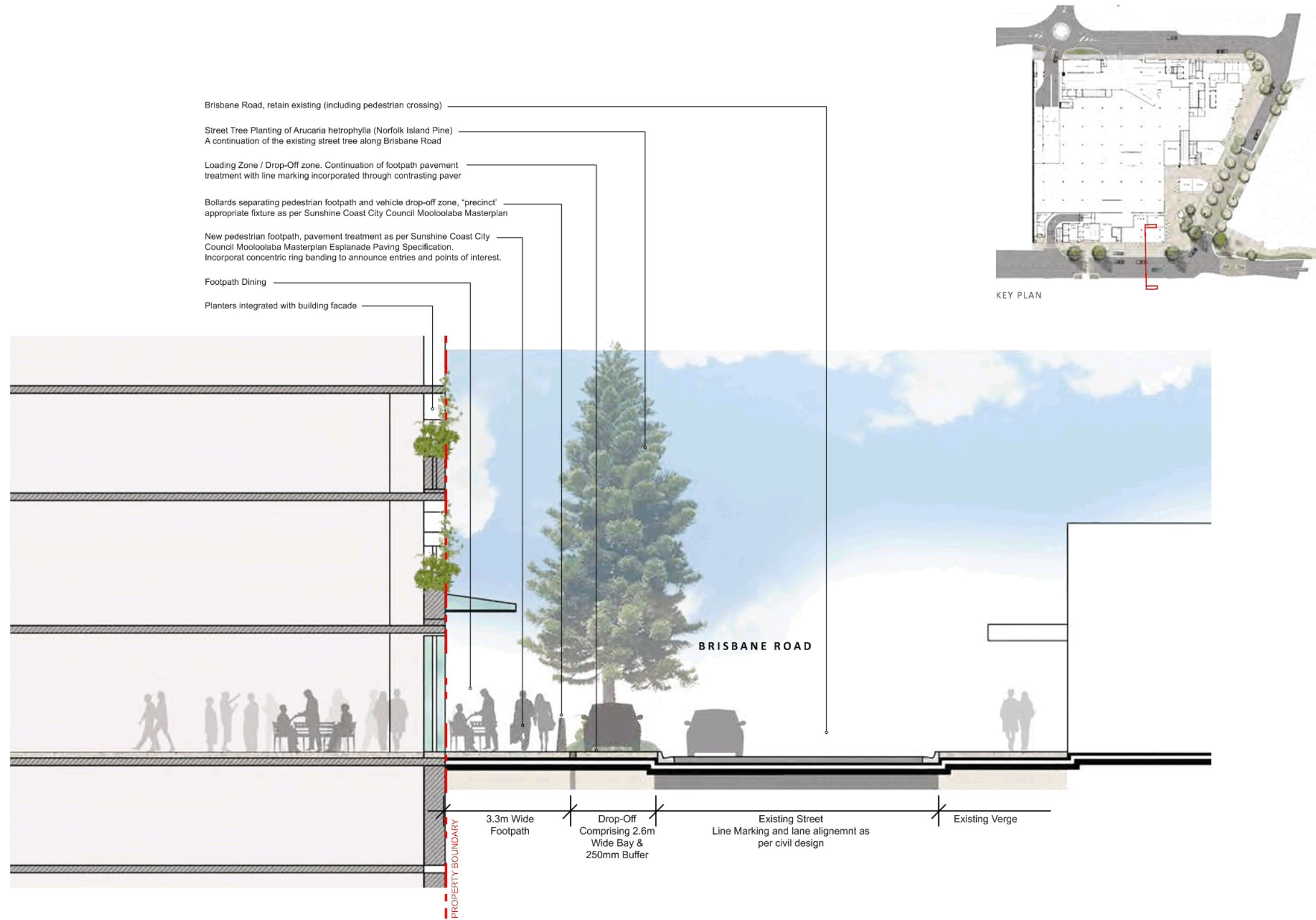


ISS	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

CLIENT	ARCHITECT	DRAWING	DWG. TITLE
Abacus Property Group	Ignite & Nathan Tribe	DB	Brisbane Road Section 01
			PROJECT
			Brisbane Road, Mooloolaba QLD

SCALE	DATE	BY
1:100	JANUARY	LB

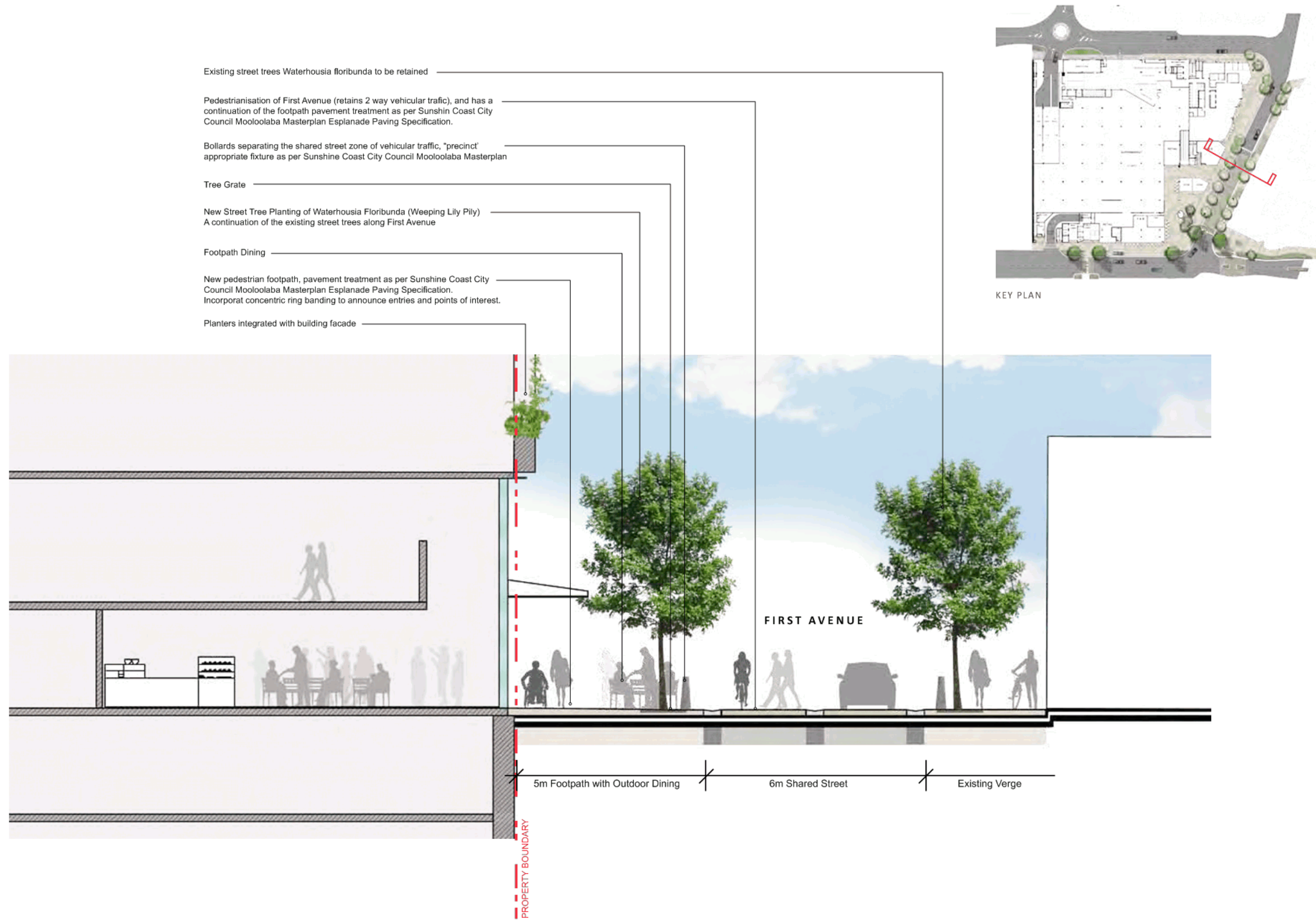
360	LAN-DA-010
Level 10 Brisbane House 200 St Andrew Street Brisbane QLD 4000 P 07 559 10 000 F 07 559 10 000 E info@360.com.au www.360.com.au	



ISS	AMENDMENT	DATE	BY	IMPORTANT NOTES	CLIENT	ARCHITECT	DRAWING	DWG. TITLE
A	Draft DA	24.11.17	LB		Abacus Property Group	Ignite & Nathan Tribe	DB	Brisbane Road Section 02
B	DA	01.12.17	LB				PROJECT	
C	DA	06.12.17	LB				Brisbane Road, Mooloolaba QLD	
D	Response to Council RP	06.02.18	LB					

1:100 @ A1 1:200 @ A3

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 LAND-DA-011



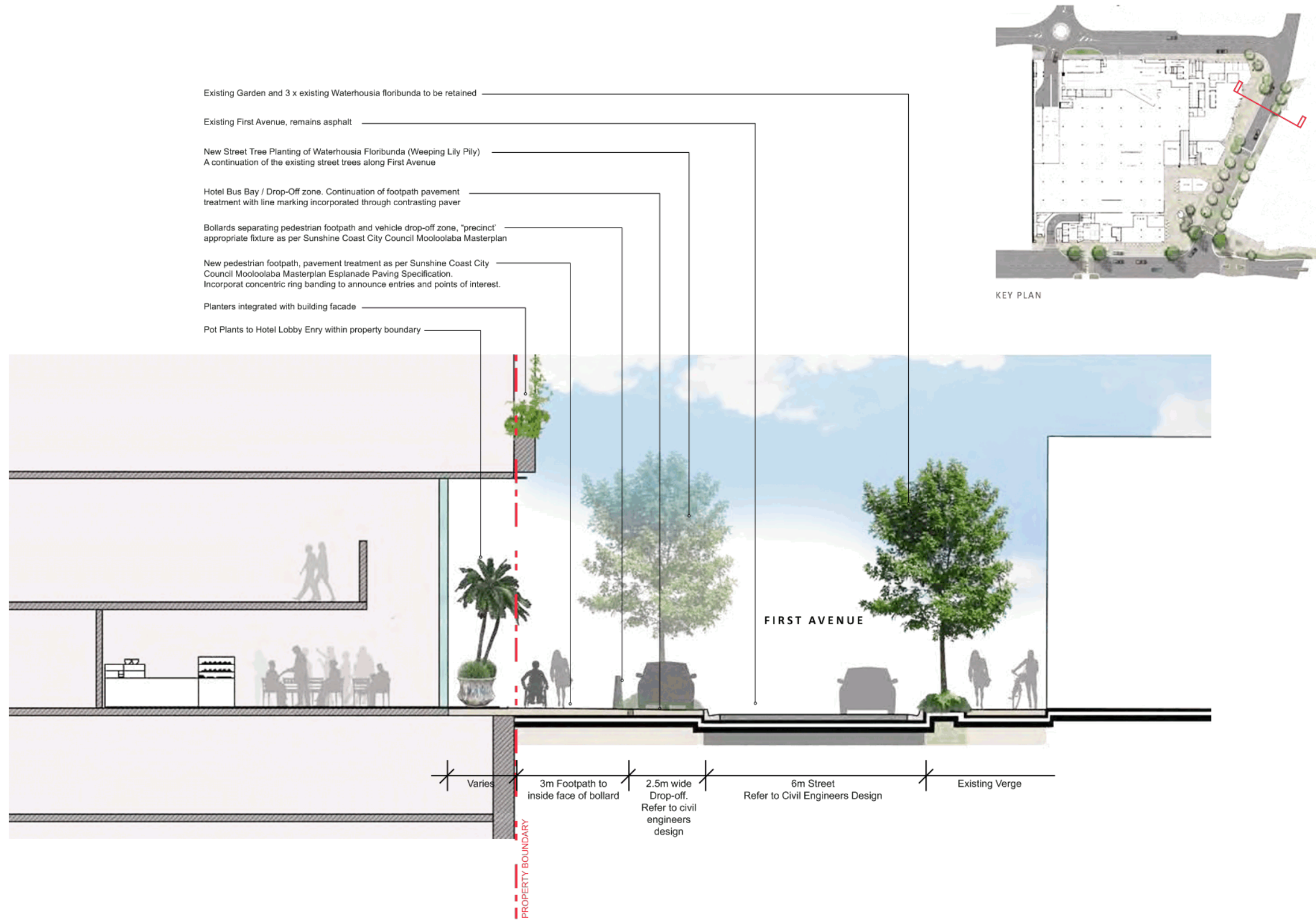
ISS	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

CLIENT	ARCHITECT	DRAWING	DWG. TITLE
Abacus Property Group	Ignite & Nathan Tribe	DB	First Avenue Section 01
SCALE	1:100	DA	PROJECT Brisbane Road, Mooloolaba QLD

ISS	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

1:100 @ A1 1:200 @ A3

360
 LAND-DA-012



ISS	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

CLIENT	ARCHITECT	DRAWING	DWG. TITLE
Abacus Property Group	Ignite & Nathan Tribe	DB	First Avenue Section 02
			PROJECT
			Brisbane Road, Mooloolaba QLD

SCALE	DATE	BY
1:100	JANUARY	LB
		DA

1:100 @ A1 1:200 @ A3	360	LAN-DA-013
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- LEGEND**
- 1 PRIVATE COURTYARD
 - 2 SECURE FENCE AND GATE TO COURTYARD
 - 3 SCREEN PLANTING TO PRIVATE AND COMMUNAL COURTYARDS
 - 4 STEPPER ACCESS FROM PRIVATE COURTYARD TO COMMUNAL SPACE
 - 5 PRIMARY CIRCULATION PATH WITH NODAL SEATING POINTS
 - 6 LUSH LANDSCAPE GARDENS TO COMMUNAL PODIUM TO PROVIDE PRIVACY, SEPARATION OF SPACE, AND AMENITY
 - 7 ACTIVE COMMUNAL LAWN
 - 8 DENSE BUFFER AND SCREEN PLANTING TO ADJOINING PROPERTY



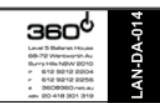
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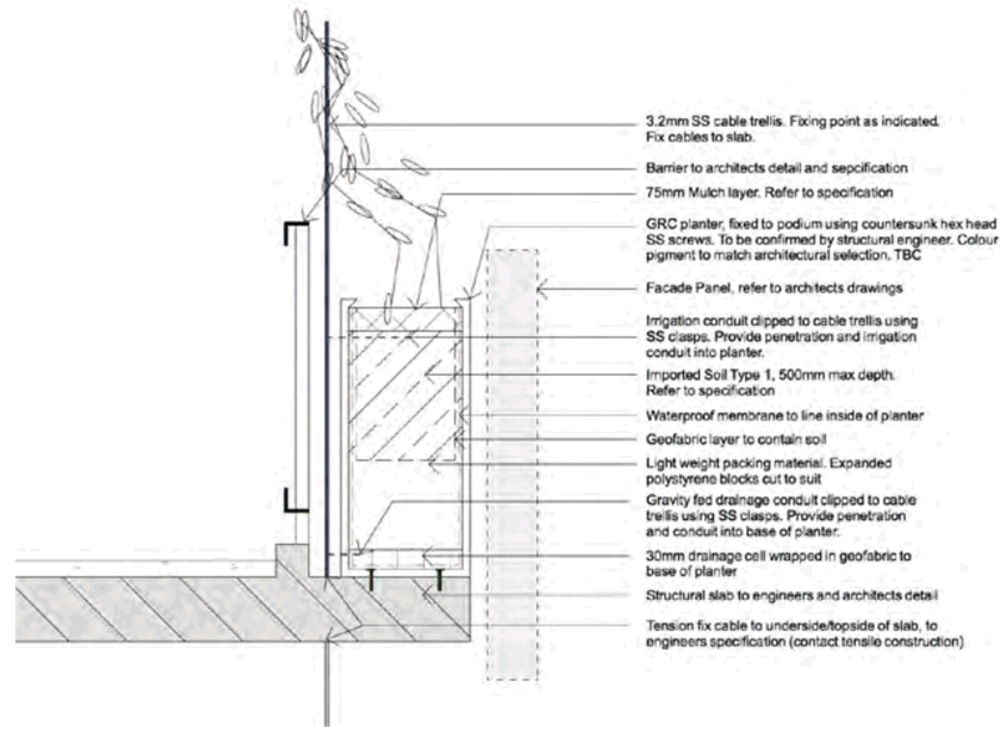


ISS	AMENDMENT	DATE	BY
A	Draft DA	24.11.17	LB
B	DA	01.12.17	LB
C	DA	06.12.17	LB
D	Response to Council RP	06.02.18	LB

CLIENT	ARCHITECT	DRAWING	DWG. TITLE
Abacus Property Group	Ignite & Nathan Tribe	DB	First Avenue Section
			PROJECT
			Brisbane Road, Mooloolaba QLD

SCALE	DATE	BY
1:100	JANUARY	LB
		DA





HANGING, SPILLOVER & CLIMBING

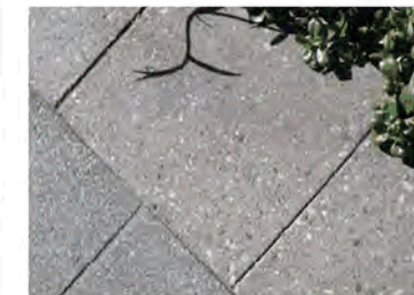


ISS	AMENDMENT	DATE	BY	IMPORTANT NOTES	CLIENT	ARCHITECT	DRAWING	DWG. TITLE
A	Draft DA	24.11.17	LB		Abacus Property Group	Ignite & Nathan Tribe	DB	Facade Planting Detail
B	DA	01.12.17	LB					PROJECT
C	DA	06.12.17	LB					Brisbane Road, Mooloolaba QLD
D	Response to Council RP	06.02.18	LB					

360
 LAND-DA-015

Description	Treatment	Supplier
Surface Treatment		
Concrete 1 (Primary pathway)	Product: Exposed Aggregate Coloured Concrete Colour: CCS "Stallion 6%" Aggregate: Holcim 'Gympie gold' -A mixture of 70% 10mm Mirage and 30% 10mm Western Red. Finish: Light wash Feature: edge score line 400mm offset from edge of pavement Sealer: Refer below for 'Concrete & Paver Sealant'	Colour Supplier: Concrete Colour Systems T: 1800 077 744 www.concretecoloursystems.com.au
Concrete 2	Product: Exposed Aggregate Coloured Concrete to match Urbanstone Mooloolaba Sand mix #906 Colour: CCS 'Desert Buff' Aggregate: 10mm Glasshouse Finish: Light wash Feature: edge score line 400mm offset from edge of pavement (as required to match) Sealer: Refer below for 'Concrete & Paver Sealant'	Colour Supplier: Concrete Colour Systems T: 1800 077 744 www.concretecoloursystems.com.au
Paver 1 Feature / Header	Product: Urban Stone Mooloolaba Rocky Road #873. 400x400x40mm concrete unit pavers Finish: Honed & Shotblast Grout: Colour Anthracite. 3-4mm grouted joint with Mapei Keracolor GG Sealer: Refer below for 'Concrete & Paver Sealant'	Supplier: Urbanstone T: 07 3890 5062 www.urbanstone.com.au
Paver 2	Product: Urban Stone Mooloolaba Rock #905. 400x400x40mm concrete unit pavers Finish: Honed & Shotblast Grout: Colour Anthracite. 3-4mm grouted joint with Mapei Keracolor GG Sealer: Refer below for 'Concrete & Paver Sealant'	Supplier: Urbanstone T: 07 3890 5062 www.urbanstone.com.au
Paver 3	Product: Urban Stone Mooloolaba Sand #906. 400x400x40mm concrete unit pavers Finish: Honed & Shotblast Grout: Colour Beige 2000. 3-4mm grouted joint with Mapei Keracolor GG Sealer: Refer below for 'Concrete & Paver Sealant'	Supplier: Urbanstone T: 07 3890 5062 www.urbanstone.com.au

Steps	Product: Dual colour Urbanstone Mooloolaba Rocky Road #873 with Mooloolaba Sand #906 nosing. Finish: Honed & Shotblast Grout: Colour Anthracite to match paver. 3-4mm grouted joint with Mapei Keracolor GG Sealer: Refer below for 'Concrete & Paver Sealant'	Supplier: Urbanstone T: 07 3890 5062 www.urbanstone.com.au
TGSI Warning Pavers	Product: Chelmstone 300x300x40mm Warning Tactile Unit Paver Colour: CCS 'Black 21' or 'Ivory'. Must meet luminance contrast AS1428. Grout: Colour to match TGSI paver	Supplier: Chelmstone T: 07 3279 3177 www.chelmstone.com.au
TGSI Directional Pavers	Product: Chelmstone 300x300x40mm Directional Tactile Unit Paver Colour: CCS 'Black 21' or 'Ivory'. Must meet luminance contrast AS1428.	Supplier: Chelmstone T: 07 3279 3177 www.chelmstone.com.au
Timber Decking	Product: Timber Decking 45x90mm Eco-sustainable hardwood. Timber must be 6 month seasoned. Finish: light sand to remove splintering, 5mm DAR aris to all exposed edges. Timber Sealant: Intergrain 'Ultradeck'	Supplier: N/A
Strip Drain or Grate	Product: Marine Grade 316 stainless steel 'Healproof' trafficable strip drain. Sand blasted to exceed A.S. for slip resistance	Supplier: Tellam Civil Products T: 07 5493 3044 www.tellam.com.au
Infill pit lids	Product: All infill lid types shall be service provider approved (eg Telstra, Energex, Unity Water). Colour: N/A Finish: All new, existing or relocated pits and chambers must have infill lids with decorative SS risers to match in with finish and depth of adjacent surface treatment.	Supplier: Refer to service provider
Man hole lids	Product: ACO Drain Rhinocast Cellular Frame 600RD or equivalent. Colour: N/A Finish: Ductile circular infill type lid and frame in concrete structural surround. Heavy Duty Class D, nominal 600 diameter. Lid to be in-filled to match in with adjacent paving surrounds.	Supplier: ACO T: 1300 765 226 www.acoaus.com.au

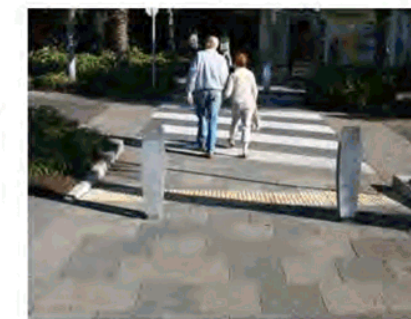


ISS	AMENDMENT	DATE	BY	REVISIONS	CLIENT	ARCHITECT	DESIGNER	DWG. TITLE
A	Draw DA	24.11.17	LB		Abacus Property Group	Ignite & Nathston Tribe	DB	Public Domain Material Palette
B	DA	01.12.17	LB					PROJECT
C	DA	06.12.17	LB					Brisbane Road, Mooloolaba QLD
D	Response to Council RP	06.02.18	LB					

LAN-DA-016

Description	Treatment	Supplier
Medians & Pedestrian Crossings		
Pedestrian raised crossing surface treatment	Exposed Aggregate Coloured Concrete Colour: CCS Stallion 6% Aggregate: 10mm Blue/black metal Finish: Light wash	Colour Supplier: Concrete Colour Systems T: 1800 077 744 www.concretecoloursystems.com.au
Traffic calming device / ramp	Product: Exposed aggregate coloured concrete, "checkerboard" mix (50% white ash, 50% blue metal) Colour: CCS oxide "Black" in grey cement Finish: Medium wash	Colour Supplier: Concrete Colour Systems T: 1800 077 744 www.concretecoloursystems.com.au
Backing strip and/or infill	Product: Exposed Aggregate Coloured Concrete Colour: CCS Stallion 6% Aggregate: Holcim 'Gympie gold' - A mixture of 70% 10mm Mirage and 30% 10mm Western Red. Finish: Light wash	Colour Supplier: Concrete Colour Systems T: 1800 077 744 www.concretecoloursystems.com.au
Pedestrian refuge surface treatment	Exposed Aggregate Coloured Concrete Colour: CCS Stallion 6% Aggregate: Holcim 'Gympie gold' - A mixture of 70% 10mm Mirage and 30% 10mm Western Red. Finish: Light wash	Colour Supplier: Concrete Colour Systems T: 1800 077 744 www.concretecoloursystems.com.au
Roundabout Apron	Product: Broom finish concrete Colour: CCS Stallion 6% Finish: Light Broom	Colour Supplier: Concrete Colour Systems T: 1800 077 744 www.concretecoloursystems.com.au
Kerb ramp	Product: Plain concrete Aggregate: Black Finish: Light Broom	Supplier: N/A

Street Furniture		
Rubbish Bin Enclosure	Product: Gossi Park Bayside Bin Enclosure to suit 240L bin. Colour: Cabinet: 'Blue Night'; Hood: Clear Finish: Anodised Aluminium Panels & Hood with antigraffiti coating	Supplier: Gossi Park - G James T: 07 3877 2856 www.gossipark.com.au
Recycling Bin Enclosure	Product: Gossi Park Bayside Bin Enclosure to suit 240L bin and gold Recycle Panel. Colour: Cabinet: 'Blue Night'; Hood: Gold Finish: Anodised Aluminium Panels & Hood with antigraffiti coating	Supplier: Gossi Park - G James T: 07 3877 2856 www.gossipark.com.au
Cigarette butt bin	Product: Stainless steel large bin (2.9kg, 420mmH, 100mmW) Colour: N/A Finish: Polished	Supplier: Butt Out Australia. T: 1800 358 258 www.buttoutaustralia.com.au
Drinking Fountain	Product: CCC01 Drinking Fountain. Marine grade 316 stainless steel Colour: N/A Finish: Polished (no. 4 finish, Ra <0.5 micrometers, to be passivated with acid or electropolished)	Supplier: Street & Garden Furniture T: 07 3844 1951 www.streetandgarden.com
Water supply - Single hose cock	Product: 1500x100x100 hardwood post, set 900mm above finished surface level. 19mm Copper riser pipe and 20mm vandal proof hose tap Colour: N/A Timber Sealant: Intergrain as per palette	Refer to SCC Standard Infrastructure Detail



ISS	AMENDMENT	DATE	BY	IMPORTANT NOTES	CLIENT	ARCHITECT	DRAWING	DWG. TITLE
A	Draw DA	24.11.17	LB		Abacus Property Group	Ignite & Nathan Tribe	DB	Public Domain Furniture Palette
B	DA	01.12.17	LB					PROJECT
C	DA	06.12.17	LB					Brisbane Road, Mooloolaba QLD
D	Response to Council RP	06.02.18	LB					

360
 LAND-DA-017

TREES + PALMS



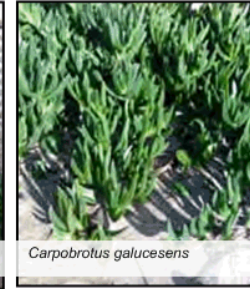
SHURBS + FERNS



ISS	AMENDMENT	DATE	BY	IMPORTANT NOTES	CLIENT	ARCHITECT	DRAWING	DWG. TITLE
A	Draft DA	24.11.17	LB	1. This drawing is the property of the Architect and is not to be used for any other purpose without the written consent of the Architect. 2. This drawing is not to be used for any other purpose without the written consent of the Architect. 3. This drawing is not to be used for any other purpose without the written consent of the Architect. 4. This drawing is not to be used for any other purpose without the written consent of the Architect. 5. This drawing is not to be used for any other purpose without the written consent of the Architect.	Abacus Property Group	Ignite & Nathan Tribe	DB	Planting Palette & Schedule
B	DA	01.12.17	LB					PROJECT
C	DA	06.12.17	LB					Brisbane Road, Mooloolaba QLD
D	Response to Council RP	06.02.18	LB					



GRASSES + GROUNDCOVERS



HANGING, SPILLOVER & CLIMBING



PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME
TREES + PALMS	
<i>Livistonia Australis</i>	Bangalee
<i>Pandanus Pedunculatus</i>	Pandan
<i>Waterhousia Floribunda</i>	Weeping
<i>Banksia Integritolia</i>	Coast E
<i>Araucaria heterophylla</i>	Norfolk
<i>Phoenix roebillini</i>	Dwarf F
<i>Hibiscus tiliaceus</i>	Cotton
<i>Michelia alba</i>	White C
<i>Plumeria obtusa</i>	Frangip
<i>Tristaniopsis lushchious</i>	Waterg
<i>Cupaniopsis anacardiodes</i>	Tucker
SHRUBS + FERNS	
<i>Alocasia macrorrhiza</i>	Elephan
<i>Philodendron congo</i>	Congo
<i>Monstera deliciosa</i>	Cheese
<i>Alpinia caerulea</i>	Native
<i>Dietes robinsonia</i>	Fortnigh
<i>Asplenium nidus</i>	Birds N
<i>Macrozamia communis</i>	Burraw
<i>Buxus microphylla</i>	Engligh
<i>Molinieria capitulata</i>	Palm G
<i>Dichorisandra thyrsifolia</i>	Blue Gi
<i>Blechnum silver lady</i>	Dwarf T
<i>Eletaria cardamom</i>	Cardam
<i>Alpinia nutans</i>	Dwarf C
<i>Drepanostachyum falcatum</i>	Blue Ba
<i>Rhapis humilis</i>	Lady P
<i>Echium canidcans</i>	Pride of
<i>Plectranthus mona lavender</i>	Mona L
<i>Rapheolepis indica</i>	Indian h
<i>Zamia furfuracea</i>	Carbo
<i>Pittosporum miss muffed</i>	Pittospor
<i>Westringia fruticosa</i>	Coastal
GRASSES + GROUNDCOVERS	
<i>Liriope evergreen giant</i>	Liriope
<i>Carpobrotus galucesens</i>	Pig Fac
<i>Zoysia tenuifolia</i>	Corean
<i>Dianella little jess</i>	Little Je
<i>Viola odorata</i>	Native V
<i>Miscanthus sinensis</i>	Maiden
<i>Dichondra repens</i>	Kidney
<i>Cissus antarctica</i>	Kangan
<i>Banksia 'rollercoaster'</i>	Banksia
<i>Myoporum parvifolium</i>	Creeping
HANGING, SPILLOVER + CLIMBING	
<i>Hibbertia scandens</i>	Climb

