

APPROVED

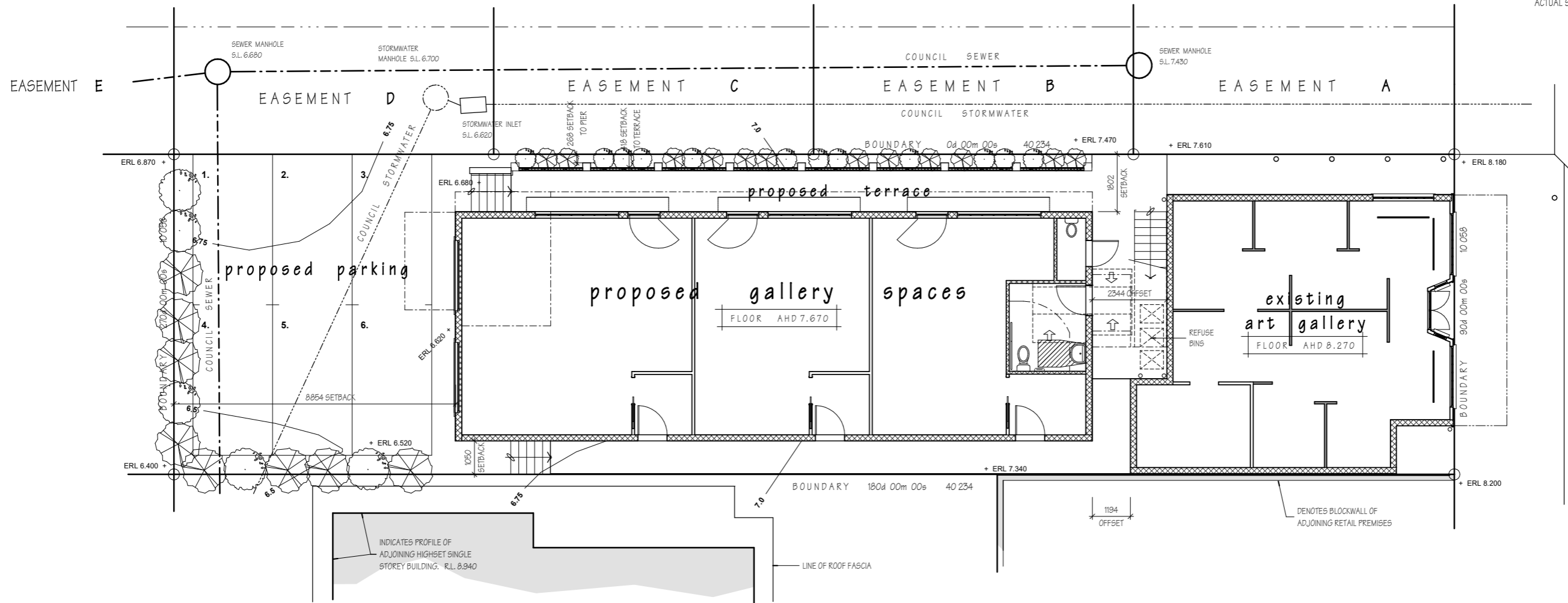
MCU18/0008

06 June 2018

ALL SURVEY DETAILS TAKEN FROM PLAN
PREPARED BY D&J BELL SURVEYS
DRAWING No 0114. ph 0403 765 590

BUILDER SHALL CONTACT DIAL BEFORE YOU DIG SERVICES PRIOR TO COMMENCING ANY SETOUT OR EXCAVATION WORK TO DETERMINE EXACT LOCATION & DEPTH OF UNDERGROUND SERVICES

SITE COVERAGE DETAILS
SITE AREA = 405.0 SQ.M
MAXIMUM SITE COVERAGE = 70% - 283.5 SQ.M
EXISTING ART GALLERY SITE COVER = 78.3 SQ.M
PROPOSED GALLERY SPACES & RESIDENTIAL SITE COVER = 156.7 SQ.M
TOTAL SITE COVER = 235.0 SQ.M
ACTUAL SITE COVERAGE = 58.0% - 235.0 SQ.M



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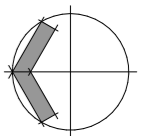
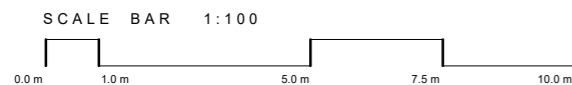
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S I T E P L A N

SCALE 1:100

BUILDER SHALL CONFIRM ALL SET-OUT DIMENSIONS PRIOR TO COMMENCING ANY WORK

PROPERTY DESCRIPTION
LOT 102 - RP 8430
AREA = 405 SQ.M
PARISH OF BRIBIE
COUNTY OF CANNING
TOWN OF MOFFAT BEACH
SUNSHINE COAST REGIONAL COUNCIL



ISSUE C GENERAL REVISION 27TH MARCH 2018

<p>tay'lord dis tinc'tion. n. (ta lard de stingk shen)</p> <ol style="list-style-type: none"> 1. Creative and innovative building designs that meet the needs of the individual, compliment the environment, and are characterised by qualities that set it apart from the others. 2. The design of new buildings and the modification of existing buildings to satisfy a particular taste, purpose, and situation. 3. The design of energy efficient buildings, utilising the elements of nature to impact operating costs. 4. Well presented and meticulous plans that provide design intent, structural detail, and construction requirements to partner smooth construction. 	<ol style="list-style-type: none"> 1. These drawings shall be read in conjunction with consultants drawings & specifications & with such other written instructions or as may be issued during the course of the contract. 2. All materials & workmanship shall be in accordance with the requirements of the current A.S. codes & the By-Laws & ordinances of the relevant building authority. 3. All dimensions & levels shown shall be verified on site before commencement of any work. Figured dimensions shall overrule scaling of drawing. 	<p>Suite 1/61 Bulcock Street Caloundra QLD 4551</p> <p>P 07 5492 6922 M 0412 226 922 W www.taylord.com.au E buildingdesigns@taylord.com.au</p>	<p>TAYLOR'D DISTINCTION</p> <p>individually designed homes that define your lifestyle</p> <p>BDA Eco-Design Smart Building Designer Sustainable House Design Professional</p>	Client annie holloway & barrie morrison	Issue C	Scale 1:100	Date march 2018
				Project new development at lot 102 #1 roderick street moffat beach	Drawn by david hutchinson	© copyright	Drawing # DA-01
				site plan	Designed by pete taylor		Job #
				Sheet DA-01 OF 22	1601-1415		

BUILDER TO ALLOW & PROVIDE CONSTRUCTION JOINT SYSTEMS FOR POTENTIAL DIFFERENTIAL SETTLEMENT OF EXISTING STRUCTURE & NEW EXTENSION TO MINIMISE CRACKING OF FINISHES

SALT ENVIRONMENT CONSIDERATION
 DWELLING TO COMPLY WITH CORROSION PROTECTION REQUIREMENTS OF NATIONAL CONSTRUCTION CODE NCC FOR BUILDINGS LESS THAN 100 METRES TO SALT WATER. REFER TO BCA TABLES 3.4.4.2 & 3.5.1.1a & AUSTRALIAN STANDARD AS3700 & AS4773. - COLORBOND ULTRA REQUIRED, M3 MORTAR & R3 BUILT IN COMPONENTS

REFER TO ALL DRAWING SHEETS FOR GENERAL & SPECIFIC NOTES REGARDING CONSTRUCTION STANDARDS & REGULATIONS.

BATHROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION TO COMPLY WITH MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARD AS 1668.2 & AS/NZS 3666.1

GROUND FLOOR WINDOW SCHEDULE				
TAG	WINDOW TYPE	HEAD HEIGHT	COMMENTS	
GW1	2426 FIXED GLASS	2400		
GW2	GLASS FEATURE ENTRY DOOR	2400		
GW3	2426 FIXED GLASS	2400		
GW4	GLASS FEATURE ENTRY DOOR	2400		
GW5	GLASS FEATURE ENTRY DOOR	2400		
GW6	2426 FIXED GLASS	2400		
GW7	0622 FIXED GLASS	2800		
GW8	0622 FIXED GLASS	2800		

GROUND FLOOR DOOR SCHEDULE				
TAG	WIDTH	HEIGHT	DOOR TYPE	DOOR CONSTRUCTION
GD1	920	2040	PWD COMPLIANT DOOR	SOLID
GD2	920	2040	FLUSH PANEL ALL WEATHERED	SOLID
GD3	820	2040	CAVITY SLIDER	SOLID
GD4	920	2040	FLUSH PANEL ALL WEATHERED	SOLID
GD5	820	2040	CAVITY SLIDER	SOLID
GD6	920	2040	FLUSH PANEL ALL WEATHERED	SOLID
GD7	820	2040	CAVITY SLIDER	SOLID
GD8	820	2040	FLUSH PANEL	SOLID

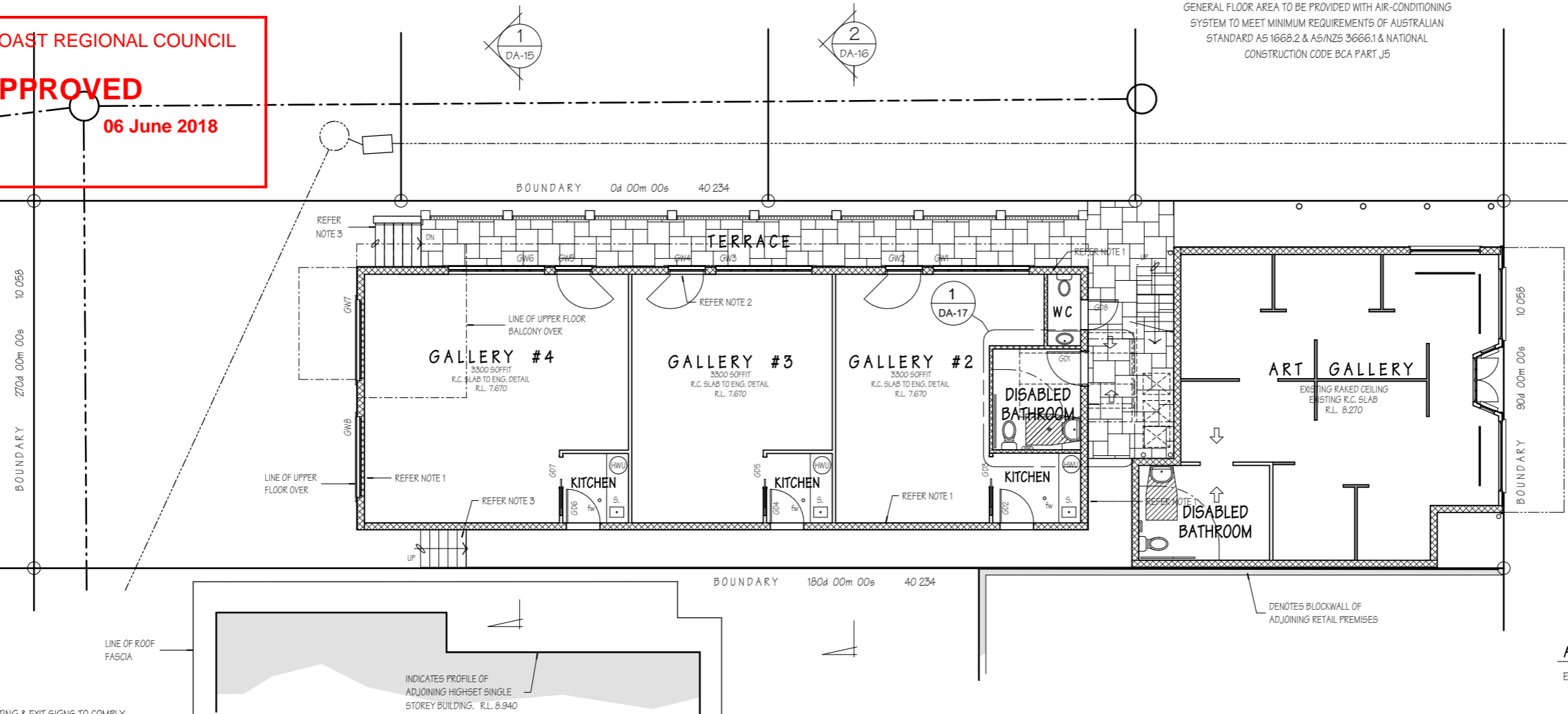
MANUFACTURERS SPECIFICATION
 ALL BUILDING MATERIALS TO BE USED ON SITE SHALL BE STORED, INSTALLED, & MAINTAINED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATION. REFER TO MANUFACTURERS RECOMMENDATIONS FOR MATERIAL & PRODUCT SELECTION FOR ALL SITES IN PROXIMITY TO SALT ENVIRONMENTS.

BRICKWORK/BLOCKWORK ARTICULATION JOINTS
 BRICKWORK ARTICULATION JOINTS ARE TO BE PROVIDED AT LOCATIONS SPECIFIED BY THE ENGINEER &/OR THE BUILDING CODE OF AUSTRALIA.

SUNSHINE COAST REGIONAL COUNCIL
APPROVED
 MCU18/0008 06 June 2018

GENERAL FLOOR AREA TO BE PROVIDED WITH AIR-CONDITIONING SYSTEM TO MEET MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARD AS 1668.2 & AS/NZS 3666.1 & NATIONAL CONSTRUCTION CODE BCA PART J5

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GROUND FLOOR PLAN

SCALE 1:100

BUILDER IS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK.

AREA CALCULATIONS

EXISTING GALLERY	=	78.3 sq.m
GROUND FLOOR		
GALLERY #2	=	39.5 sq.m
GALLERY #3	=	40.1 sq.m
GALLERY #4	=	53.7 sq.m
RETAIL TOTAL	=	133.3 sq.m
DISABLED BATHROOM	=	7.9 sq.m
WATER CLOSET	=	2.5 sq.m
TERRACE	=	42.5 sq.m
LANDING	=	1.7 sq.m
TOTAL AREA	=	187.9 sq.m
UPPER FLOOR		
LIVING	=	140.4 sq.m
PORCH	=	2.2 sq.m
BALCONY	=	17.5 sq.m
PATIO	=	3.1 sq.m
UPPER TOTAL	=	163.2 sq.m

EMERGENCY LIGHTING & EXIT SIGNS TO COMPLY WITH MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARD AS 2293 PART 1 - 2005

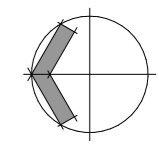
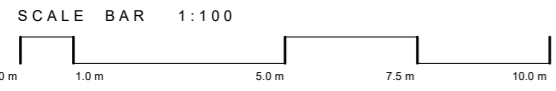
GENERAL LIGHTING TO COMPLY WITH MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARD AS 3000 & AS/NZS 1680.0 & NCC 2016, BCA VOLUME 2, PART J6.

REFER TO MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARD AS 1428.1 - 2009 DESIGN FOR ACCESS & MOBILITY. FOR SECTION 10.5 THRESHOLD RAMPS & SECTION 13 DOORWAYS, DOORS & CIRCULATION SPACE AT DOORWAYS

NOTE 1
 EXTERNAL WALLS TO MEET MINIMUM FRL 90/90/90. 200 SERIES BLOCKWALL TO ENGINEERS DETAIL. WALL SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION

NOTE 2
 ALL WINDOWS & DOORS & THE PROTECTION OF OPENINGS TO MEET MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARDS & NATIONAL CONSTRUCTION CODE B.C.A. VOLUME 1

NOTE 3
 STEPS MUST MEET WITH THE MINIMUM REQUIREMENTS OUTLINED IN AS1428.1 - 2009 DESIGN FOR ACCESS & MOBILITY FOR SECTION 11.1 STAIR CONSTRUCTION, SECTION 12 HANDRAILS.



taylor'd distinction.
n. (ta lard de stink shen)
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 3. The design of energy efficient buildings, utilising the elements of nature to impact operating costs.
 4. Well presented and meticulous plans that provide design intent, structural detail, and construction requirements to partner smooth construction.

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- All materials & workmanship shall be in accordance with the requirements of the current A.S. codes & the By-Laws & ordinances of the relevant building authority.
- All dimensions & levels shown shall be verified on site before commencement of any work. Figured dimensions shall overrule scaling of drawing.

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M 0412 226 922
W www.taylor'd.com.au
E buildingdesigns@taylor'd.com.au



TAYLOR'D
 DISTINCTION
 individually designed homes that define your lifestyle
 BDA Eco-Design Smart Building Designer Sustainable House Design Professional

Client annie holloway & barrie morrison	Issue	C	Scale	1:100	Date	March 2018
	Project new development at lot 102 #1 roderick street moffat beach	Drawn by david hutchinson	© copyright	Job #	Drawing # DA-07	
	Designed by pete taylor	Sheet DA-07 OF 22			1601-1415	
ground floor plan						

MANUFACTURERS SPECIFICATION

ALL BUILDING MATERIALS TO BE USED ON SITE SHALL BE STORED, INSTALLED, & MAINTAINED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATION. REFER TO MANUFACTURERS RECOMMENDATIONS FOR MATERIAL & PRODUCT SELECTION FOR ALL SITES IN PROXIMITY TO SALT ENVIRONMENTS.

WET AREAS MUST COMPLY WITH NATIONAL CONSTRUCTION CODE VOL 2 - 2014, PART 3.8.1 & AS 3740 - 2010 (WATERPROOFING ANGLES TO DOORS) & INDUSTRY BEST PRACTICES.

REFER TO ALL DRAWING SHEETS FOR GENERAL & SPECIFIC NOTES REGARDING CONSTRUCTION STANDARDS & REGULATIONS.

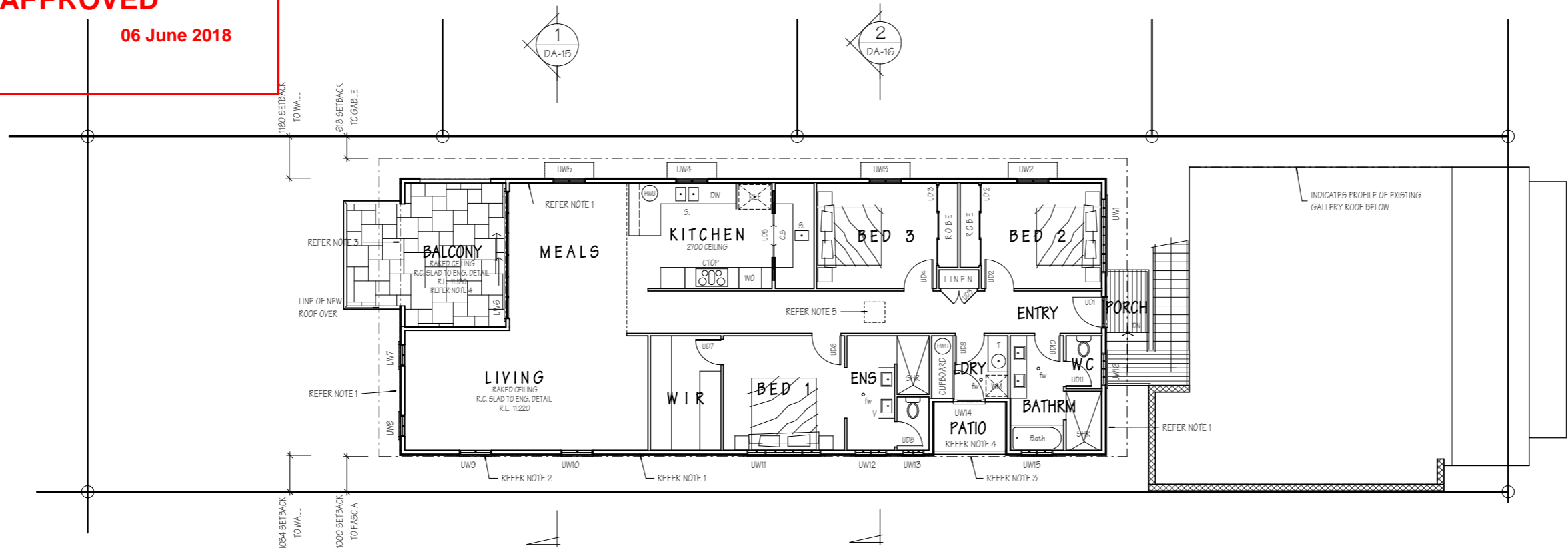
UPPER FLOOR DOOR SCHEDULE				
TAG	WIDTH	HEIGHT	DOOR TYPE	DOOR CONSTRUCTION
UD1	900	2400	FEATURE ENTRY DOOR	SOLID
UD2	820	2040	FLUSH PANEL	SOLID
UD3	820	2040	DOUBLE DOOR	SOLID
UD4	820	2040	FLUSH PANEL	SOLID
UD5	1240	2040	DOUBLE CAVITY SLIDER	SOLID
UD6	820	2040	FLUSH PANEL	SOLID
UD7	720	2040	FLUSH PANEL	SOLID
UD8	720	2040	FLUSH PANEL	SOLID
UD9	820	2040	FLUSH PANEL	SOLID
UD10	720	2040	FLUSH PANEL	SOLID
UD11	720	2040	FLUSH PANEL	SOLID
UD12	2300	2040	FEATURE SLIDER	SOLID
UD13	2300	2040	FEATURE SLIDER	SOLID

UPPER FLOOR WINDOW SCHEDULE				
TAG	WINDOW TYPE	HEAD HEIGHT	FALL PROTECTION	COMMENTS
UW1	0621 SLIDER XOX	2400		REFER NOTE 2
UW2	1309 AWNING	2400	YES	REFER NOTE 2
UW3	1309 AWNING	2400	YES	REFER NOTE 2
UW4	1309 AWNING	2400		REFER NOTE 2
UW5	1309 AWNING	2400		REFER NOTE 2
UW6	2436 STACKER DOOR OXX	2400		REFER NOTE 2
UW7	1306 DOUBLE HUNG	2400		REFER NOTE 2
UW8	1306 DOUBLE HUNG	2400		REFER NOTE 2
UW9	1309 DOUBLE HUNG	2400		REFER NOTE 2, TINTED WINDOW
UW10	1309 DOUBLE HUNG	2400		REFER NOTE 2, TINTED WINDOW
UW11	0621 SLIDER XOX	2400		REFER NOTE 2, TINTED WINDOW
UW12	0609 SLIDER OX	2400		REFER NOTE 2, TINTED WINDOW
UW13	0606 SLIDER OX	2400		REFER NOTE 2, TINTED WINDOW
UW14	2108 FRENCH DOOR	2100		REFER NOTE 2, TINTED WINDOW
UW15	0609 SLIDER OX	2400		REFER NOTE 2, TINTED WINDOW
UW16	0609 SLIDER OX	2400		REFER NOTE 2
UW17	SKYLIGHT			REFER NOTE 2

SALT ENVIRONMENT CONSIDERATION
 DWELLING TO COMPLY WITH CORROSION PROTECTION REQUIREMENTS OF NATIONAL CONSTRUCTION CODE NCC FOR BUILDINGS LESS THAN 100 METRES TO SALT WATER. REFER TO BCA TABLES 3.4.4.2 & 3.5.1.1a & AUSTRALIAN STANDARD AS3700 & AS4773. - COLORBOND ULTRA REQUIRED, M3 MORTAR & R3 BUILT IN COMPONENTS

BUILDER TO ALLOW & PROVIDE CONSTRUCTION JOINT SYSTEMS FOR POTENTIAL DIFFERENTIAL SETTLEMENT OF EXISTING STRUCTURE & NEW EXTENSION TO MINIMISE CRACKING OF FINISHES

SUNSHINE COAST REGIONAL COUNCIL
APPROVED
 MCU18/0008 06 June 2018



AREA CALCULATIONS

EXISTING GALLERY	=	78.3 sq.m
GROUND FLOOR		
GALLERY # 2	=	39.5 sq.m
GALLERY # 3	=	40.1 sq.m
GALLERY # 4	=	53.7 sq.m
RETAIL TOTAL	=	133.3 sq.m
DISABLED BATHROOM	=	7.9 sq.m
WATER CLOSET	=	2.5 sq.m
TERRACE	=	42.5 sq.m
LANDING	=	1.7 sq.m
TOTAL AREAS	=	187.9 sq.m
UPPER FLOOR		
LIVING	=	140.4 sq.m
PORCH	=	2.2 sq.m
BALCONY	=	17.5 sq.m
PATIO	=	3.1 sq.m
UPPER TOTAL	=	163.2 sq.m

UPPER FLOOR PLAN

SCALE 1:100

BUILDER IS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK.

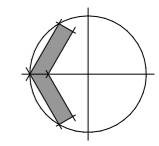
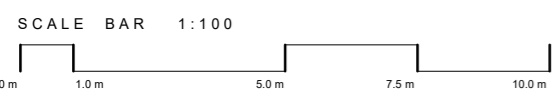
NOTE 1
 EXTERNAL WALLS TO MEET MINIMUM FRL 90/90/90. JAMES HARDIE ONE WAY FIRE RATES WALL SYSTEM JH - 21.10 OR EQUIVALENT WALL SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION

NOTE 2
 ALL WINDOWS & DOORS & THE PROTECTION OF OPENINGS TO MEET MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARDS & NATIONAL CONSTRUCTION CODE B.C.A. VOLUME 1

NOTE 3
 1000 HIGH POWDER-COATED ALUMINIUM HANDRAIL TO MEET MINIMUM REQUIREMENTS OF NCC 2015, VOL 2, PART 3.9.

NOTE 5
 INDICATES VELUX FCM 222 - 572 x 572 NON OPENING SKYLIGHT AS SELECTED BY OWNER. SKYLIGHT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATION.

NOTE 4
 REINFORCED CONCRETE SLAB TO ENGINEERS DETAIL WITH SELECTED NON-SLIP TILED FINISH. ALL WATERPROOF MEMBRANES TO BE INSTALLED TO MEET OR EXCEED MINIMUM STANDARD SPECIFIED IN THE AUSTRALIAN STANDARD AS 4654.2 - 2012 WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE & IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION. BUILDER SHALL ENSURE CORRECT INSTALLATION OF PACKING RODS & JOINT SEALANT AT THE JUNCTION OF FLOOR SHEETING & EXTERNAL WALLS, & ALL PENETRATIONS & ALL FIXINGS SUCH AS BALUSTRADES ETC. SHALL BE COMPLETELY SEALED AGAINST WATER INGRESS AS PER AS 4654.2 - 2012. PROVIDE 1 IN 100 MINIMUM FALL TO DRAINAGE POINTS.

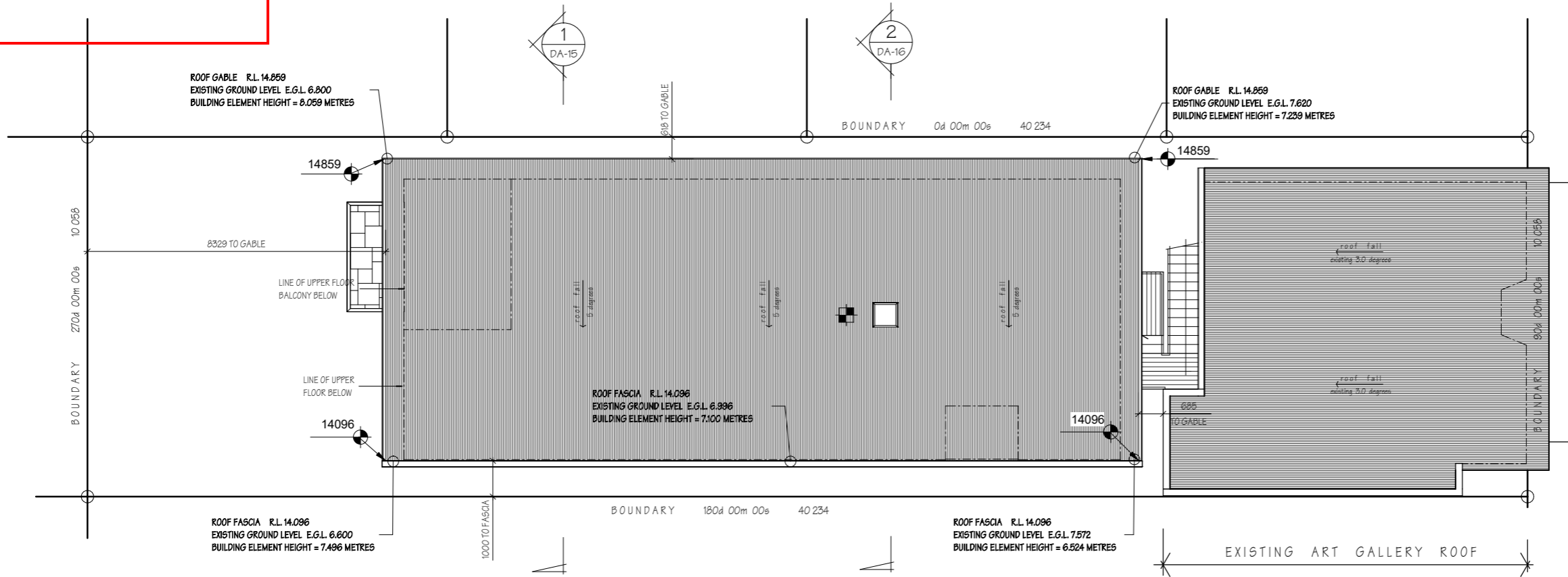


ISSUE C GENERAL REVISION 27TH MARCH 2018

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ROOF LAYOUT & BUILDING HEIGHT PLAN

SCALE 1:100

BUILDER IS TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK.

MANUFACTURERS SPECIFICATION

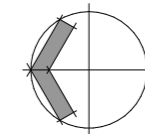
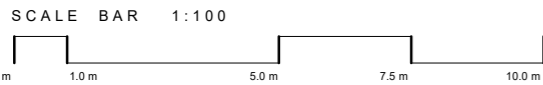
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INDICATES VELUX FCM 222 - 572 x 572 NON OPENING SKYLIGHT AS SELECTED BY OWNER. SKYLIGHT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATION.

SALT ENVIRONMENT CONSIDERATION

DWELLING TO COMPLY WITH CORROSION PROTECTION REQUIREMENTS OF NATIONAL CONSTRUCTION CODE NCC FOR BUILDINGS LESS THAN 100 METRES TO SALT WATER. REFER TO BCA TABLES 3.4.4.2 & 3.5.1.1a & AUSTRALIAN STANDARD AS3700 & AS4773. - COLORBOND ULTRA REQUIRED, M3 MORTAR & R3 BUILT IN COMPONENTS



AREA CALCULATIONS

EXISTING GALLERY	
EXISTING GALLERY	= 78.3 sq.m
GROUND FLOOR	
GALLERY # 2	= 39.5 sq.m
GALLERY # 3	= 40.1 sq.m
GALLERY # 4	= 53.7 sq.m
RETAIL TOTAL	= 133.3 sq.m
DISABLED BATHROOM	= 7.9 sq.m
WATER CLOSET	= 2.5 sq.m
TERRACE	= 42.5 sq.m
LANDING	= 1.7 sq.m
TOTAL AREAS	= 187.9 sq.m
UPPER FLOOR	
LIVING	= 140.4 sq.m
PORCH	= 2.2 sq.m
BALCONY	= 17.5 sq.m
PATIO	= 3.1 sq.m
UPPER TOTAL	= 163.2 sq.m

ISSUE C GENERAL REVISION 27TH MARCH 2018

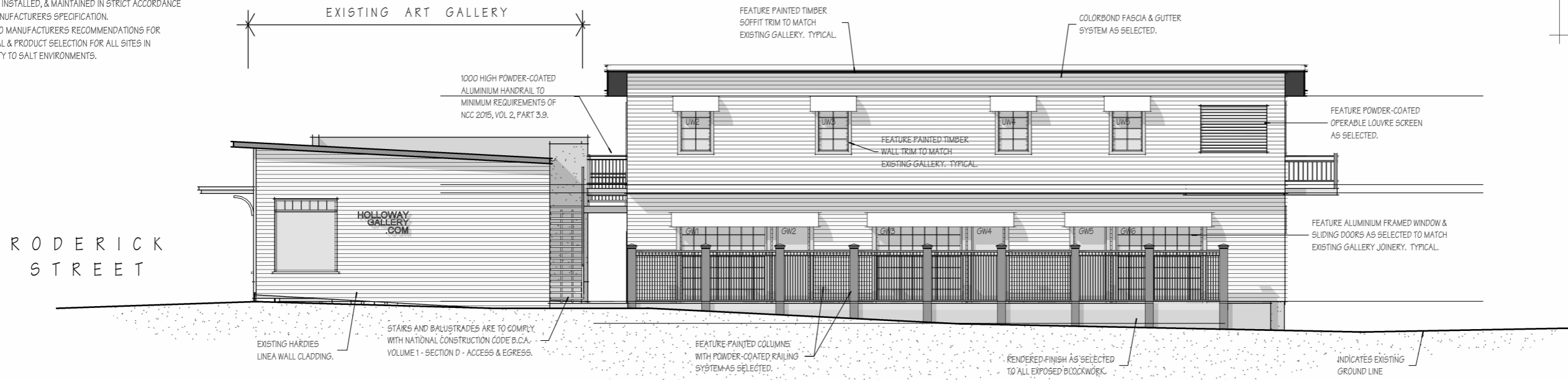
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					Project new development at lot 102 #1 roderick street moffat beach	Drawn by david hutchinson	© copyright	Drawing # DA-11
					Designed by pete taylor	Job #		1601-1415
					Sheet DA-11 OF 22	roof layout & building height plan		

MANUFACTURERS SPECIFICATION

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REFER TO ALL DRAWING SHEETS FOR GENERAL & SPECIFIC NOTES REGARDING CONSTRUCTION STANDARDS & REGULATIONS.



EAST ELEVATION

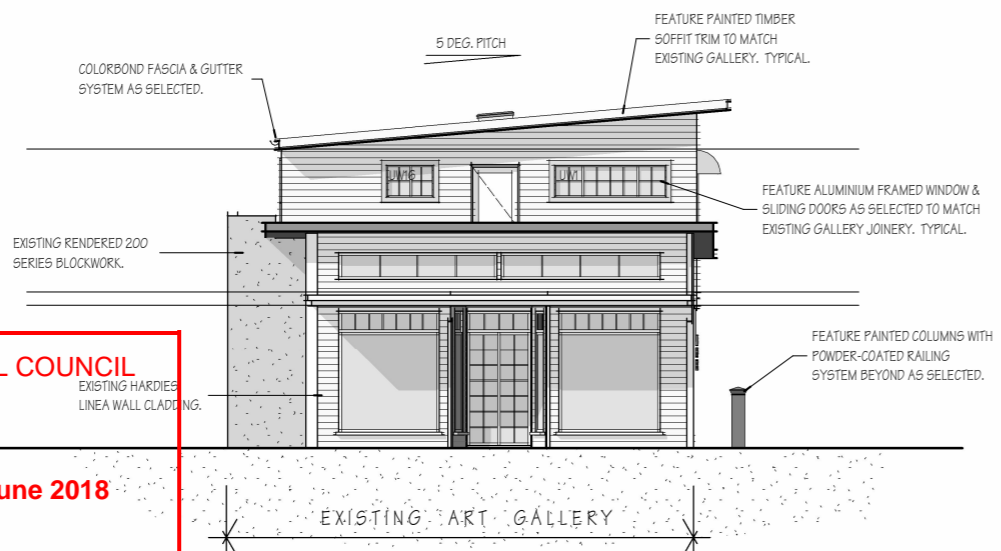
SCALE 1:100

ALL WINDOWS & DOORS & THE PROTECTION OF OPENINGS TO MEET MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARDS & NATIONAL CONSTRUCTION CODE B.C.A. VOLUME 1

EXTERNAL WALLS TO MEET MINIMUM FRL 90/90/90. JAMES HARDIE ONE WAY FIRE RATES WALL SYSTEM JH - 2110 OR EQUIVALENT WALL SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.

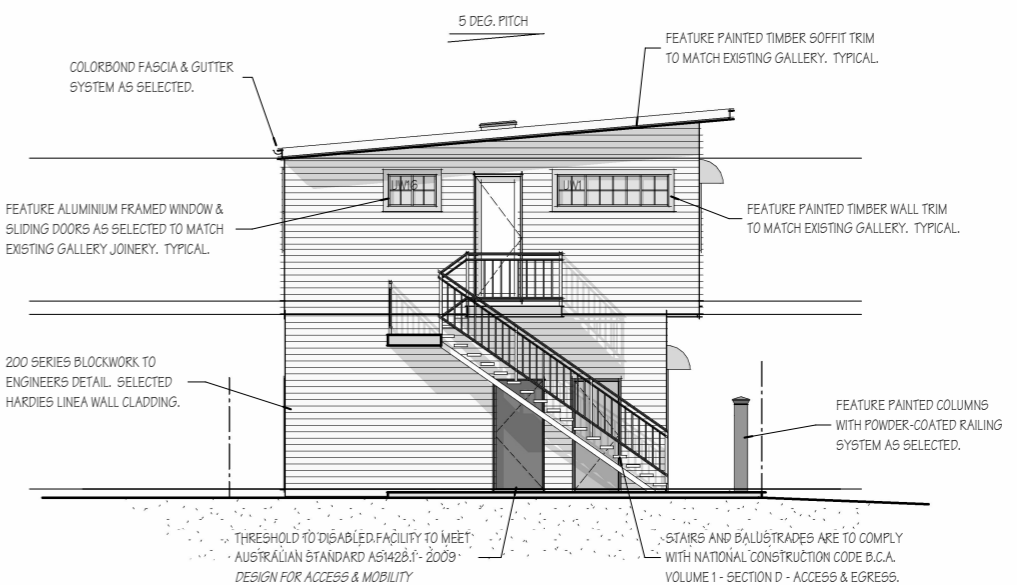
SALT ENVIRONMENT CONSIDERATION

DWELLING TO COMPLY WITH CORROSION PROTECTION REQUIREMENTS OF NATIONAL CONSTRUCTION CODE NCC FOR BUILDINGS LESS THAN 100 METRES TO SALT WATER. REFER TO BCA TABLES 3.4.4.2 & 3.5.1.1a & AUSTRALIAN STANDARD AS3700 & AS4773. - COLORBOND ULTRA REQUIRED, M3 MORTAR & R3 BUILT IN COMPONENTS



SOUTH ELEVATION - STREETSCAPE

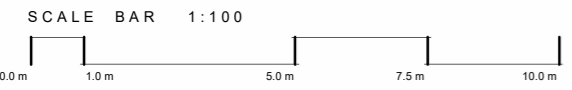
SCALE 1:100



SOUTH ELEVATION - PROPOSED

SCALE 1:100

ISSUE C GENERAL REVISION 27TH MARCH 2018



SUNSHINE COAST REGIONAL COUNCIL
APPROVED
MCU18/0008 06 June 2018

tay'lord dis tinc'tion.
n. (ta lard de stink shen)
1. Creative and innovative building designs that meet the needs of the individual, compliment the environment, and are characterised by qualities that set it apart from the others.
2. The design of new buildings and the modification of existing buildings to satisfy a particular taste, purpose, and situation.
3. The design of energy efficient buildings, utilising the elements of nature to impact operating costs.
4. Well presented and meticulous plans that provide design intent, structural detail, and construction requirements to partner smooth construction.

- These drawings shall be read in conjunction with consultants drawings & specifications & with such other written instructions or as may be issued during the course of the contract.
- All materials & workmanship shall be in accordance with the requirements of the current A.S. codes & the By-Laws & ordinances of the relevant building authority.
- All dimensions & levels shown shall be verified on site before commencement of any work. Figured dimensions shall overrule scaling of drawing.

Suite 1/61 Bulcock Street
Caloundra QLD 4551
P 07 5492 6922
M 0412 226 922
W www.taylord.com.au
E buildingdesigns@taylord.com.au



TAYLOR'D
DISTINCTION

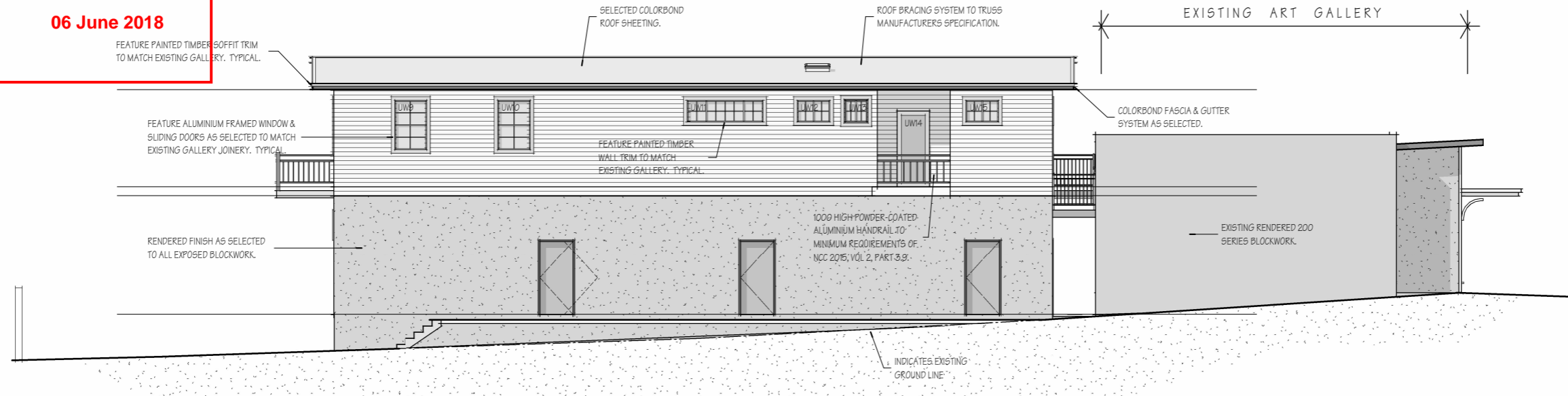
individually designed homes that define your lifestyle
BDA Eco-Design Smart Building Designer Sustainable House Design Professional

Client annie holloway & barrie morrison	Issue C	Scale 1:100	Date march 2018
	Project new development at lot 102 #1 roderick street moffat beach	Drawn by david hutchinson	Drawing # DA-12
	Designed by pete taylor	Job #	1601-1415
elevations - sheet 1 of 2	Sheet DA-12 OF 22		

APPROVED

MCU18/0008

06 June 2018



RODERICK STREET

WEST ELEVATION

SCALE 1:100

MANUFACTURERS SPECIFICATION

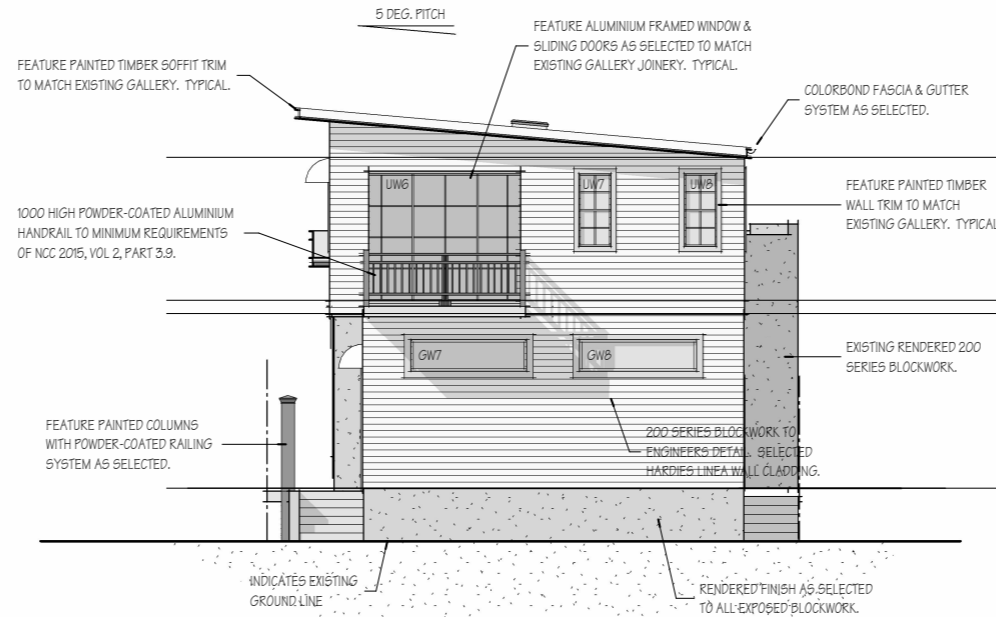
ALL BUILDING MATERIALS TO BE USED ON SITE SHALL BE STORED, INSTALLED, & MAINTAINED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATION. REFER TO MANUFACTURERS RECOMMENDATIONS FOR MATERIAL & PRODUCT SELECTION FOR ALL SITES IN PROXIMITY TO SALT ENVIRONMENTS.

REFER TO ALL DRAWING SHEETS FOR GENERAL & SPECIFIC NOTES REGARDING CONSTRUCTION STANDARDS & REGULATIONS.

ALL WINDOWS & DOORS & THE PROTECTION OF OPENINGS TO MEET MINIMUM REQUIREMENTS OF AUSTRALIAN STANDARDS & NATIONAL CONSTRUCTION CODE B.C.A. VOLUME 1

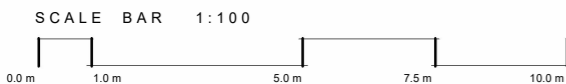
EXTERNAL WALLS TO MEET MINIMUM FRL 90/90/90. JAMES HARDIE ONE WAY FIRE RATES WALL SYSTEM JH - 2110 OR EQUIVALENT WALL SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.

BUILDER TO ALLOW & PROVIDE CONSTRUCTION JOINT SYSTEMS FOR POTENTIAL DIFFERENTIAL SETTLEMENT OF EXISTING STRUCTURE & NEW EXTENSION TO MINIMISE CRACKING OF FINISHES



NORTH ELEVATION

SCALE 1:100



SALT ENVIRONMENT CONSIDERATION

DWELLING TO COMPLY WITH CORROSION PROTECTION REQUIREMENTS OF NATIONAL CONSTRUCTION CODE NCC FOR BUILDINGS LESS THAN 100 METRES TO SALT WATER. REFER TO BCA TABLES 3.4.4.2 & 3.5.1.1a & AUSTRALIAN STANDARD AS3700 & AS4773. - COLORBOND ULTRA REQUIRED, M3 MORTAR & R3 BUILT IN COMPONENTS

ISSUE C GENERAL REVISION 27TH MARCH 2018

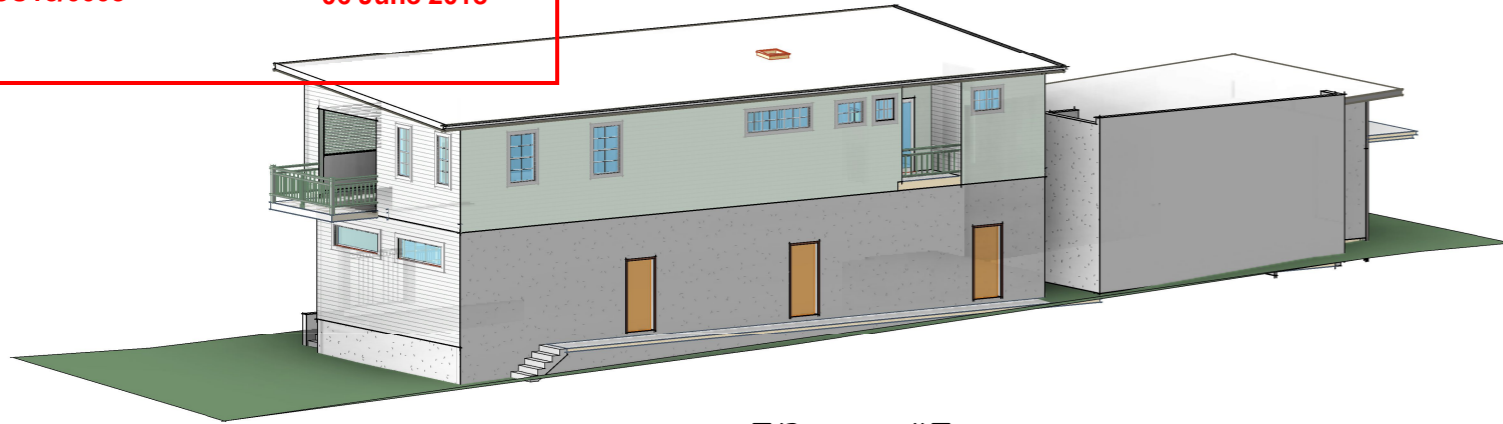
<p>tay'lord dis tinc'tion. n. (ta lard de stingk shen)</p> <ol style="list-style-type: none"> 1. Creative and innovative building designs that meet the needs of the individual, compliment the environment, and are characterised by qualities that set it apart from the others. 2. The design of new buildings and the modification of existing buildings to satisfy a particular taste, purpose, and situation. 3. The design of energy efficient buildings, utilising the elements of nature to impact operating costs. 4. Well presented and meticulous plans that provide design intent, structural detail, and construction requirements to partner smooth construction. 	<ol style="list-style-type: none"> 1. These drawings shall be read in conjunction with consultants drawings & specifications & with such other written instructions or as may be issued during the course of the contract. 2. All materials & workmanship shall be in accordance with the requirements of the current A.S. codes & the By-Laws & ordinances of the relevant building authority. 3. All dimensions & levels shown shall be verified on site before commencement of any work. Figured dimensions shall overrule scaling of drawing. 	<p>Suite 1/61 Bulcock Street Caloundra QLD 4551</p> <p>P 07 5492 6922 M 0412 226 922 W www.taylord.com.au E buildingdesigns@taylord.com.au</p>  <p>TAYLOR'D DISTINCTION</p> <p>individually designed homes that define your lifestyle</p> <p>BDA Eco-Design Smart Building Designer Sustainable House Design Professional</p>	<p>Client annie holloway & barrie morrison</p>	<p>Issue C</p>	<p>Scale 1:100</p>	<p>Date march 2018</p>
			<p>Project new development at lot 102 #1 roderick street moffat beach</p>	<p>Drawn by david hutchinson</p>	<p>© copyright</p>	<p>Drawing # DA-13</p>
			<p>elevations - sheet 2 of 2</p>	<p>Designed by pete taylor</p>		<p>Job #</p>
			<p>Sheet DA-13 OF 22</p>	<p>1601-1415</p>		

QBCC Lic # 1246503 Member BDAQ

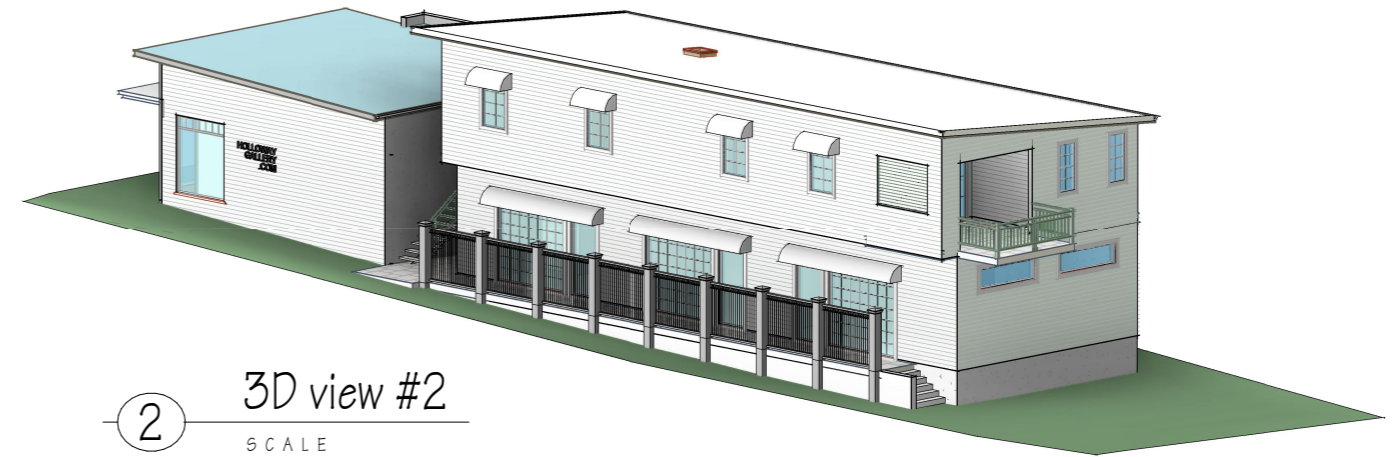
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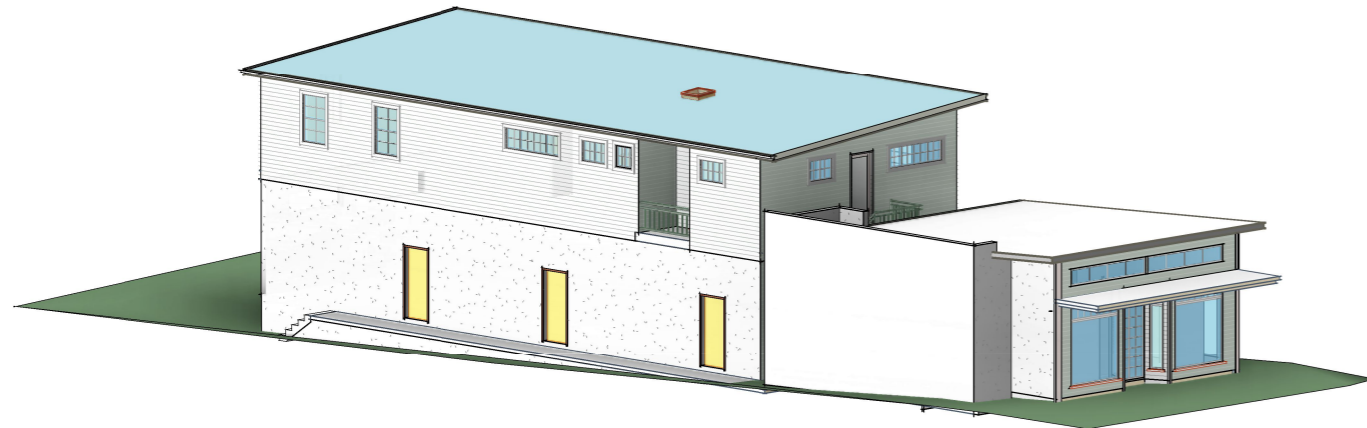
06 June 2018



3 3D view #3
SCALE



2 3D view #2
SCALE



4 3D view #4
SCALE



1 3D view #1
SCALE

ISSUE C GENERAL REVISION 27TH MARCH 2018

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					<p>Project new development at lot 102 #1 roderick street moffat beach</p>	<p>Drawn by david hutchinson</p>	<p>© copyright</p>	<p>Drawing # DA-14</p>
					<p>3d views</p>	<p>Designed by pete taylor</p>		<p>Job #</p>
					<p>Sheet DA-14 of 22</p>	<p>1601-1415</p>		