

Development Agreement, Development Control Plan 1
Kawana Waters and Section 857
(Development Control Plans under Repealed LGP&E Act)
of the Sustainable Planning Act 2009

**MASTER PLAN NO. 69 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 2 –
PRECINCTS 1 – 4) 2015**

**Approved by Sunshine Coast Regional Council pursuant to
Master Plan Determination No.
(Approval of Site Development Plan – Detailed Planning Area 2 – Precinct 1 - 4) 2015
Dated / /**

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1.0 ADMINISTRATION

1.1 Preliminary

1.1.1 Citation

1.1.1.1 This document may be cited as Master Plan No. 69 (Site Development Plan – Detailed Planning Area 2 – Precincts 1 – 4) 2014.

1.1.2 Type of Master Plan

1.1.2.1 This document is a Site Development Plan.

1.1.3 Legal Requirement for Master Plan

1.1.3.1 A Site Development Plan is required to be prepared for the area defined as Land Use Area 1 (Residential A) pursuant to Master Plan No. 44 (Detailed Planning Area Plan – Detailed Planning Area 2) 2014, and in accordance with section 7.4.5.1 of DCP 1.

1.1.4 Legal Effect of the Master Plan

1.1.4.1 The Site Development Plan comprises:

- (a) This document which shows the subdivision layout, the purpose for which each lot may be developed, the movement network including cycle and pedestrian linkages, building envelopes and setbacks and built to boundary wall locations; and
- (b) Maps 1 – 8N which show in more detail the elements identified as required by section 7.4.5.2 of DCP 1.

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1.2 Location and Description

- 1.2.1 The land the subject of this Site Development Plan is located at the northern and southern periphery of Detailed Planning Area 2, adjacent to Beach Drive and Wurley Drive respectively.
- 1.2.2 The land the subject of this Master Plan is described as part of Lot 21 on CP 891254 in the Parish of Bribie, being leasehold land within Development Lease No. 2.
- 1.2.3 The land the subject of this Site Development Plan has an area of approximately 9.075 hectares.
- 1.2.4 Map 1 (Locality Plan) shows the land the subject of this Master Plan, relative to its surrounds as described above, while Map 2 (Land Subject of Master Plan) shows the extent of the area covered by this application.

1.3 Zoning Map Description

- 1.3.1 The land the subject of this Site Development Plan is zoned Special Development under the Caloundra City Planning Scheme 1996.

1.4 Strategic Plan Description

- 1.4.1 The land the subject of this Site Development Plan is identified in the Strategic Plan of the Caloundra City Planning Scheme 1996 as having a preferred dominant land use of Urban.

1.5 DCP Description

- 1.5.1 The land the subject of this Site Development Plan is identified in DCP 1 as having a preferred land use as described in Section 4.10.2(c) of the DCP.

1.6 Relationship to Higher Order Master Plans

- 1.6.1 The land the subject of this Site Development Plan is subject to the Structure Plan and as such is:

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- (a) identified on Structure Plan Map 1 as having a land use Focal Tourist Node and being subject to the Focal Tourist Node Development Criteria defined in the Structure Plan;
- (b) subject to Structure Plan Map 2 which shows the area as containing a Pedestrian/Cycle Network;
- (c) subject to Structure Plan Map 3 which shows the area as being part of Detailed Planning Area 2;
- (d) subject to Structure Plan Map 4 which shows the area as having a Village/Neighbourhood Relationship;
- (e) subject to Structure Plan Map 5 which shows indicatively the service infrastructure for sewerage; and
- (f) subject to Structure Plan Map 6 which shows indicatively the service infrastructure for water supply.

1.7 Relationship to Other Master Plans;

- 1.7.1 This Site Development Plan should be read in conjunction with Master Plan No. 44 (Detailed Planning Area Plan – Detailed Planning Area 2) 2015.

1.8 Relationship to DCP

- 1.8.1 The land the subject of this Site Development Plan is subject to DCP 1 and as such is identified on DCP 1, Map 1 as being part of Detailed Planning Area 2.
- 1.8.2 DCP 1, Map 2 identifies the subject area as containing a Circulation Network.
- 1.8.3 DCP 1, Map 4 identifies the subject area as being part of Precinct 3 where the maximum population shall not exceed 9025 persons.

1.9 Relationship to Planning Scheme Provisions

- 1.9.1 The land the subject of the Site Development Plan is subject to:

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- (a) Zoning Map No. 55 which identifies the land as being included in the Special Development zone;
- (b) the Table of Development in Section 2.7 (2) (Special Development Zone) of the Planning Scheme which lists the purposes for which premises in the Special Development Zone may be used in accordance with a Supplementary Table of Development prepared in accordance with DCP 1; and
- (c) Part 6 of the Planning Scheme which contains provisions relating to the reconfiguring of lots in the Special Development Zone.

2.0 STRUCTURE OF MASTER PLAN

2.1 Structure of Site Development Plan

This Site Development Plan comprises:

- 2.1.1 Subdivision layout with lot boundaries as specified in Section 3.0 (Subdivision Layout) of this document;
- 2.1.2 The purpose for which each lot may be developed as specified in Section 4.0 (Defined Uses) of this document;
- 2.1.3 Movement Networks including cycle and pedestrian linkages as specified in Section 5.0 (Movement Networks) of this document;
- 2.1.4 Building Envelopes and Setbacks as specified in Section 6.0 (Building Envelopes and Setbacks) of this document;
- 2.1.5 Boundaries on which the walls of a building or associated structure are proposed to be erected as indicated in Section 7.0 (Built to Boundary Walls) of this document;
- 2.1.6 Lots affected by road traffic noise as indicated in Section 8.0 (Noise Affected Lots) of this document;

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2.1.7 The ways in which Urban Design Performance Criteria may be implemented as specified in Section 9.0 (Implementation of Urban Design Performance Criteria) of this document;

2.1.8 Maps which are specified in Section 10.0 (Maps & Tables) of this document.

3.0 SUBDIVISION LAYOUT

3.1 Subdivision Layout

Subdivision Layout with lot boundaries is indicated on Maps 3A – 3K (Dimensions Plan) of this document.

4.0 DEFINED USES

4.1 Defined Uses

4.1.1 The land the subject of this Site Development Plan shall be developed for the defined uses specified in Table 1 of this document.

4.1.2 ‘Permitted Land Uses’ nominated in Column 1 are self-assessable where in accordance with the relevant Probable Solutions prescribed in Section 10.0 (Implementation of Urban Design Performance Criteria) of this document, and the Development Controls and Setbacks nominated on Maps 13A – 13J (Site Development Plan) of this document.

4.1.3 Where development does not satisfy the relevant Probable Solutions and/or comply with the relevant Development Controls and Setback requirements, such development may only be “Permitted Subject to Conditions” resulting from Code Assessment.

Table 1 – Supplementary Table of Development – Precincts 1 – 4

SITE DEVELOPMENT PLAN PRECINCT	COLUMN 1 PERMITTED LAND USES AND DEVELOPMENT WORKS	COLUMN 2 PERMITTED SUBJECT TO CONDITIONS	COLUMN 3 CONSENT REQUIRED	COLUMN 4 PROHIBITED USES
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SITE DEVELOPMENT PLAN PRECINCT	COLUMN 1 PERMITTED LAND USES AND DEVELOPMENT WORKS	COLUMN 2 PERMITTED SUBJECT TO CONDITIONS	COLUMN 3 CONSENT REQUIRED	COLUMN 4 PROHIBITED USES
<p>Site Development Plan Precincts 1 – 4</p>	<p>Residential Uses Limited to:</p> <ul style="list-style-type: none"> ▪ Dwelling House ▪ Terrace House <p>where in accordance with the relevant provisions and development controls forming part of this Site Development Plan.</p> <p>Residential Uses Limited to:</p> <ul style="list-style-type: none"> ▪ Bed & Breakfast - Homestay ▪ Home Occupation <p>where in accordance with the relevant Probable Solutions contained in this document.</p> <p>Advertising devices, limited to the following:</p> <ul style="list-style-type: none"> ▪ Freestanding Signs limited to: <ul style="list-style-type: none"> - Estate Entrance Sign - Flagpole Sign - Billboard Sign - Ground Sign - Pylon Sign ▪ Fence Signs limited to: <ul style="list-style-type: none"> - Construction Site Fence Sign - Backdrop Fence Sign - Boundary Fence Sign ▪ Temporary Signs limited to: <ul style="list-style-type: none"> - Real Estate Sign - Real Estate Directional Sign - Real Estate Hoarding - Temporary Bunting <p>where in accordance with Local Planning Policy PDLPP 7.0/01 – Siting and Design of Advertising Devices.</p>	<p>Residential Uses Limited to:</p> <ul style="list-style-type: none"> ▪ Bed & Breakfast - Homestay ▪ Home Occupation <p>where not in accordance with the relevant provisions and development controls forming part of this document.</p>		<p>Uses not listed in Column 1, 2 and 3</p>

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5.0 MOVEMENT NETWORKS

5.1 Movement Networks

5.1.1 Movement Networks including cycle and pedestrian linkages are indicated on Map 6A (Pedestrian and Cycle Movement Plan) of this document.

6.0 BUILDING ENVELOPES AND SETBACKS

6.1 Building Envelopes and Setbacks

6.1.1 Building envelopes and setbacks are indicated on Maps 5A – 5I (Site Development Plan) of this document.

7.0 BUILT TO BOUNDARY WALLS

7.1 Built to Boundary Walls

7.1.1 Built to boundary wall locations are nominated on Maps 5A – 5I (Site Development Plan) of this document.

8.0 NOISE AFFECTED LOTS

8.1 Noise Affected Lots

8.1.1 Lots affected by road traffic noise are nominated on Maps 5A – 5I (Site Development Plan) of this document.

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9.0 IMPLEMENTATION OF URBAN DESIGN PERFORMANCE CRITERIA

9.1 Urban Design Performance Criteria for the whole of the Detailed Planning Area

The Specific Outcomes and Probable Solutions prescribed below are an extract taken from Master Plan No. 44 Detailed Planning Area Plan – Detailed Planning Area 2, Section 5.1 – Urban Design Performance Criteria.

Urban Design Performance Criteria contained in Master Plan No. 44 that are not applicable to the assessment of this Site Development Plan for Precincts 1 – 4 within Land Use Area 1 have been identified below.

Specific Outcome	Probable Solution	Site Development Plan Compliance									
Lot Size											
<p>O1 Lot size and dimensions provide for building envelopes suited to the intended form of development and do not compromise the functionality of the street network, infrastructure and streetscape landscaping.</p>	<p>S1.1 Varied lot sizes and frontages are distributed such that functionality of the street network as well as the ability to provide infrastructure and landscaping is maintained:</p> <p><u>Land Use Area 1 – Residential A:-</u></p> <table border="1" data-bbox="907 954 1379 1109"> <thead> <tr> <th>Dwelling Type</th> <th>Minimum Lot Size</th> <th>Frontage Width</th> </tr> </thead> <tbody> <tr> <td>Dwelling House</td> <td>180m²</td> <td>≥ 8.5m</td> </tr> <tr> <td>Terrace House</td> <td>180m²</td> <td>≤ 8.5m</td> </tr> </tbody> </table> <p>The range of lot sizes within the Detailed Planning Area are to be distributed such that at least 70% of detached housing lots have a frontage ≥ 12.5m, with at least 15% of these lots having a frontage ≥ 15m.</p>	Dwelling Type	Minimum Lot Size	Frontage Width	Dwelling House	180m ²	≥ 8.5m	Terrace House	180m ²	≤ 8.5m	<p>Compliance is demonstrated on Maps 3A – 3I (Dimensions Plan) of this document.</p>
Dwelling Type	Minimum Lot Size	Frontage Width									
Dwelling House	180m ²	≥ 8.5m									
Terrace House	180m ²	≤ 8.5m									

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Specific Outcome	Probable Solution	Site Development Plan Compliance
Stormwater Management (On-Site)		
<i>Specific Outcomes O2 - O4 are not applicable to development in Land Use Area 1.</i>	<i>Probable Solutions S2.1, S3.1 and S4.1 & S4.2 are not applicable to development in Land Use Area 1.</i>	<i>Not Applicable.</i>
Car Parking & Access		
<p>O5 The layout and design of parking bays, manoeuvring areas, queuing areas, set down/pickup areas, and driveways ensures that on-site parking and servicing areas are clearly defined, safe, easily accessible and meet user requirements, including people with disabilities, pedestrians, cyclists and public transport services, where relevant.</p>	<p>S5.1 Vehicular access is provided in accordance with Map 7 (Vehicle Movement Network & Driveway Location Plan) of this document.</p> <p>S5.2 Vehicular crossings are designed in accordance with Council's adopted standard drawings.</p> <p>S5.3 Parking bays, manoeuvring areas, queuing areas, set down/pickup areas, aisles and driveways are designed in accordance with the dimensions and to the standards specified in:</p> <p>(a) AS2890.1 – Parking Facilities: Off-street Car Parking; and</p> <p>(b) AS2890.2 – Parking Facilities: Off-street Commercial Vehicles facilities.</p> <p>S5.4 On-site parking and manoeuvring areas (excluding Dwelling Houses, Terrace Houses and Duplex Dwellings) provide for vehicles to enter and leave the site in a forward motion.</p> <p>S5.5 Engineering design of all parking and manoeuvring areas is in accordance</p>	<p>Access is proposed to each residential lot in the locations identified on Maps 5A – 5I (Site Development Plan) of this document. Each lot will be provided with a single width driveway across the verge which is a maximum width of 3.5 metres at the kerb line and 4.0 metres at the property boundary.</p>

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Specific Outcome	Probable Solution	Site Development Plan Compliance														
	with Council's adopted standards.															
<p>O6 Residential development provides on-site car parking at a rate that adequately services the needs of the use, without encouraging or reinforcing reliance on private vehicles.</p>	<p>S6.1 The minimum number of on-site residential car parking spaces provided is in accordance with the rates nominated in Table 2 below:</p> <p>Table 2 – Residential Car Parking Rates</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 60%;">Use</th> <th style="width: 40%;">Minimum Rate</th> </tr> </thead> <tbody> <tr> <td>Residential Uses (limited to Accommodation Building, Motel and Multiple Dwelling only):</td> <td></td> </tr> <tr> <td>- Dwelling Unit comprising 1 or 2 bedrooms*</td> <td>1 space per unit</td> </tr> <tr> <td>- Dwelling Unit comprising 3 or more bedrooms*</td> <td>1.25 spaces per unit</td> </tr> <tr> <td>- On-site Visitor Spaces (applicable to Multiple Dwelling only)</td> <td>0.25 spaces per unit</td> </tr> <tr> <td>* Any room which is reasonably capable of being used as a bedroom will be regarded as a bedroom for the purposes of calculating on site car parking requirements (e.g. study, media room).</td> <td></td> </tr> <tr> <td>Dwelling House, Terrace House and Duplex Dwelling</td> <td>2 spaces per dwelling unit, with at least one space capable of being covered</td> </tr> </tbody> </table>	Use	Minimum Rate	Residential Uses (limited to Accommodation Building, Motel and Multiple Dwelling only):		- Dwelling Unit comprising 1 or 2 bedrooms*	1 space per unit	- Dwelling Unit comprising 3 or more bedrooms*	1.25 spaces per unit	- On-site Visitor Spaces (applicable to Multiple Dwelling only)	0.25 spaces per unit	* Any room which is reasonably capable of being used as a bedroom will be regarded as a bedroom for the purposes of calculating on site car parking requirements (e.g. study, media room).		Dwelling House, Terrace House and Duplex Dwelling	2 spaces per dwelling unit, with at least one space capable of being covered	<p>Dwellings constructed over each of the lots identified on Maps 5A – 5I (Site Development Plan) of this document are to provide a minimum of two (2) onsite car parking spaces, with at least one space capable of being covered – refer Development Control 16 on Map 4 (Setback Table and Development Controls) of this document.</p>
	Use	Minimum Rate														
	Residential Uses (limited to Accommodation Building, Motel and Multiple Dwelling only):															
	- Dwelling Unit comprising 1 or 2 bedrooms*	1 space per unit														
	- Dwelling Unit comprising 3 or more bedrooms*	1.25 spaces per unit														
	- On-site Visitor Spaces (applicable to Multiple Dwelling only)	0.25 spaces per unit														
	* Any room which is reasonably capable of being used as a bedroom will be regarded as a bedroom for the purposes of calculating on site car parking requirements (e.g. study, media room).															
Dwelling House, Terrace House and Duplex Dwelling	2 spaces per dwelling unit, with at least one space capable of being covered															

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Specific Outcome	Probable Solution	Site Development Plan Compliance										
	<table border="1"> <tr> <td data-bbox="907 378 1160 451"></td> <td data-bbox="1160 378 1382 451">(parking spaces may be provided in tandem)</td> </tr> <tr> <td data-bbox="907 451 1160 512">Caretaker's Residence</td> <td data-bbox="1160 451 1382 512">1 space per residence</td> </tr> <tr> <td data-bbox="907 512 1160 619">Bed and Breakfast - Homestay</td> <td data-bbox="1160 512 1382 619">1 additional space per guest suite in addition to the Dwelling House requirement</td> </tr> <tr> <td data-bbox="907 619 1160 699">Display Home</td> <td data-bbox="1160 619 1382 699">2 spaces which may be provided in tandem</td> </tr> <tr> <td data-bbox="907 699 1160 778">Home Occupation</td> <td data-bbox="1160 699 1382 778">1 visitor space in addition to dwelling requirements</td> </tr> </table>		(parking spaces may be provided in tandem)	Caretaker's Residence	1 space per residence	Bed and Breakfast - Homestay	1 additional space per guest suite in addition to the Dwelling House requirement	Display Home	2 spaces which may be provided in tandem	Home Occupation	1 visitor space in addition to dwelling requirements	
	(parking spaces may be provided in tandem)											
Caretaker's Residence	1 space per residence											
Bed and Breakfast - Homestay	1 additional space per guest suite in addition to the Dwelling House requirement											
Display Home	2 spaces which may be provided in tandem											
Home Occupation	1 visitor space in addition to dwelling requirements											
<p><i>Specific Outcomes O7 – O11 are not applicable to development in Land Use Area 1.</i></p>	<p><i>Probable Solutions S7.1, S8.1, S9.1, S9.2, S10.1 – S10.3 and S11.1 are not applicable to development in Land Use Area 1.</i></p>	<p><i>Not applicable.</i></p>										
<p>O12 Development is designed to ensure that adequate provision is made for on-street car parking.</p>	<p>S12.1 Development in Land Use Area 1 (Residential A) provides on-street car parking at the following rates:-</p> <p>(a) 1 space per 2 dwelling houses for lots with an area of 300m² or less; and</p> <p>(b) 2 spaces per 3 dwelling houses for larger lots.</p> <p>These on-street car parks are to be provided generally in accordance with the locations identified on Map 14 (Proposed Car Parking Provision) of the Detailed Planning Area Plan.</p>	<p>Adequate on-street car parking will be available, as shown on Maps 7A – 7I (Urban Infrastructure – Consolidated Plan) of this document.</p>										

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Specific Outcome	Probable Solution	Site Development Plan Compliance
Energy Efficiency		
<i>Specific Outcomes O13 is not applicable to development in Land Use Area 1.</i>	<i>Probable Solution S13.1 – S13.3 are not applicable to development in Land Use Area 1.</i>	<i>Not applicable.</i>
Acid Sulfate Soils		
<p>O14 Development works are managed to avoid or minimise the release of acid and metal contaminants into the environment.</p>	<p>S14.1 The Development works do not disturb acid sulfate soils when undertaking excavation or filling works, or when extracting groundwater.</p> <p>S14.2 If acid sulfate soils or potential acid sulfate soils are disturbed by development works:-</p> <p>(a) the release of acid and metal contaminants into the environment is avoided by appropriate treatment and management of disturbed acid sulfate soils and drainage waters in accordance with the provisions of State Planning Policy 2/02 (or equivalent State Planning Policy in effect at the time of development); and</p> <p>(b) if the works involve excavation of more than 100m³ of soil or sediment, or more than 500m³ of filling, an acid sulfate soils management strategy outlining how the proposed works will comply with the required outcomes of State Planning Policy 2/02 (or equivalent State</p>	<p>An Acid Sulfate Soils Assessment will be undertaken as part of any subsequent development application for Operational Works, demonstrating compliance with the relevant State Planning Policy provisions.</p>

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Specific Outcome	Probable Solution	Site Development Plan Compliance
	Planning Policy in effect at the time of development) is prepared in conjunction with the Site Development Plan, and is reviewed by Council in conjunction with its assessment of the Site Development Plan.	
O15 Basements (where proposed) are designed and constructed as water excluding structure.	S15.1 No Probable Solution prescribed.	Compliance with these requirements to be determined by Private Certifier as part of Building Works assessment (where proposed).
Advertising Devices		
O16 Advertising Devices within the Detailed Planning Area: (a) are to compliment, or at least do not unreasonably detract from the desirable characteristics of the natural and built environment; (b) are designed and integrated so as to minimise visual clutter; and (c) are constructed to satisfactory standards of public safety.	S16.1 Advertising Devices are designed and located in accordance with Local Planning Policy PDLPP 7.0/01 – Siting and Design of Advertising Devices (Caloundra City Planning Scheme 1996). S16.2 Assessment level to be determined by applicable Site Development Plan.	The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a range of signage options as being self-assessable, where designed in accordance with PDLPP 7.0/01 – Siting and Design of Advertising Devices.
Acoustic Quality		
O17 Development is located, designed, constructed and operated to maintain appropriate levels of acoustic amenity for noise sensitive development.	S17.1 The <i>Acoustic Quality Objectives</i> specified in Schedule 1 of the <i>Environmental Protection (Noise) Policy 2008</i> are achieved	The development layout proposed by this Site Development Plan has been designed with regard to the acoustic amenity of future residents, particularly as it relates to road traffic noise.
O18 Mitigation measures incorporated into noise sensitive development to	S18.1 Noise sensitive development is constructed in accordance with	Maps 5A – 5I of this Site Development Plan identify Lots 1 – 77, 125, 192, 230 - 293 as

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Specific Outcome	Probable Solution	Site Development Plan Compliance
ameliorate road traffic noise achieves appropriate internal and external noise levels.	<i>Australian Standard AS3671-1989 Acoustics – Road traffic noise intrusion – building siting and construction to achieve the satisfactory internal noise levels stipulated in Australian Standard AS2107-2000 Acoustics – Recommended design sound levels and reverberation times for building interiors.</i> S18.2 Noise affected lots are identified on the applicable Site Development Plan.	being Noise Affected Lots. Development over each of these affected lots will require compliance with AS3671 & AS2107 – 2000 in accordance with Development Control 15 as notated on the Site Development Plans forming part of this document.
<i>Specific Outcomes O19, O20, O21, O22 and O23 are not applicable to development in Land Use Area 1.</i>	<i>Probable Solutions S19.1, S19.2, S20.1, S21.1, S22.1, S23.1 and S23.2 are not applicable to development in Land Use Area 1.</i>	<i>Not applicable.</i>
Refuse Management		
<i>Specific Outcomes O24 is not applicable to development in Land Use Area 1</i>	<i>Probable Solutions S24.1 is not applicable to development in Land Use Area 1.</i>	
O25 Adequate provision is made for refuse collection for all lots.	S25.1 Lots that do not have a frontage readily serviceable by a refuse collection vehicle or have an irregular frontage are allocated concrete bin pads to enable ease of access by refuse collection vehicles.	Maps 5A – 5I of this Site Development Plan identify indicative bin collection locations for each dwelling to demonstrate availability of access by refuse collection vehicles.

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9.2 Urban Design Performance Criteria specific to Land Use Area 1 – Residential A

9.2.1 Compliance with the Specific Outcomes and Probable Solutions prescribed for Dwelling Houses and Terrace Houses in Section 5.2 of Master Plan No. 44 (Detailed Planning Area Plan – Detailed Planning Area 2) 2015 is demonstrated on Maps 5A – 5I (Site Development Plan) of this document.

Specific Outcome	Probable Solution	Site Development Plan Compliance
Home Occupation		
<p>O9 The premises is managed and operated as a bona fide working from home activity.</p>	<p>S9.1 The Home Occupation is conducted within a Dwelling House or Duplex Dwelling or within another enclosed structure such as a shed or a garage on the same site.</p> <p>S9.2 An occupant of the dwelling house or Duplex Dwelling conducts the Home Occupation.</p> <p>S9.3 The conduct of the Home Occupation cannot include the employment of persons on the site other than the residents.</p>	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Home Occupation as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>
<p>O10 A Home Occupation is limited in size and scale so that the amenity of the existing neighbourhood is protected and the home based business remains ancillary to the residential use of the detached house.</p>	<p>S10.1 The total gross floor area used for the Home Occupation does not exceed 50m².</p> <p>S10.2 No more than 2 customers or clients are present at any one time and no more than 6 customers or clients are present in any one day.</p>	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Home Occupation as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>

MASTER PLAN NO. 69 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 2 – PRECINCTS 1 – 4) 2015

Specific Outcome	Probable Solution	Site Development Plan Compliance
<p>O11 The activities conducted on the premises are appropriate to a residential location.</p>	<p>S11.1 The Home Occupation does not interfere with the amenity of the neighbourhood from the operation of machinery or electrical equipment, or from light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, grit, oil, dust, waste water, waste products, electrical interference or otherwise.</p> <p>S11.2 There is no public display or offering for retail sale of goods on the premises.</p> <p>S11.3 Materials used or goods manufactured, serviced or repaired are stored within a building on the premises.</p> <p>S11.4 The Home Occupation does not involve any activity defined as an Environmentally Relevant Activity in the <i>Environmental Protection Regulation 1998</i>.</p>	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Home Occupation as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>
<p>O12 The Home Occupation is conducted within a building that has a predominantly residential amenity and character.</p>	<p>S12.1 The external appearance and character of the dwelling house is not modified to accommodate the home based business.</p> <p>S12.2 The internal layout of the detached house:</p> <ul style="list-style-type: none"> (a) is designed to enable the reversion of the home based business to a residential use without modification; or (b) is not modified to accommodate the home based business to the extent that it cannot be reverted back to a residential use without further works. 	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Home Occupation as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>

MASTER PLAN NO. 69 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 2 – PRECINCTS 1 – 4) 2015

Specific Outcome	Probable Solution	Site Development Plan Compliance
Display Home, Temporary House and Land Sales Office		
O13 Lots identified for Display Homes and Temporary House and Land Sales Offices are to be identified in a subsequent Site Development Plan.	S13.1 Site Development Plan is to demonstrate compliance with Part 4 Section 4.5 and Local Planning Policy PDLPP 4.5/01 – Display Homes (Caloundra City Planning Scheme 1996).	Not applicable to the development layout identified by this Master Plan.
Bed & Breakfast – Homestay		
O14 Accommodation is provided for short-term stay only.	S14.1 Guests stay no more than 14 consecutive nights.	The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Bed & Breakfast - Homestay as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution. Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.
O15 The total use area within a dwelling house used for accommodation does not: (a) compromise the primary use of the dwelling house as a private permanent residence (i.e. the use remains ancillary to the dwelling house); and (b) adversely impact upon the residential amenity of the locality.	S15.1 At least one bedroom within the dwelling is excluded from use by guests. S15.2 The maximum number of bedrooms used to accommodate guests is 2.	The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Bed & Breakfast - Homestay as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution. Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.
O16 The appearance of the development	S16.1 The bed and breakfast operates from the	The Supplementary Table of Development

MASTER PLAN NO. 69 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 2 – PRECINCTS 1 – 4) 2015

Specific Outcome	Probable Solution	Site Development Plan Compliance
<p>is consistent with the style and character of the surrounding local area.</p>	<p>dwelling house.</p>	<p>Assessment provided in this Site Development Plan nominates a Bed & Breakfast - Homestay as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>
<p>Q17 Guest accommodation and facilities are contained in a dwelling house.</p>	<p>S17.1 Bedrooms provided for guests are in the same building as the kitchen, bathing and toilet facilities utilised by the residents of the detached house.</p> <p>S17.2 The only cooking facilities available to guests are those within and used by the residents of the dwelling house.</p> <p>S17.3 Guests are provided with a bedroom capable of being enclosed to prevent visual or other intrusion by members of the host family or other guests.</p> <p>S17.4 A separate bathroom and toilet facility is provided within the dwelling house for the exclusive use of guests.</p>	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Bed & Breakfast - Homestay as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>

MASTER PLAN NO. 69 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 2 – PRECINCTS 1 – 4) 2015

10.0 MAPS AND TABLES

This Site Development Plan comprises the following:

Maps

Map 1 – Locality Plan
Map 2 – Land Subject of Master Plan
Map 3 – Dimensions Plan
Map 3A – Dimensions Plan
Map 3B – Dimensions Plan
Map 3C – Dimensions Plan
Map 3D – Dimensions Plan
Map 3E – Dimensions Plan
Map 3F – Dimensions Plan
Map 3G – Dimensions Plan
Map 3H – Dimensions Plan
Map 3I – Dimensions Plan
Map 3J – Dimensions Plan
Map 3K – Dimensions Plan
Map 4 – Setback Table and Development Controls
Map 5 – Site Development Plan
Map 5A – Site Development Plan
Map 5B – Site Development Plan
Map 5C – Site Development Plan
Map 5D – Site Development Plan
Map 5E – Site Development Plan
Map 5F – Site Development Plan
Map 5G – Site Development Plan
Map 5H – Site Development Plan
Map 5I – Site Development Plan
Map 5J – Allotment Setback Requirements

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Map 5K – Allotment Setback Requirements
Map 5L – Allotment Setback Requirements
Map 5M – Allotment Setback Requirements (Diagram for Development Control)
Map 6A – Pedestrian and Cycle Movement Plan
Map 6B – On Street Car Parking Provision
Map 6C – Proposed Acoustic Barriers
Map 6D – Urban Infrastructure Network: Water
Map 6E – Urban Infrastructure Network: Sewer
Map 6F – Urban Infrastructure Network: Stormwater
Map 6G – Urban Infrastructure Network: Electrical
Map 7 – Consolidated SDP Plan
Map 7A – Urban Infrastructure – Consolidated Plan
Map 7B – Urban Infrastructure – Consolidated Plan
Map 7C – Urban Infrastructure – Consolidated Plan
Map 7D – Urban Infrastructure – Consolidated Plan
Map 7E – Urban Infrastructure – Consolidated Plan
Map 7F – Urban Infrastructure – Consolidated Plan
Map 7G – Urban Infrastructure – Consolidated Plan
Map 7H – Urban Infrastructure – Consolidated Plan
Map 7I – Urban Infrastructure – Consolidated Plan
Map 8 – Terrace Access Plan
Map 8A – Terrace Access Plan
Map 8B – Terrace Access Plan
Map 8C – Terrace Access Plan
Map 8D – Terrace Access Plan
Map 8E – Terrace Access Plan
Map 8F – Terrace Access Plan
Map 8G – Terrace Access Plan
Map 8H – Terrace Access Plan
Map 8I – Terrace Access Plan
Map 8J – Terrace Access Plan
Map 8K – Terrace Access Plan

MASTER PLAN NO. 69 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 2 – PRECINCTS 1 – 4) 2015

Map 8L – Terrace Access Plan
Map 8M – Terrace Access Plan
Map 8N – Terrace Access Elevation

Tables

Table 1 (Table of Development)

11.0 STATEMENT OF COMPLIANCE

11.1 DCP 1 Requirements

The Site Development Plan must comply with:

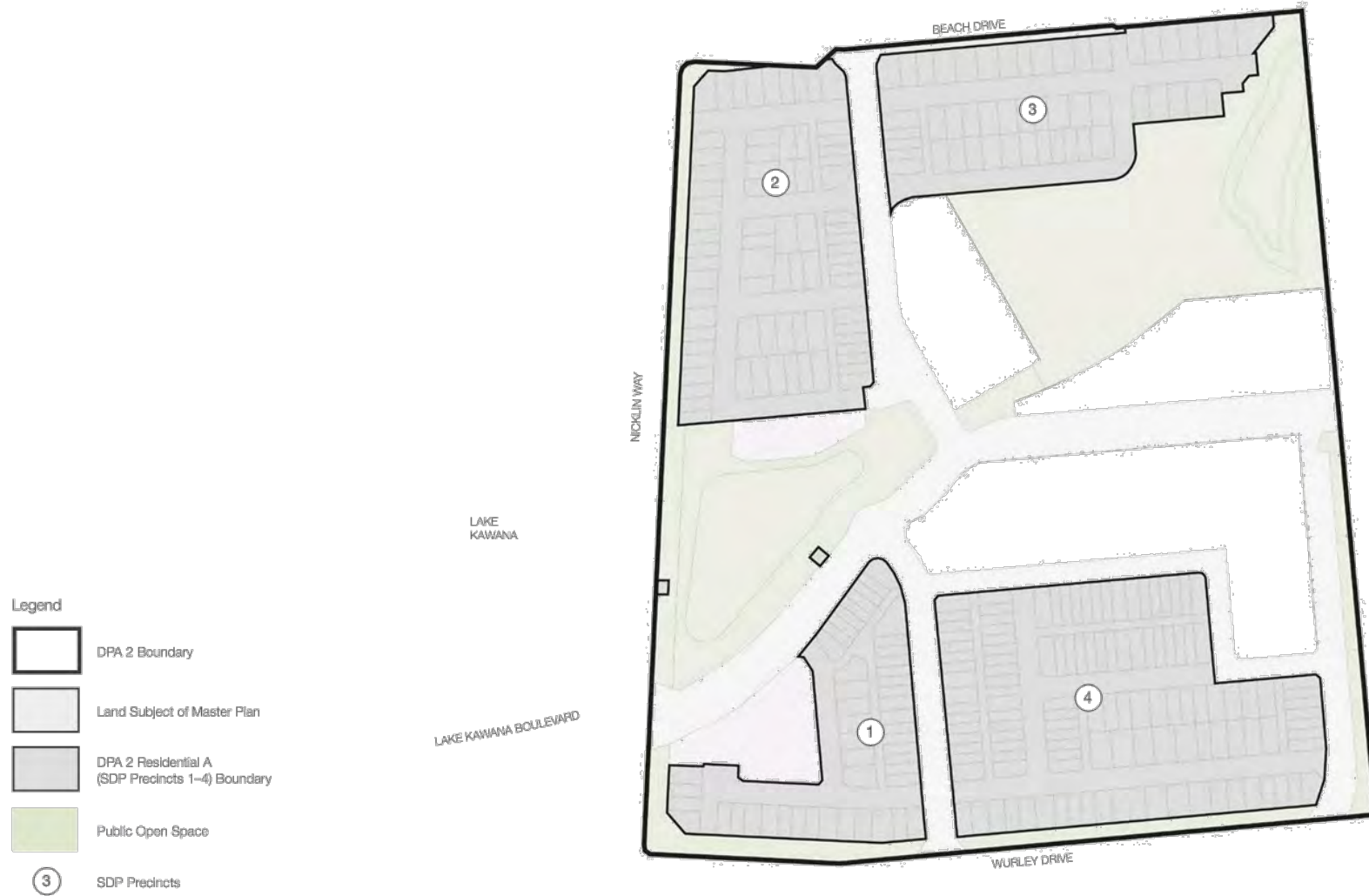
- (a) the Structure Plan Maps;
- (b) approval of the Structure Plan;
- (c) the Planning Scheme including DCP 1;
- (d) the Development Agreement;
- (e) Development Lease No. 2;
- (f) the Transport Infrastructure Agreement;
- (g) the Hospital Infrastructure Agreement; and
- (h) Master Plan No. 44 (Detailed Planning Area Plan – Detailed Planning Area 2) 2014.

12.0 INTERPRETATION RULES

- 12.1 Terms used in this Site Development Plan have the meaning given in Part 9 (Meaning of Words and Interpretation) of the Caloundra Town Planning Scheme unless otherwise defined in this Site Development Plan.
- 12.2 Interpretation of words on terms used in this Site Development Plan are to be interpreted in accordance with Part 9 (Meaning of Works and Interpretation) of the Planning Scheme unless the context otherwise indicates or requires.
- 12.3 'Planning Scheme' – means the Planning Scheme of the City of Caloundra gazetted on 2 August 1996 (as amended).

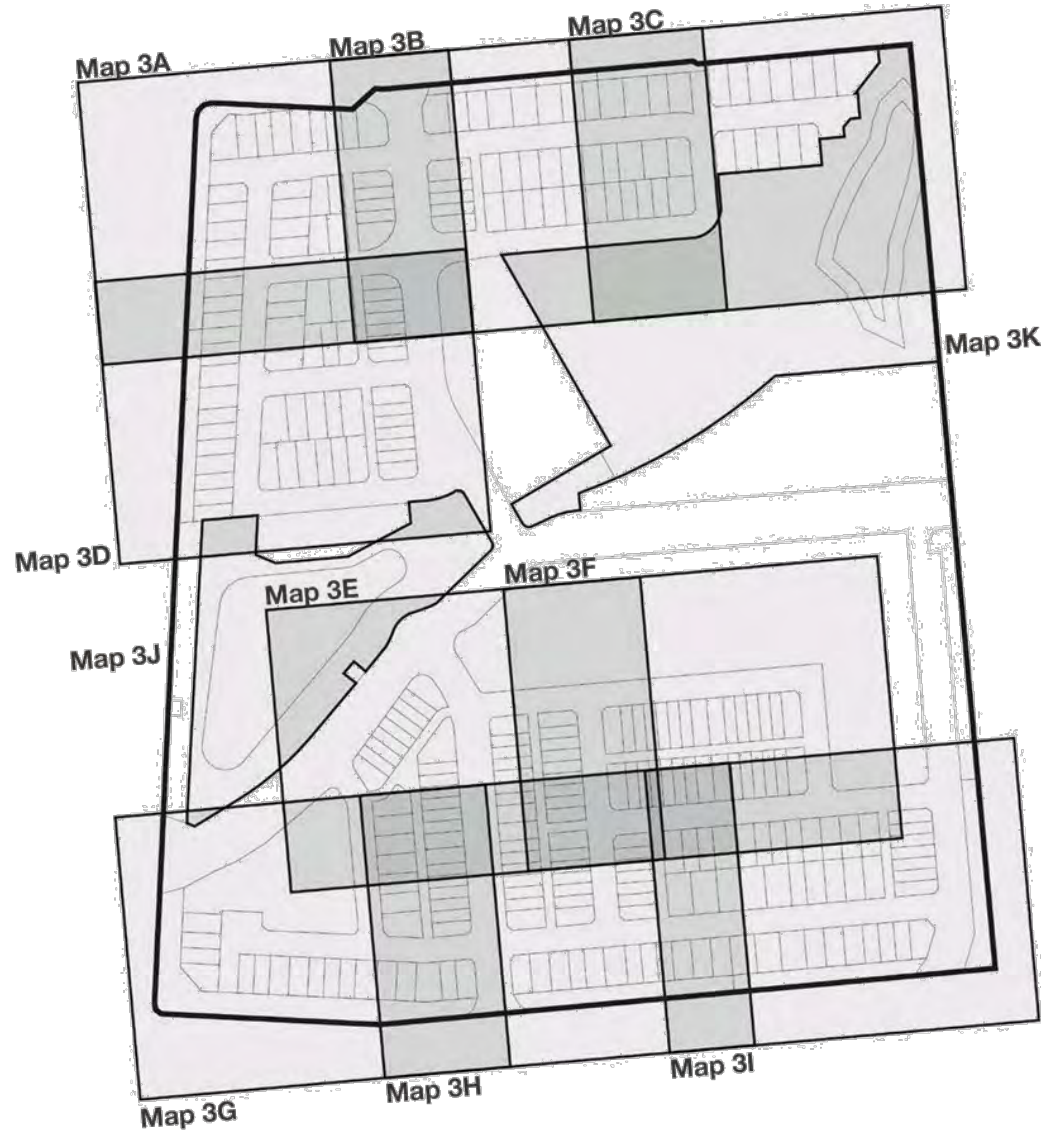


an 1 Locality Plan



an 2 Land Subject of Master Plan





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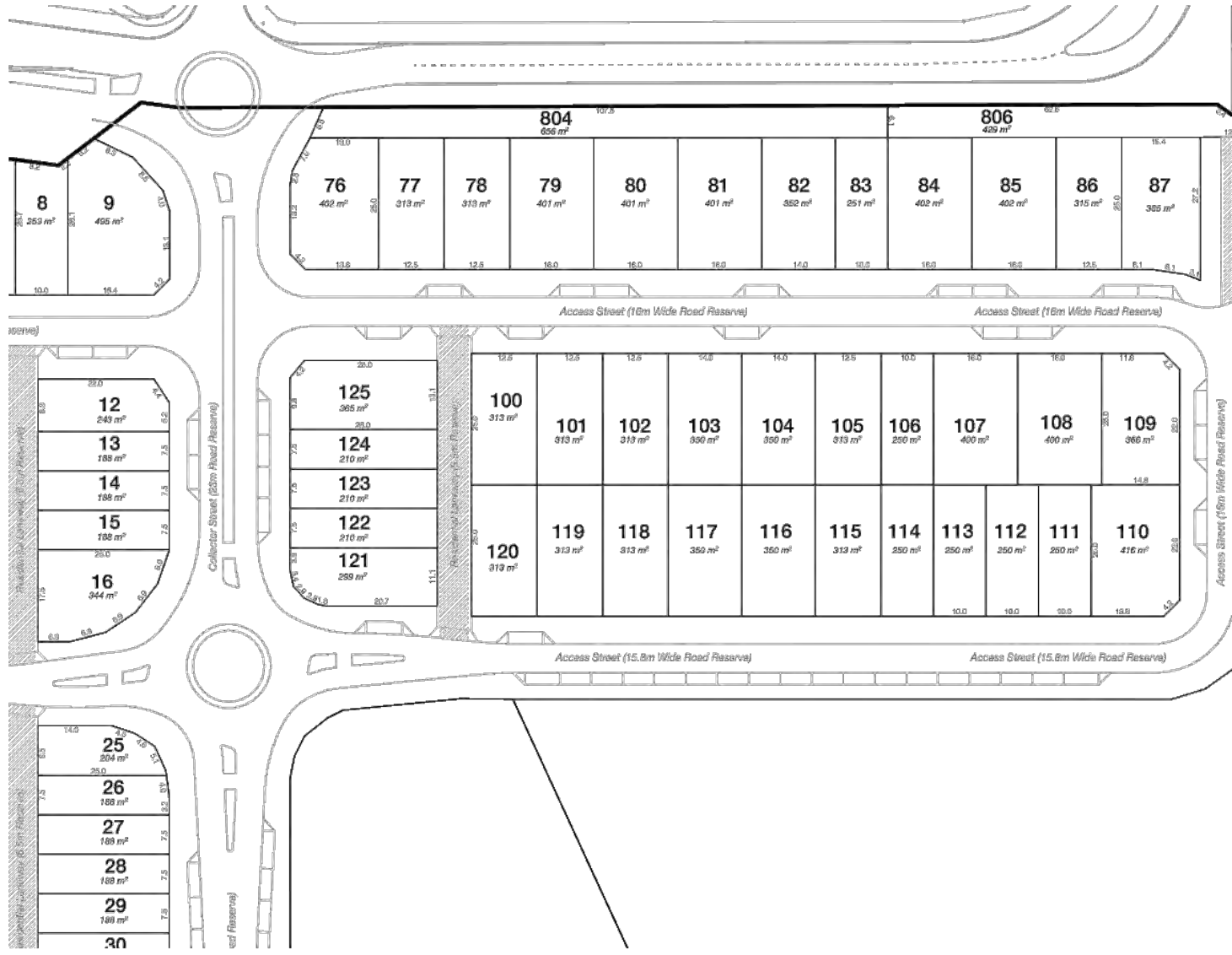
DPA 2 Boundary



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 DPA 2 Boundary

an 3A Dimensions Plan



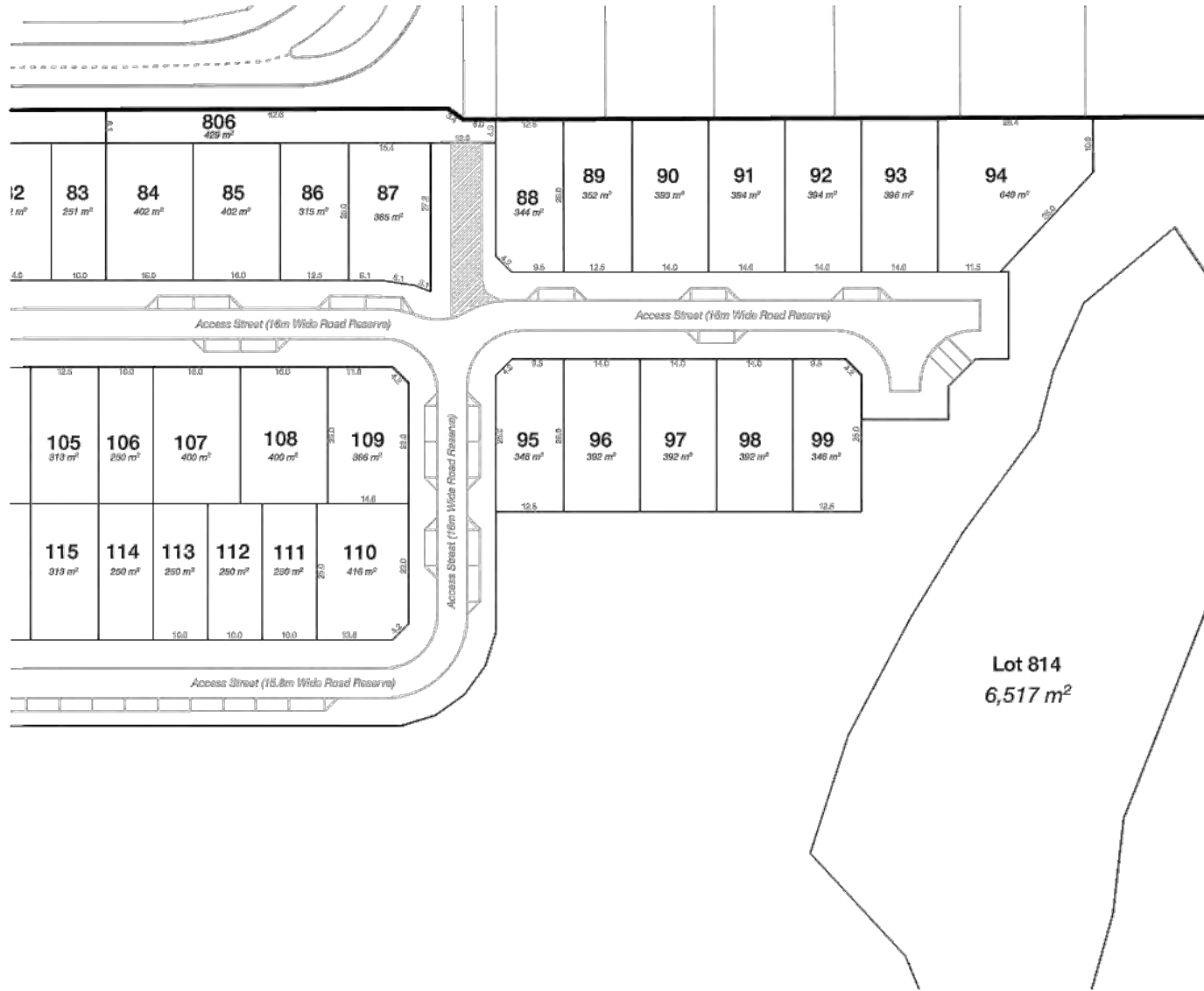


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3B Dimensions Plan



Locality plan



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30 Dimensional Plan



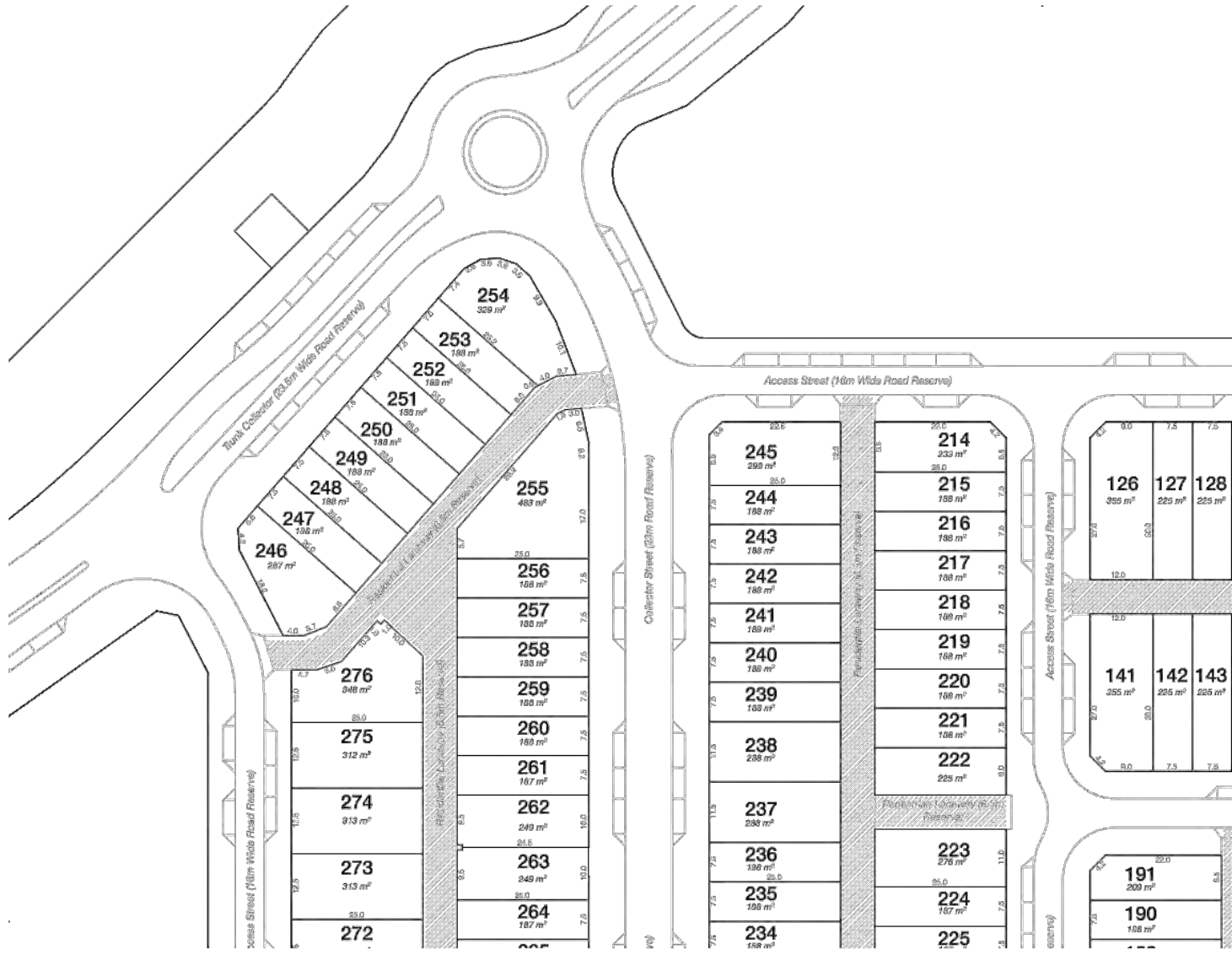
Locality plan



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 DPA 2 Boundary

an 3D Dimensional Plan

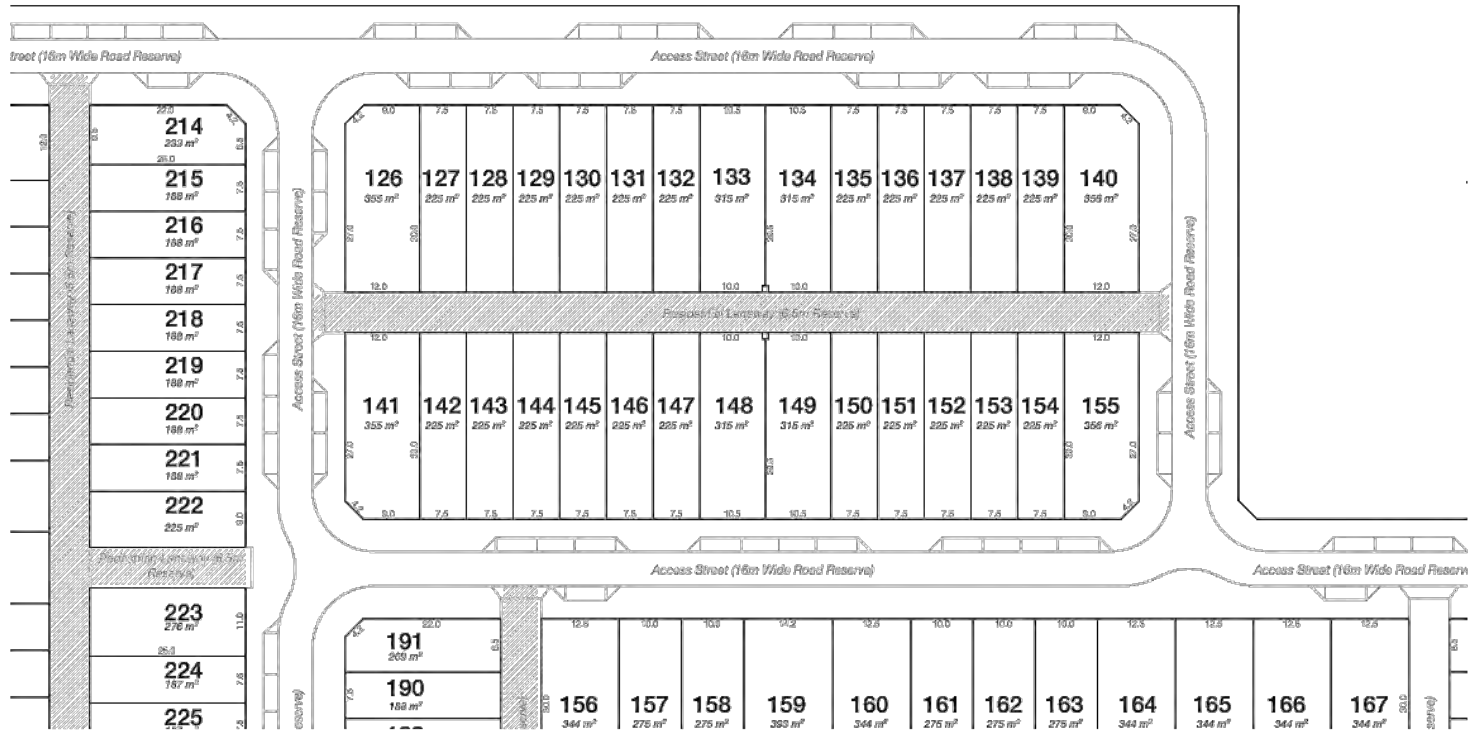
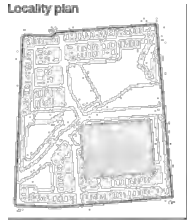




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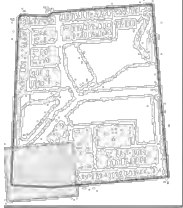
3F Dimensions Plan





an 3E Dimensions Plan

Locality plan

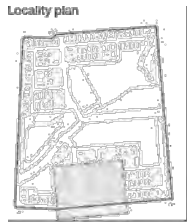


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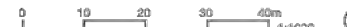
an 3G Dimensional Plan

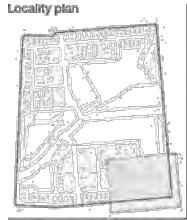




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 DPA 2 Boundary

an 34 Dimensional Plan

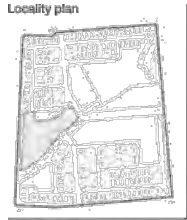




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 DPA 2 Boundary

an 31 Dimensions Plan



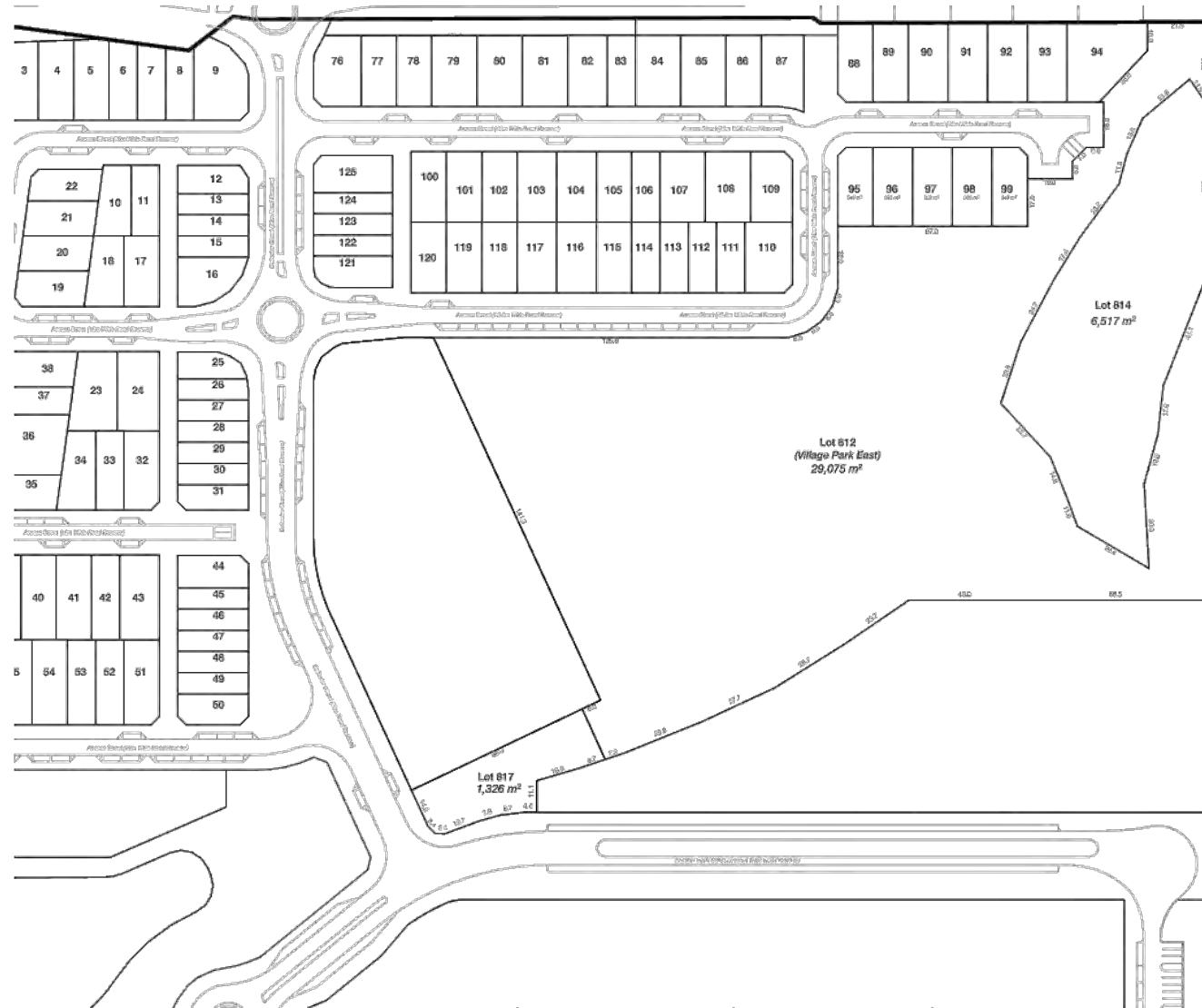


Legend
 DPA 2 Boundary

an 3.1 Dimensions Plan - Village Park West



Locality plan



ALLOTMENT SETBACKS TABLE
 (Terrace & Semi-Detached Terrace)

Allotment Type		Terrace	Semi-Detached Terrace	
Allotment Width		Greater than 8.5m	Greater than 8.5m	
Allotment Depth		Greater than 10m	Greater than 12-14m	
TERRACES WITH VEHICULAR ACCESS FROM A LANEWAY				
Setback to Laneway	First Storey Second & Third Storey	1.0m ¹ 0.0m		
Setback to Frontage other than Laneway (i.e. Collector St or Park Edge)	First Storey	3.0m where POS centrally located; OR 4.0m where POS located at street frontage		
	Second and Third Storey ² (Projections & Balconies)	2.0m where POS centrally located; OR 3.0m where POS located at street frontage		
GENERAL PROVISIONS APPLICABLE TO ALL TERRACES				
Side Setback	Built to Boundary - First Storey (Mandatory)	0.0m	0.0m	
	Built to Boundary - Second and Third Storeys (Non-Mandatory)	0.0m ³	0.0m ³	
	Non-Built to Boundary Walls	N/A	1.5m	
	Corner Lots (Excludes lots siding onto driveways or parks)	N/A	2.0m	
Minimum Building Height	2 storeys			
Maximum Building Height	3 storeys			
Private Open Space (POS)	Where located at primary frontage	Min 18m ² Area		
		Min 4m dimension		
	Where located centrally in the building envelope	Accessible from living area		
		Min 18m ² Area		
	Min 3m dimension			
	Accessible from living area			

NOTES
¹ Terraces Accessed from a laneway are to have a 5.5m setback to garage where a single garage provided
² Projections from the second and third storeys can extend 1.5m from the lot boundary at the primary frontage, as per Development Control 5.
³ Second/third storey built form to be minimum 50% of the lot width

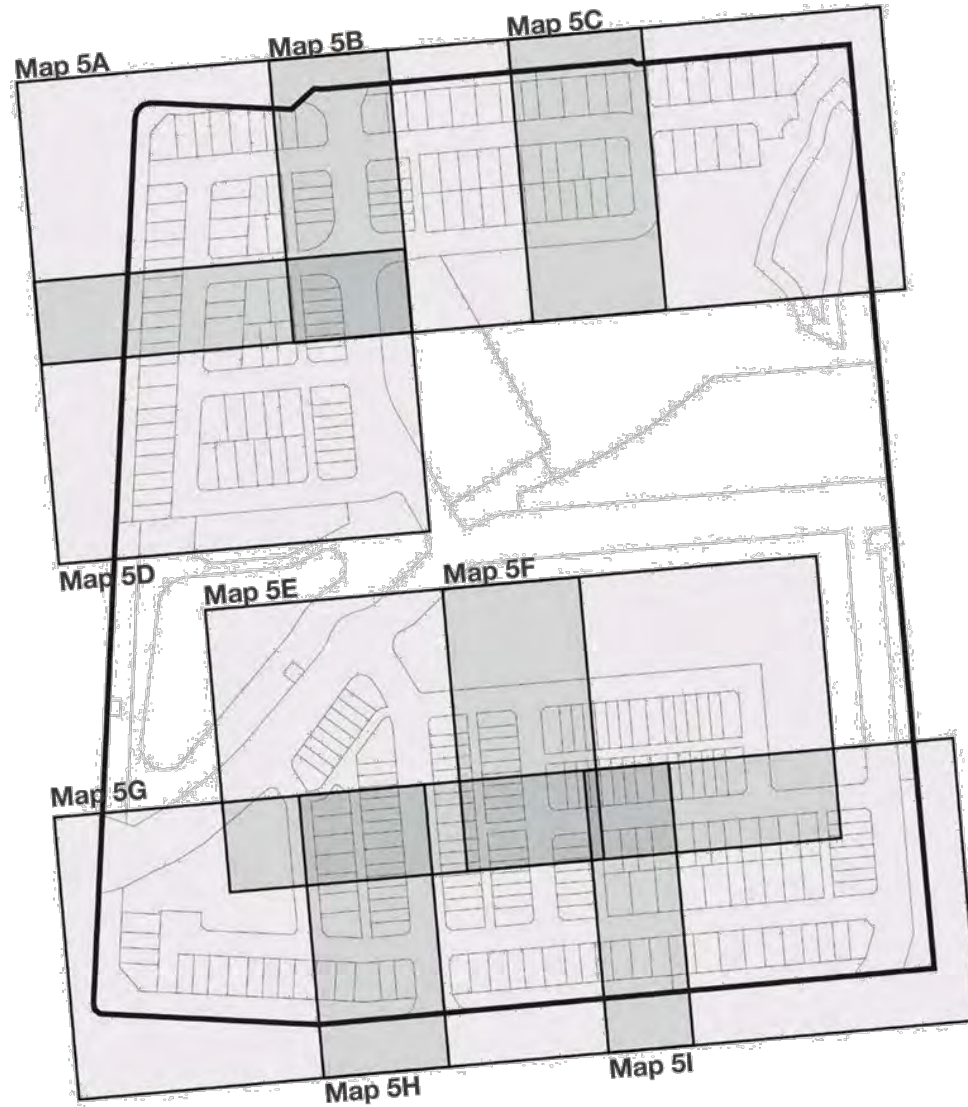
ALLOTMENT SETBACKS TABLE
 (Detached)

Allotment Type	Allotment Width	Detached		
		Lots <500m ²	Lots >500m ²	Lots >900m ²
		Greater than 8.5m (generally 10m)	Greater than 8.5m (generally 11m)	Greater than 8.5m (generally 12-14m)
DETACHED LOTS WITH VEHICULAR ACCESS FROM A LANEWAY				
Setback to Laneway	First Storey (garage) ¹	N/A	1.0m	1.0m
	First Storey (habitable room)	N/A	1.0 (minimum)	1.0 (minimum)
	Second & third storey	N/A	0.0m (minimum)	0.0m (minimum)
Setback to frontage other than a laneway	First, second & third storey	N/A	3.0m	3.0m
DETACHED LOTS WITH VEHICULAR ACCESS OTHER THAN FROM A LANEWAY				
Front Setback Primary frontage	First, Second and Third Storey (to Habitable Room)	3.0m	3.0m	3.0m
	To Garage Door	5.5m	6.5m ^a	6.5m ^a
Rear Setback (to Habitable Room)	First Storey	1.5m	1.5m	1.5m
	Second & Third storey	3.0m	3.0m	3.0m
GENERAL PROVISIONS APPLICABLE TO ALL DETACHED LOTS				
Side Setback Built to Boundary (Mandatory)	First storey	0.0m ²	0.0m ²	N/A
	Second & Third storey	0.0m ³	0.0m ³	
Side Setback Built to Boundary (Optional)	First Storey	N/A	0.0m ²	0.0m ²
	Second & Third storey		0.0m ³	0.0m ³
Side Setback Non-built to boundary wall (includes setbacks to laneways)	All Storeys	1.0m	1.0m	1.0m
Side Setback on Corner Lots (Secondary Frontage (other than to a laneway) or Adjacent Parkspace)	All Storeys	2.0m	2.0m	2.0m
Site Cover		60%	60%	60%
Maximum Building Height		3 storeys	3 storeys	3 storeys
Private Open Space		16m ²	16m ²	16m ²

NOTES
¹ Dwellings accessed from a laneway are to have a 5.5m setback to garage where a single garage provided
² Up to 15m in length or 50% of the property boundary whichever is greater
³ Up to 75m in length. Must be located at the front of the dwelling and above a first storey built to boundary wall.

DEVELOPMENT CONTROLS

- Setbacks are as per the Allotment Setbacks Table unless dimensioned otherwise.
- Where optional built to boundary walls are not adopted side boundary setbacks shall be in accordance with the Allotment Setbacks Table for non-built to boundary walls.
- For all terrace lots, buildings must ensure the provision of natural light and ventilation to core living areas.
- Terrace lots with an east-west orientation and a building length exceeding 9m must ensure the provision of natural light and ventilation by either:
 - Centrally located Private Open Space (POS) areas that have direct access from living areas at first storey.
 - The use of building offsets and openings such as light wells or similar that are open to the sky and service core living areas.
- For terrace allotments, the primary street frontage elevation is to be articulated. Second & third storey levels can protrude to 1.5m from the front lot boundary.
- Setbacks are measured to the wall of the building/structure. Eaves should not encroach closer than 450mm to the lot boundary.
- Entrance porches may be located closer to the property boundary than stated in the allotment setbacks table, provided that the porch is located not less than 1m from the front property boundary, the height of the porch does not exceed 4.5m, the porch remains open and not enclosed and the width of the porch is limited to the front entry area only.
- All garages are to be accessed via a single width driveway across the verge which is a maximum width of 3.5 metres at the kerb line and 4.0 metres at the property boundary.
- Private open space is provided at first storey, that:
 - is at least 16m² in size (excluding rainwater tanks)
 - has no dimension less than 4.0m, unless provided centrally within a terrace in which case a minimum dimension of 3.0m is permitted;
 - Enables access from a living area of the house;
- All clothes drying and rubbish storage areas are to be screened from the street, laneway and public open spaces.
- Front fencing / wall heights do not exceed:
 - 1.8m if transparent
 - 1.2m if solid
- Rear, side and secondary frontage (i.e. corner lots) fencing to be between 1.5m-1.8m in height.
- Any fencing adjacent to the village park and park areas must be a maximum 1.8m high and minimum 50% transparency.
- If each dwelling sited on an allotment is to provide sufficient distinction in design and materials, such as to be clearly distinguishable from a neighbouring dwelling and thereby create an individual and recognisable street address. Adjoining terraces should demonstrate a cohesive and complementary approach to facade form and materials.
- Noise affected allotments are to be developed in accordance with AS3671-1988 "Acoustics - Road traffic noise intrusion - building siting and construction" to achieve the satisfactory internal noise levels stipulated in AS2107-2000 "Acoustics - Recommended design sound levels and reverberation times for building interiors".
- A minimum 2 car spaces is to be provided per dwelling, with at least 1 space capable of being covered (parking spaces may be provided in tandem).
- Lots with a frontage less than 12.5m are only permitted double garages where the second storey extends over the garage towards the street frontage by a minimum of 1.0m for a minimum width of 60% of the garage width.
- Driveways are to have a maximum setback of 0.5m from the side boundary where located on the built to boundary wall side, or 1m when located on the non-built to boundary wall side.
- Built to boundary walls:
 - comply with building design and construction requirements under the Building Code of Australia (where two or more dwellings are constructed at the same time they may share a common boundary wall);
 - contain no windows or openings to the side boundary
- Sub-typical design elements are incorporated into the design of dwellings, including but not limited to:
 - maximising natural light and cross-ventilation
 - providing fixed and adjustable sun shading devices to control direct solar access
 - providing roof eave overhangs to walls, wall openings and balconies.
- First storey windows and openings are to be screened by fencing (for side and rear boundaries only). For levels above the first storey, privacy screening is required on windows or openings of habitable rooms where those windows or opening are within 2.0m of a side boundary. Suitable screening includes:
 - fixed obscure glazing in any part of the window below 1.5m above floor level; or
 - fixed external screens; or
 - slit heights of 1.5m above floor level.
- The design of dwellings on Terrace and Semi-Detached Terrace lots is to incorporate an area for deep planting with a minimum area of 3m², exclusive of the minimum areas required for private open space.
- Dwellings are to be constructed to a minimum 2 storeys where situated on a lot with a notation in this Site Development Plan stating 'Mandatory minimum 2 storey dwelling'.
- A minimum 1.5m rear boundary setback, measure from the back of the retaining wall is to be provided to all structures (including pools) located adjacent to a retaining wall. All structures shall be designed a minimum of 300mm below the zone of influence of a retaining wall and shall be designed such they do not impose any lateral load on the retaining wall.
- Buildings and other structures (including pools) are to ensure the structural integrity of retaining walls is maintained.



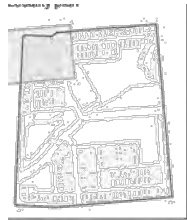
Legend



DPA 2 Boundary

an 5 Site Development Plan



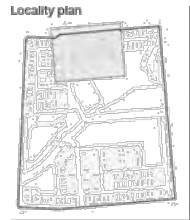


- Legend**
- DPA 2 boundary
 - ▨ Proposed pedestrian or shared pathway
 - ▨ Park space / public space
- of development controls**
- - - Max building envelope
 - ▨ Optional built to boundary wall
 - ▨ Mandatory built to boundary wall
 - ▨ Preferred location of garage
 - ▨ Indicative location of private open space
 - ▨ Indicative location of bin collection
 - ▨ Primary Frontage / Indicative Letterbox Location
 - ▨ Noise affected lots
 - ▨ Mandatory minimum 2 storey dwelling
- riveway locations**
- ▨ Driveway and garage siting that must be located adjacent to the built to boundary walls
 - ▨ Driveway and garage siting where verge and infrastructure constraints determine their location
 - ▨ Driveway and garage siting on lots where there is optional built to boundary wall
- of classification**
- ▨ Terrace lots (7.5m wide or less)
 - ▨ Semi-detached terrace lots (9.2m wide or less - min. 7.5m wide building envelope)
 - ▨ Detached lots less than 300m² (frontage greater than 8.5m)
 - ▨ Detached lots greater than 300m² (frontage greater than 8.5m)
 - ▨ Lots 300m² and larger (frontage 12.5m or greater)



an 5A Site Development Plan



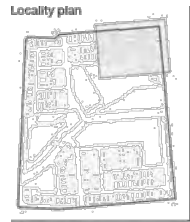


- Legend**
- DPA 2 boundary
 - ▬ Proposed pedestrian or shared pathway
 - ▬ Park space / public space
 - ▬ of development controls
 - ▬ Max building envelope
 - ▬ Optional built to boundary wall
 - ▬ Mandatory built to boundary wall
 - ▬ Preferred location of garage
 - ▬ Indicative location of private open space
 - ▬ Indicative location of bin collection
 - ▬ Primary Frontage / Indicative Letterbox Location
 - ▬ Noise affected lots
 - ▬ Mandatory minimum 2 storey dwelling
 - riveway locations**
 - ▬ Driveway and garage siting that must be located adjacent to the built to boundary walls
 - ▬ Driveway and garage siting where verge and infrastructure constraints determine their location
 - ▬ Driveway and garage siting on lots where there is optional built to boundary wall
 - lot classification**
 - ▬ Terrace lots (7.5m wide or less)
 - ▬ Semi-detached terrace lots (9.5m wide or less - min. 7.5m wide building envelope)
 - ▬ Detached lots less than 300m² (frontage greater than 8.5m)
 - ▬ Detached lots greater than 300m² (frontage greater than 8.5m)
 - ▬ Lots 300m² and larger (frontage 12.5m or greater)



an 5B Site Development Plan



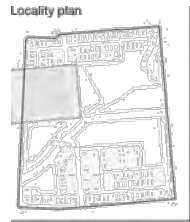


- Legend**
- DPA 2 boundary
 - Proposed pedestrian or shared pathway
 - Park space / public space
- of development controls**
- - - Max building envelope
 - Optional built to boundary wall
 - Mandatory built to boundary wall
 - Preferred location of garage
 - Indicative location of private open space
 - Indicative location of bin collection
 - Primary Frontage / Indicative Letterbox Location
 - Noise affected lots
 - Mandatory minimum 2 storey dwelling
- driveway locations**
- Driveway and garage siting that must be located adjacent to the built to boundary walls
 - Driveway and garage siting where verge and infrastructure constraints determine their location
 - Driveway and garage siting on lots where there is optional built to boundary wall
- of classification**
- Terrace lots (7.5m wide or less)
 - Semi-detached terrace lots (9.2m wide or less - min. 7.5m wide building envelope)
 - Detached lots less than 300m² (frontage greater than 8.5m)
 - Detached lots greater than 300m² (frontage greater than 8.5m)
 - Lots 300m² and larger (frontage 12.5m or greater)



an 50 Site Development Plan





- Legend**
- DPA 2 boundary
 - ▬ Proposed pedestrian or shared pathway
 - ▬ Park space / public space
- of development controls**
- - - Max building envelope
 - ▬ Optional built to boundary wall
 - ▬ Mandatory built to boundary wall
 - ▬ Preferred location of garage
 - ▬ Indicative location of private open space
 - ▬ Indicative location of bin collection
 - ▬ Primary Frontage / Indicative Letterbox Location
 - ▬ Noise affected lots
 - ▬ Mandatory minimum 2 storey dwelling
- rieway locations**
- ▬ Driveway and garage siting that must be located adjacent to the built to boundary walls
 - ▬ Driveway and garage siting where verge and infrastructure constraints determine their location
 - ▬ Driveway and garage siting on lots where there is optional built to boundary wall
- of classification**
- ▬ Terrace lots (7.5m wide or less)
 - ▬ Semi-detached terrace lots (9.2m wide or less - min. 7.5m wide building envelope)
 - ▬ Detached lots less than 300m² (frontage greater than 8.5m)
 - ▬ Detached lots greater than 300m² (frontage greater than 8.5m)
 - ▬ Lots 300m² and larger (frontage 12.5m or greater)

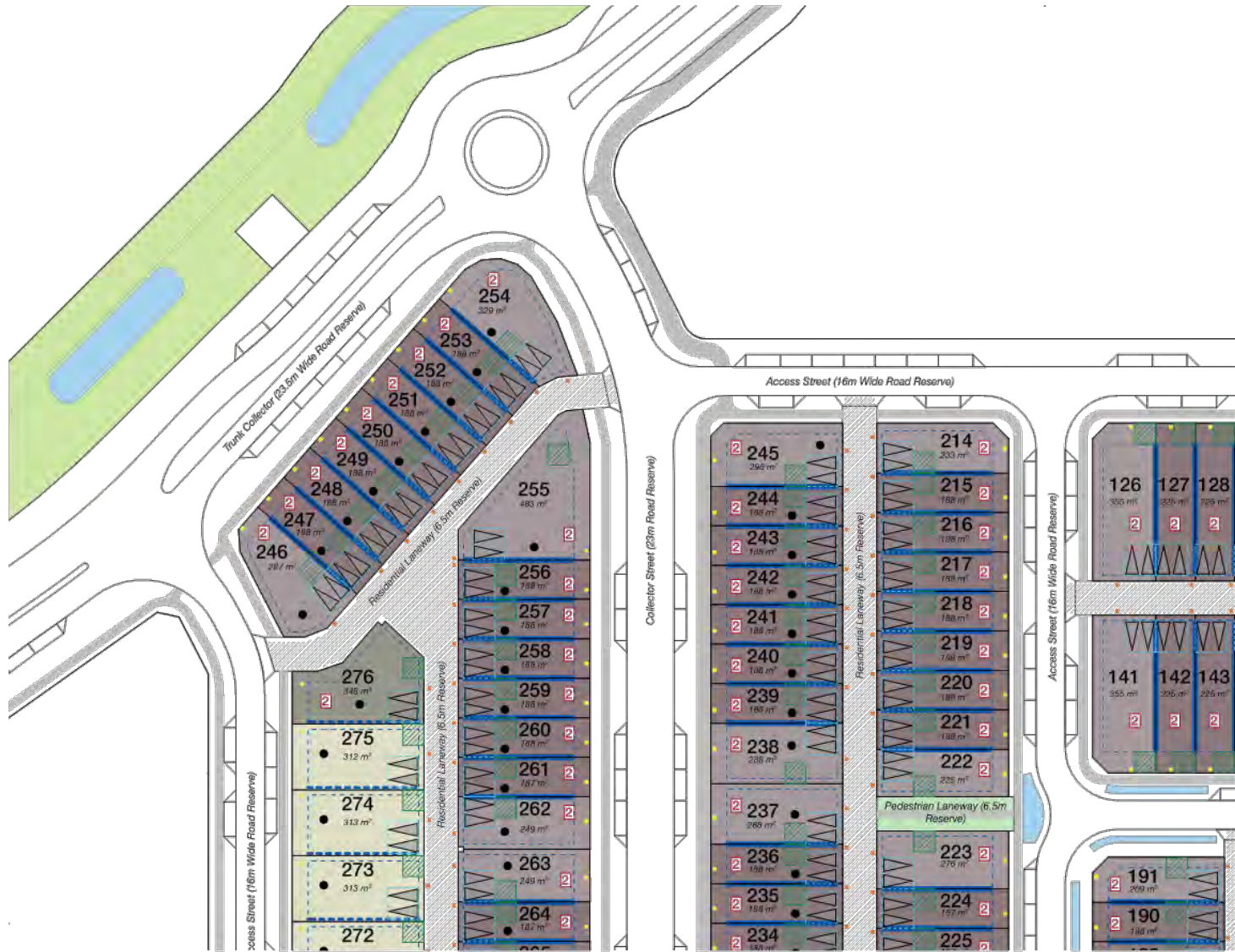


an 5D Site Development Plan





- Legend**
- DPA 2 boundary
 - ▬ Proposed pedestrian or shared pathway
 - ▬ Park space / public space
- of development controls**
- - - Max building envelope
 - ▬ Optional built to boundary wall
 - ▬ Mandatory built to boundary wall
 - ▬ Preferred location of garage
 - ▬ Indicative location of private open space
 - ▬ Indicative location of bin collection
 - ▬ Primary Frontage / Indicative Letterbox Location
 - ▬ Noise affected lots
 - ▬ Mandatory minimum 2 storey dwelling
- riveway locations**
- ▬ Driveway and garage siting that must be located adjacent to the built to boundary walls
 - ▬ Driveway and garage siting where verge and infrastructure constraints determine their location
 - ▬ Driveway and garage siting on lots where there is optional built to boundary wall
- of classification**
- ▬ Terrace lots (7.5m wide or less)
 - ▬ Semi-detached terrace lots (9.2m wide or less - min. 7.5m wide building envelope)
 - ▬ Detached lots less than 300m² (frontage greater than 8.5m)
 - ▬ Detached lots greater than 300m² (frontage greater than 8.5m)
 - ▬ Lots 300m² and larger (frontage 12.5m or greater)



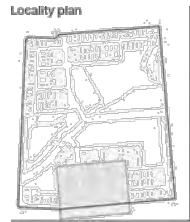
an 5F Site Development Plan



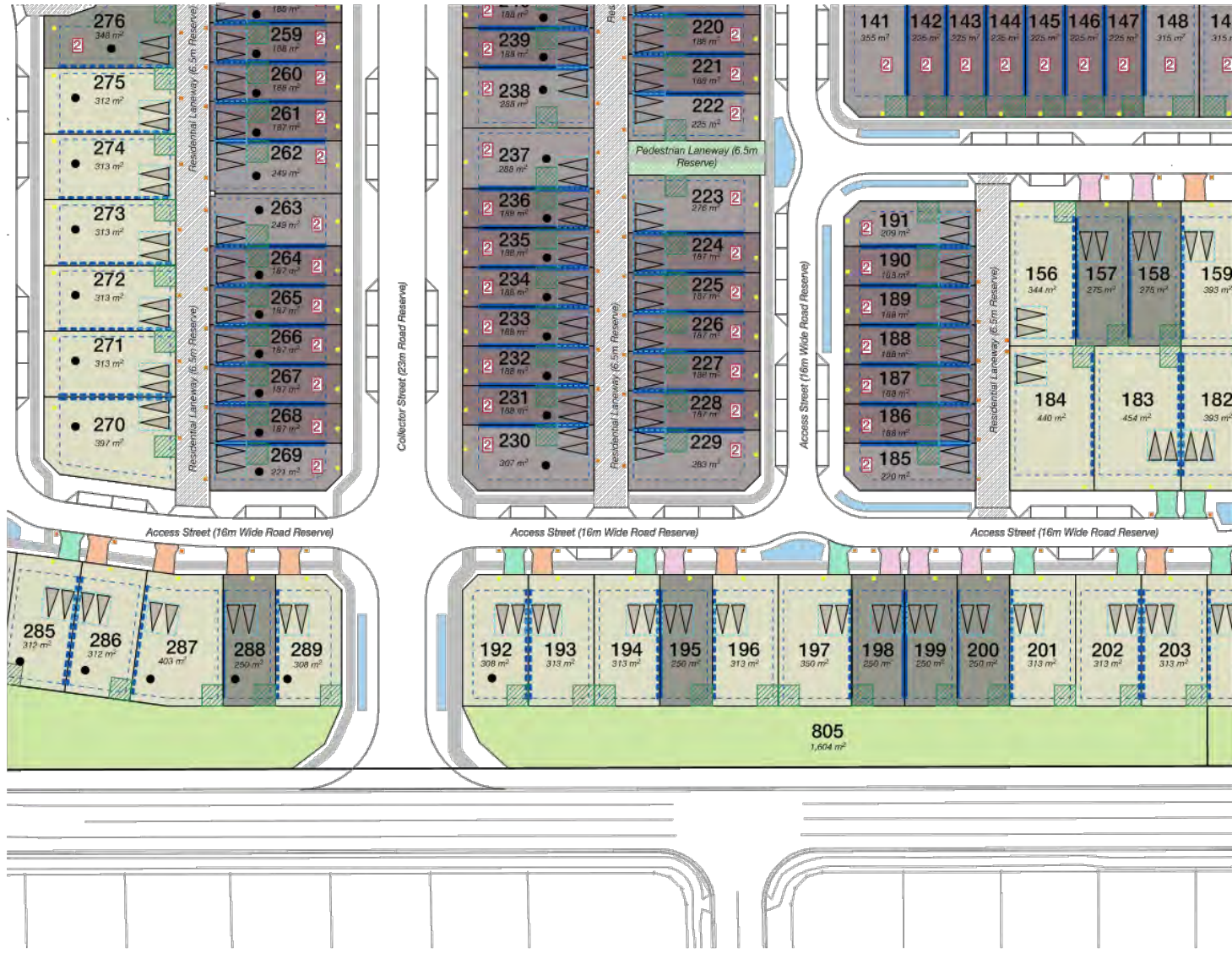


an 50 Site Development Plan

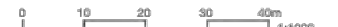




- Legend**
- DPA 2 boundary
 - ▬ Proposed pedestrian or shared pathway
 - ▬ Park space / public space
- of development controls**
- - - Max building envelope
 - ▬ Optional built to boundary wall
 - ▬ Mandatory built to boundary wall
 - ▬ Preferred location of garage
 - ▬ Indicative location of private open space
 - ▬ Indicative location of bin collection
 - ▬ Primary Frontage / Indicative Letterbox Location
 - ▬ Noise affected lots
 - ▬ Mandatory minimum 2 storey dwelling
- rieway locations**
- ▬ Driveway and garage siting that must be located adjacent to the built to boundary walls
 - ▬ Driveway and garage siting where verge and infrastructure constraints determine their location
 - ▬ Driveway and garage siting on lots where there is optional built to boundary wall
- of classification**
- ▬ Terrace lots (7.5m wide or less)
 - ▬ Semi-detached terrace lots (9.2m wide or less - min. 7.5m wide building envelope)
 - ▬ Detached lots less than 300m² (frontage greater than 8.5m)
 - ▬ Detached lots greater than 300m² (frontage greater than 8.5m)
 - ▬ Lots 300m² and larger (frontage 12.5m or greater)



an 54 Site Development Plan





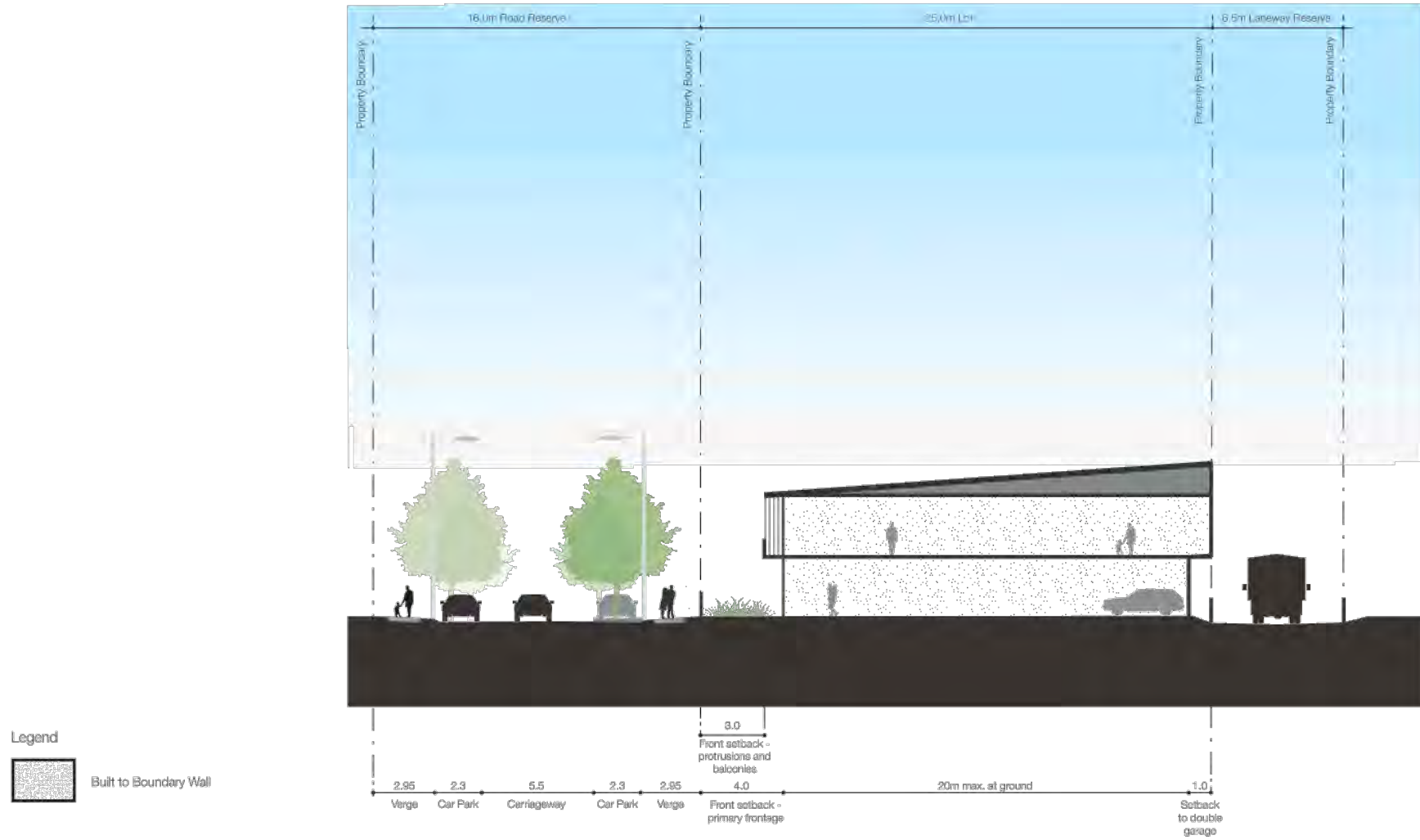
- Legend**
- DPA 2 boundary
 - ▬ Proposed pedestrian or shared pathway
 - ▬ Park space / public space
 - of development controls**
 - - - Max building envelope
 - ▬ Optional built to boundary wall
 - ▬ Mandatory built to boundary wall
 - ▬ Preferred location of garage
 - ▬ Indicative location of private open space
 - ▬ Indicative location of bin collection
 - ▬ Primary Frontage / Indicative Letterbox Location
 - ▬ Noise effected lots
 - ▬ Mandatory minimum 2 storey dwelling
 - rieway locations**
 - ▬ Driveway and garage siting that must be located adjacent to the built to boundary walls
 - ▬ Driveway and garage siting where verge and infrastructure constraints determine their location
 - ▬ Driveway and garage siting on lots where there is optional built to boundary wall
 - of classification**
 - ▬ Terrace lots (7.5m wide or less)
 - ▬ Semi-detached terrace lots (9.2m wide or less - min. 7.5m wide building envelope)
 - ▬ Detached lots less than 300m² (frontage greater than 8.5m)
 - ▬ Detached lots greater than 300m² (frontage greater than 8.5m)
 - ▬ Lots 300m² and larger (frontage 12.5m or greater)



an 51 Site Development Plan



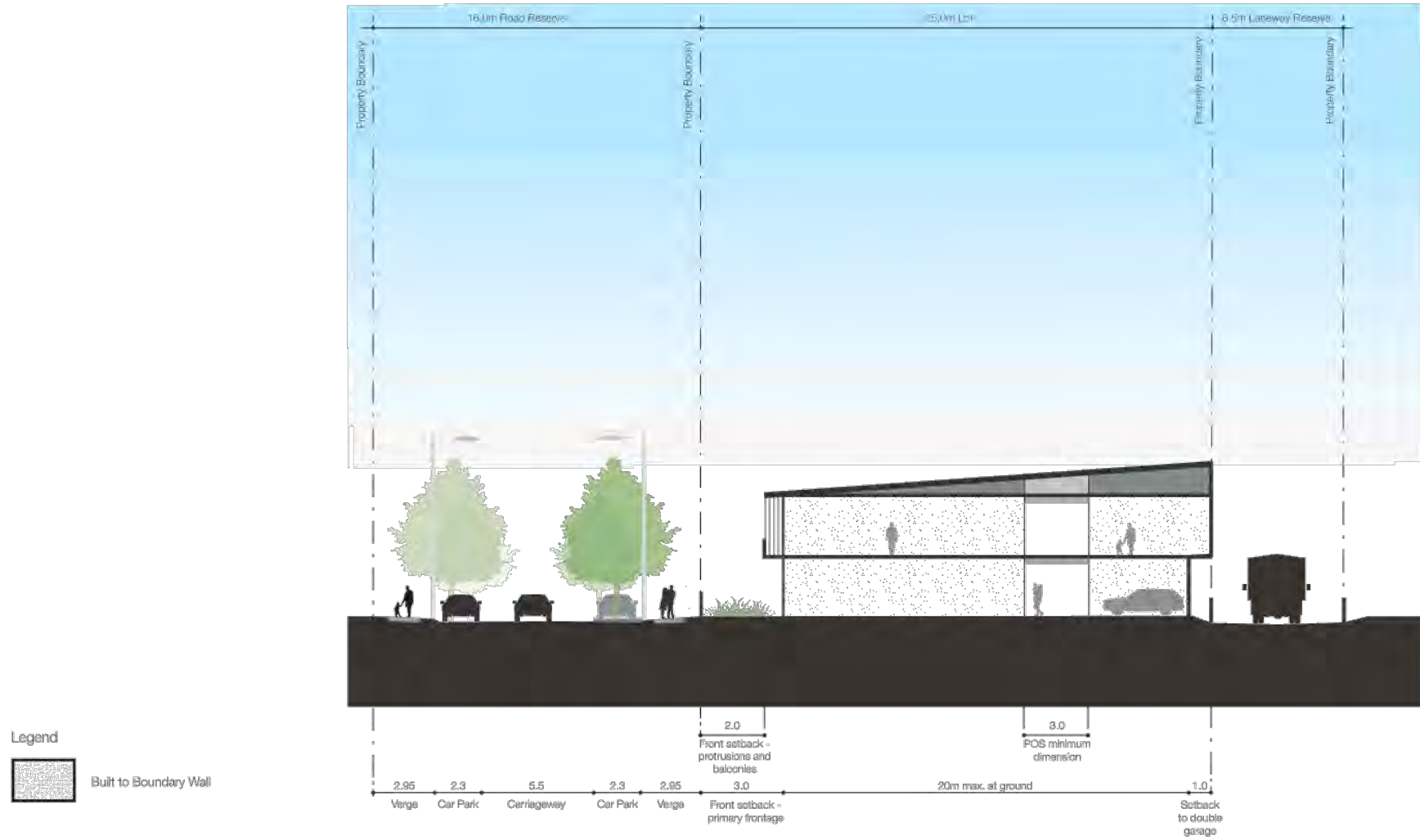
TERRACE ALLOTMENTS : Laneway Access with POS located at street frontage (typical setback requirements)



an 5.1 Allotment Setback Requirements



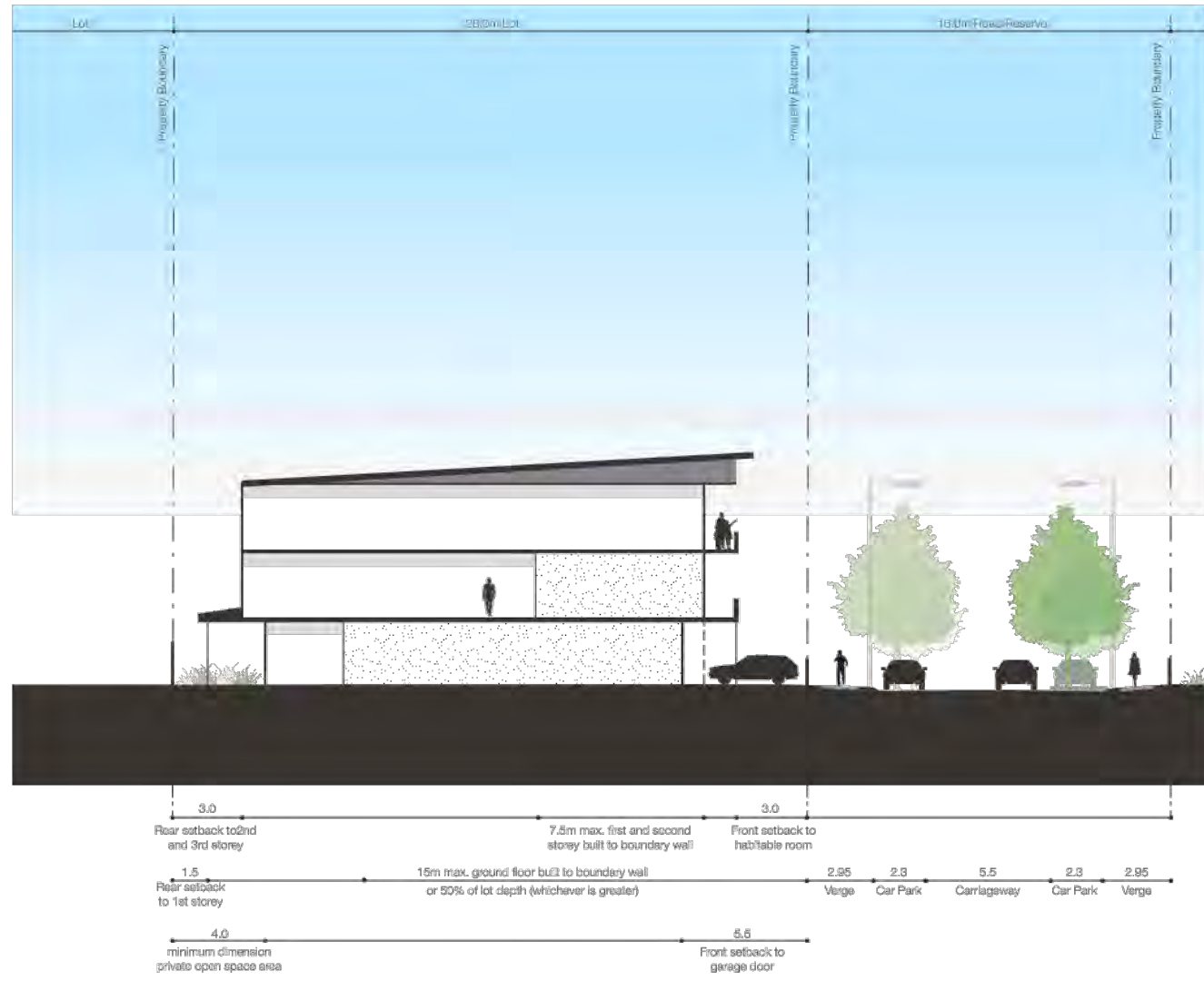
TERRACE ALLOTMENTS : Laneway Access with POS located centrally (typical setback requirements)



an 5K Allotment Setback Requirements



DETACHED ALLOTMENTS (Typical Setback Requirements)

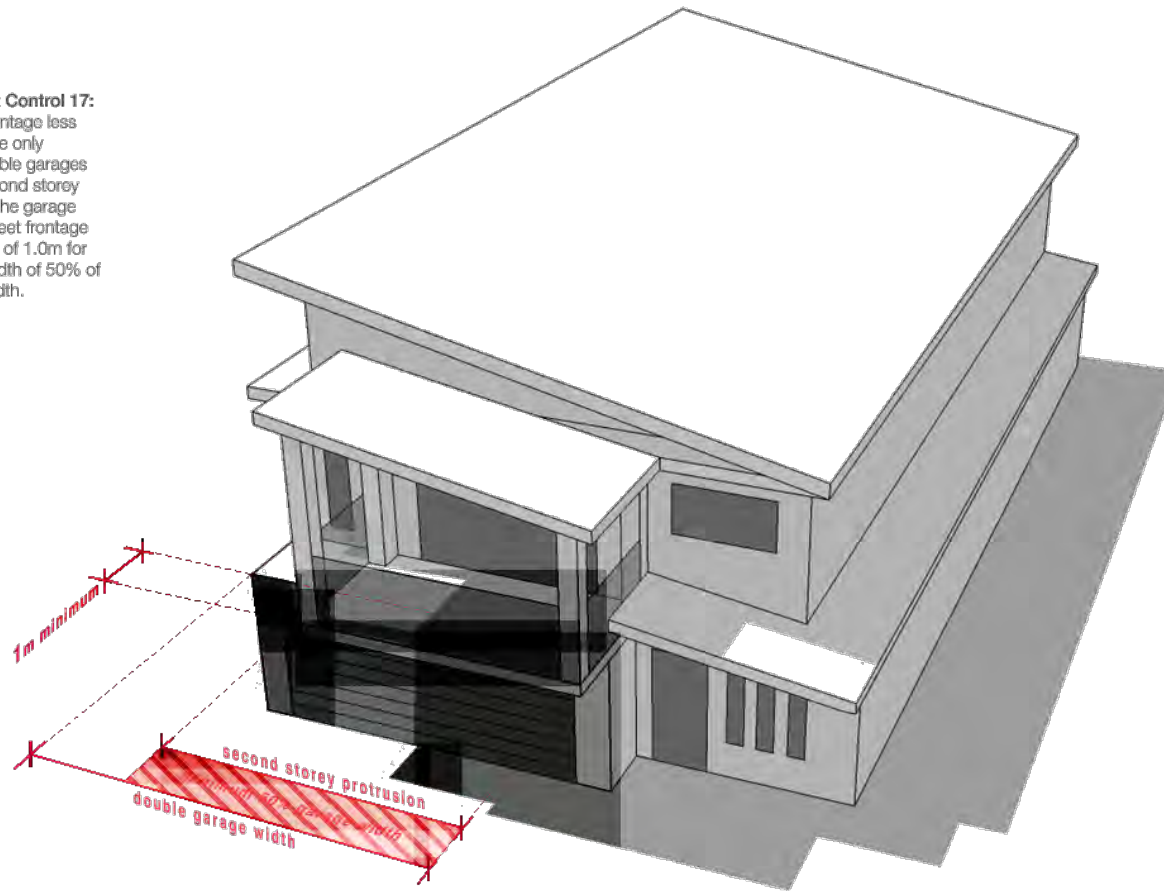


an 51 Allotment Setback Requirements


















Detached House

Development Control 17:
Lots with a frontage less than 12.5m are only permitted double garages where the second storey extends over the garage toward the street frontage by a minimum of 1.0m for a minimum width of 50% of the garage width.



an 5M Allotment Setback Requirements (Diagram for development control)

Legend

-  DPA 2 Boundary
-  Pedestrian Path — no less than 10m wide including street dining
-  Pedestrian Path — no less than 3.0m wide
-  Pedestrian Path — no less than 2.5m wide
-  Pedestrian Path — 1.5m wide
-  Shared Pedestrian and Cycle Path — 4.0m wide
-  Shared Pedestrian and Cycle Path — 3.0m wide
-  Shared Pedestrian and Cycle Path — 2.5m wide
-  On-street Cycle Lane
-  Nominal Shared Pedestrian and Cycle Path Through Open Space — 4.0m wide (Refer Park Design Principle Maps)
-  Nominal Shared Pedestrian and Cycle Path Through Open Space — 2.0m wide (Refer Park Design Principle Maps)
-  Indicative Cross Street Connections Through Median
-  Indicative Through-site Pedestrian Links
-  Future Beach Access Through Dune outside of DPA 2
-  Indicative Underpass outside of DPA 2



an 6A Pedestrian and Cycle Movement Plan





an 6R On Street Car Parking Provision










an 60 Proposed Acoustic Barriers



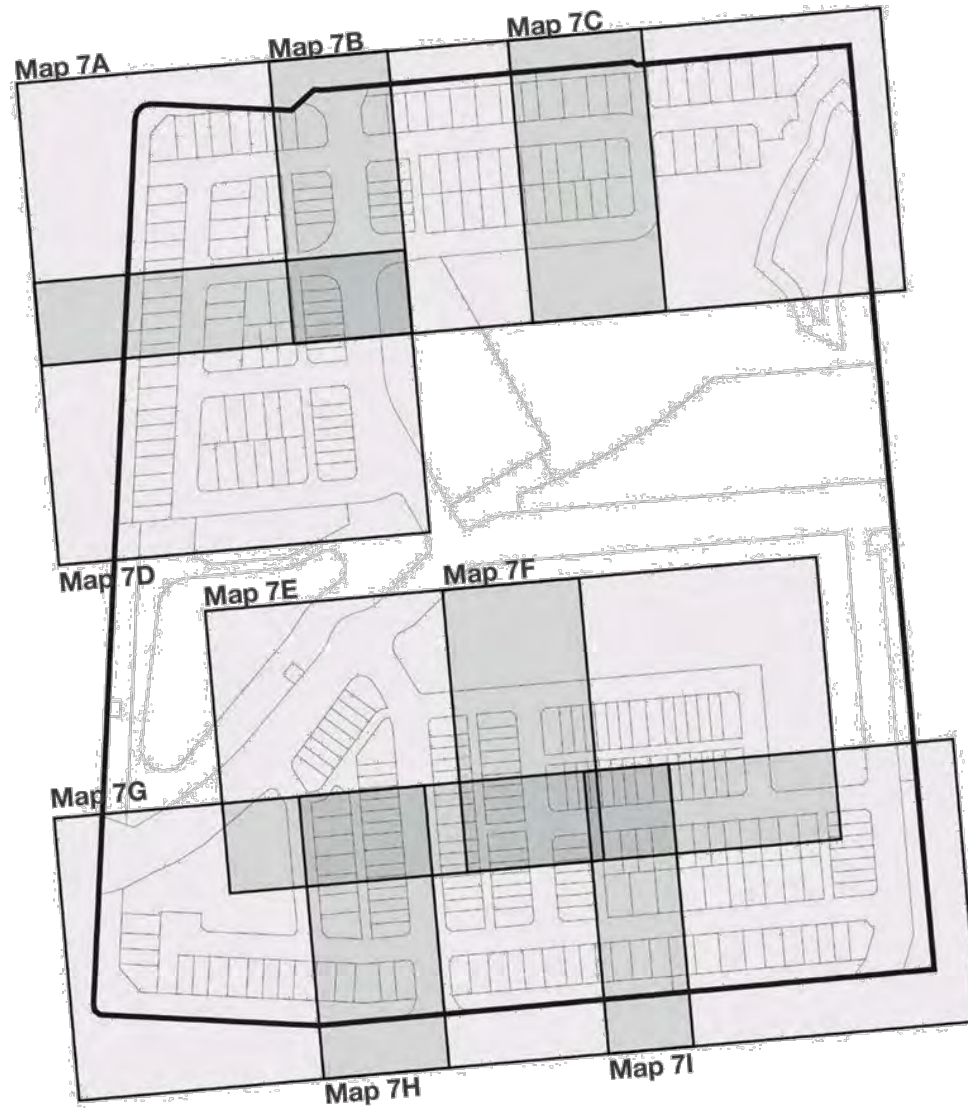




Legend

-  DPA 2 Boundary
-  Proposed Drainage Network
-  Proposed Treatment Bioretention Area
-  Wetland (approx. 3744m²)
-  Entrance Lake (approx. 8970m²)
-  Proposed Overland Flow Path
-  Culvert Treatment for Overland Flow

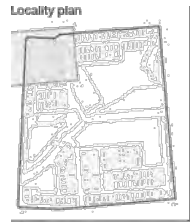




Legend
DPA 2 Boundary

an 7 Consolidated SDP Plan





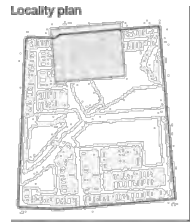
Legend

- SDP boundary
 - Lot boundaries
 - Proposed pathways
 - Proposed driveway locations
 - Park space
 - Proposed Laneway
 - Proposed visitor carparking allocation
 - services**
 - Proposed water main
 - Proposed water conduits
 - Proposed sewer line (minimum depth of pipe = 1m below ground level)
 - Proposed stormwater network
 - Proposed treatment bioretention area
 - Water connection to lot
 - freescape**
 - Indicative location of street trees - 1 tree/1 lot (Refer Future OPW Landscape Plan)
 - Indicative transformer location
 - Indicative ring main unit location
 - Indicative street pole location - 32 watt
 - Indicative street pole location - 150 watt
 - Indicative street pole location - 70 watt
- Note: These plans are illustrative and indicative and are to be used as intent only. Please refer plans in the future OPW package for further detail.*

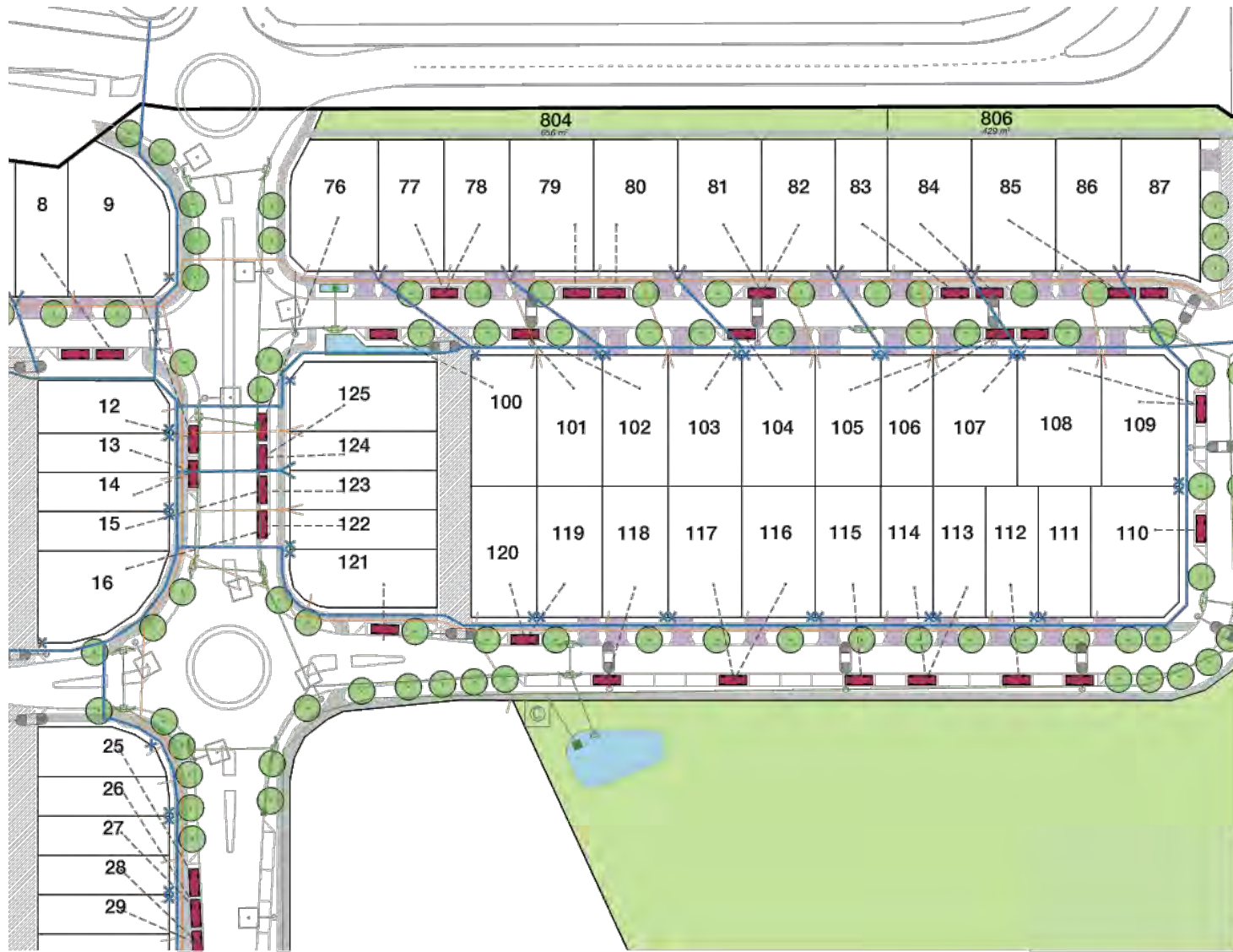


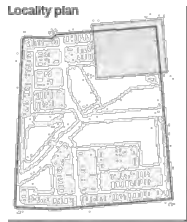
an 7A Urban Infrastructure - Consolidated Plan





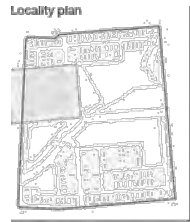
- Legend**
- SDP boundary
 - Lot boundaries
 - Proposed pathways
 - Proposed driveway locations
 - Park space
 - Proposed Laneway
 - Proposed visitor carparking allocation
- services**
- Proposed water main
 - Proposed water conduits
 - Proposed sewer line (minimum depth of pipe = 1m below ground level)
 - Proposed stormwater network
 - Proposed treatment bioretention area
 - Water connection to lot
- freescape**
- Indicative location of street trees - 1 tree/1 lot (refer Future OPW Landscape Plan)
 - Indicative transformer location
 - Indicative ring main unit location
 - Indicative street pole location - 32 watt
 - Indicative street pole location - 150 watt
 - Indicative street pole location - 70 watt
- Note: These plans are illustrative and indicative and are to be used as intent only. Please refer plans in the future OPW package for further detail*





- Legend**
- SDP boundary
 - Lot boundaries
 - Proposed pathways
 - Proposed driveway locations
 - Park space
 - Proposed Laneway
 - Proposed visitor carparking allocation
 - services**
 - Proposed water main
 - Proposed water conduits
 - Proposed sewer line (minimum depth of pipe = 1m below ground level)
 - Proposed stormwater network
 - Proposed treatment bioretention area
 - Water connection to lot
 - streetcape**
 - Indicative location of street trees - 1 tree/1 lot (Refer Future OPW Landscape Plan)
 - Indicative transformer location
 - Indicative ring main unit location
 - Indicative street pole location - 32 watt
 - Indicative street pole location - 150 watt
 - Indicative street pole location - 70 watt
- Note: These plans are illustrative and indicative and are to be used as instant plans only. Please refer plans in the future OPW package for further detail.*





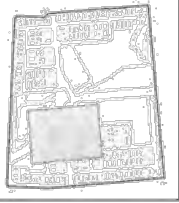
- Legend**
- SDP boundary
 - Lot boundaries
 - Proposed pathways
 - Proposed driveway locations
 - Park space
 - Proposed Laneway
 - Proposed visitor carparking allocation
- services**
- Proposed water main
 - Proposed water conduits
 - Proposed sewer line (minimum depth of pipe = 1m below ground level)
 - Proposed stormwater network
 - Proposed treatment bioretention area
 - Water connection to lot
- freescape**
- Indicative location of street trees - 1 tree/1 lot (refer Future OPW Landscape Plan)
 - Indicative transformer location
 - Indicative ring main unit location
 - Indicative street pole location - 32 watt
 - Indicative street pole location - 150 watt
 - Indicative street pole location - 70 watt
- Note: These plans are illustrative and indicative and are to be used as intent only. Please refer plans in the future OPW package for further detail.*



an 7D Urban Infrastructure - Consolidated Plan



Locality plan



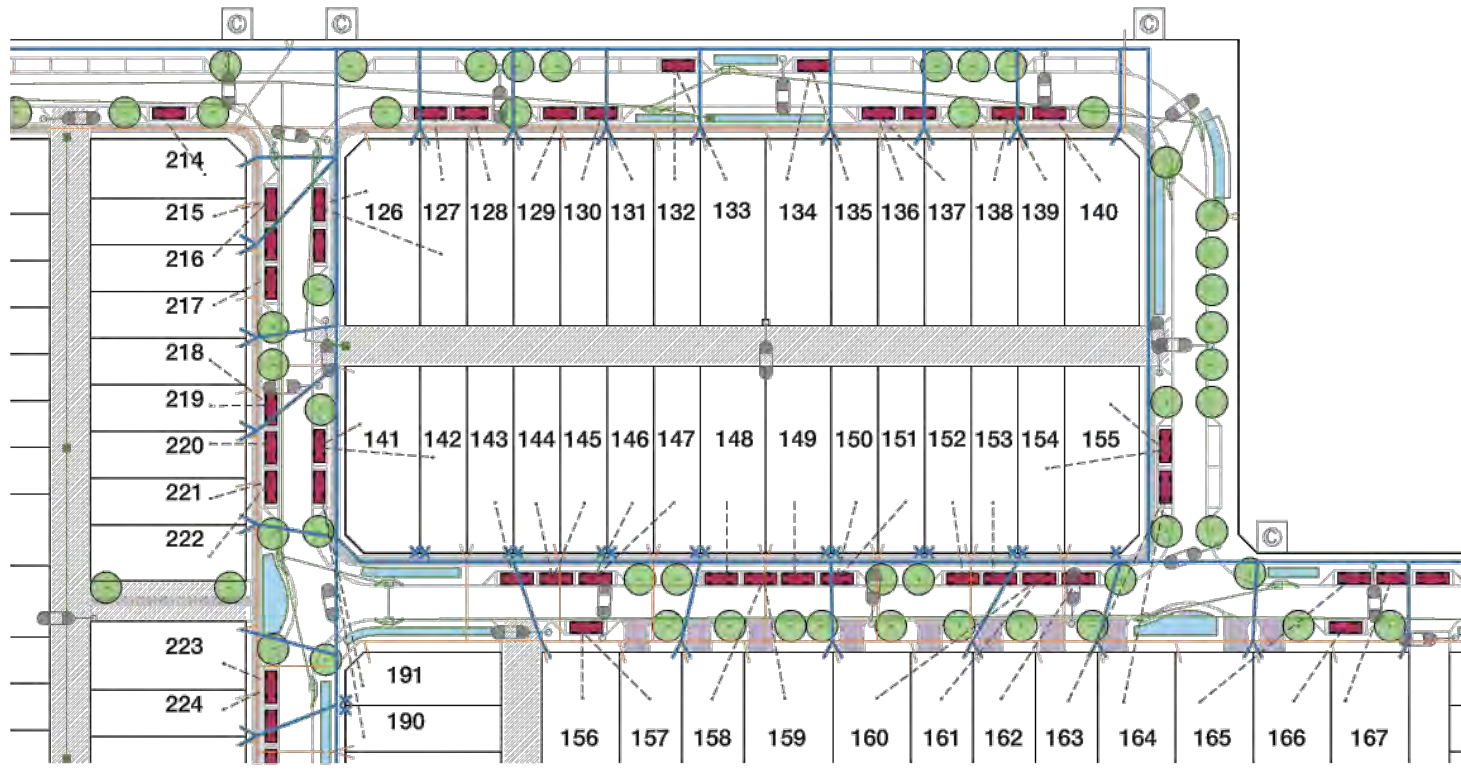
Legend

- SDP boundary
 - Lot boundaries
 - Proposed pathways
 - Proposed driveway locations
 - Park space
 - Proposed Lane/way
 - Proposed visitor carparking allocation
 - services**
 - Proposed water main
 - Proposed water conduits
 - Proposed sewer line (minimum depth of pipe = 1m below ground level)
 - Proposed stormwater network
 - Proposed treatment bioretention area
 - Water connection to lot
 - freescape**
 - Indicative location of street trees - 1 tree/1 lot (Refer Future OPW Landscape Plan)
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 - Indicative street pole location - 70 watt
- Note: These plans are illustrative and indicative and are to be used as instant plans only. Please refer plans in the future OPW package for further detail*

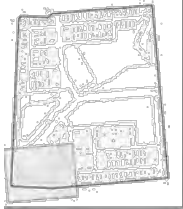




- Legend**
- SDP boundary
 - Lot boundaries
 - Proposed pathways
 - Proposed driveway locations
 - Park space
 - Proposed Laneway
 - Proposed visitor carparking allocation
- services**
- Proposed water main
 - Proposed water conduits
 - Proposed sewer line (minimum depth of pipe = 1m below ground level)
 - Proposed stormwater network
 - Proposed treatment bioretention area
 - Water connection to lot
- freescape**
- Indicative location of street trees - 1 tree/1 lot (refer Future OPW Landscape Plan)
 - Indicative transformer location
 - Indicative ring main unit location
 - Indicative street pole location - 32 watt
 - Indicative street pole location - 150 watt
 - Indicative street pole location - 70 watt
- Note: These plans are illustrative and indicative and are to be used as instant plans only. Please refer plans in the future OPW package for further detail.*



Locality plan



Legend

- SDP boundary
- Lot boundaries
- Proposed pathways
- Proposed driveway locations
- Park space
- Proposed Laneway
- Proposed visitor carparking allocation
- services**
- Proposed water main
- Proposed water conduits
- Proposed sewer line (minimum depth of pipe = 1m below ground level)
- Proposed stormwater network
- Proposed treatment bioretention area
- Water connection to lot
- freescape**
- Indicative location of street trees - 1 tree/1 lot (refer Future OPW Landscape Plan)
- Indicative transformer location
- Indicative ring main unit location
- Indicative street pole location - 32 watt
- Indicative street pole location - 150 watt
- Indicative street pole location - 70 watt

Note: These plans are illustrative and indicative and are to be used as intent only. Please refer plans in the future OPW package for further detail

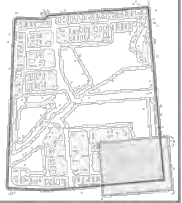




- Legend**
- SDP boundary
 - Lot boundaries
 - Proposed pathways
 - Proposed driveway locations
 - Park space
 - Proposed Laneway
 - Proposed visitor carparking allocation
- services**
- Proposed water main
 - Proposed water conduits
 - Proposed sewer line (minimum depth of pipe = 1m below ground level)
 - Proposed stormwater network
 - Proposed treatment bioretention area
 - Water connection to lot
- freescape**
- Indicative location of street trees - 1 tree/1 lot (refer Future OPW Landscape Plan)
 - Indicative transformer location
 - Indicative ring main unit location
 - Indicative street pole location - 32 watt
 - Indicative street pole location - 150 watt
 - Indicative street pole location - 70 watt
- note: These plans are illustrative and indicative and are to be used as intent only. Please refer plans in the future OPW package for further detail.*



Locality plan



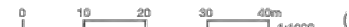
Legend

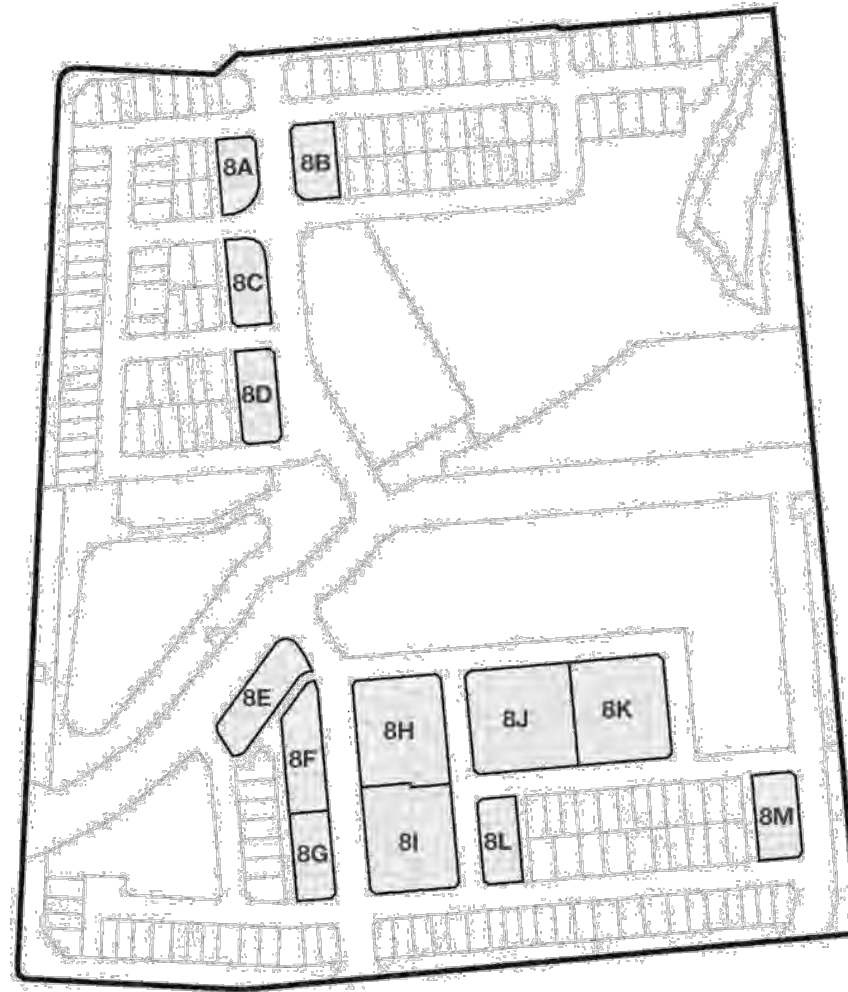
- SDP boundary
- Lot boundaries
- Proposed pathways
- Proposed driveway locations
- Park space
- Proposed Laneway
- Proposed visitor carparking allocation
- services**
- Proposed water main
- Proposed water conduits
- Proposed sewer line (minimum depth of pipe = 1m below ground level)
- Proposed stormwater network
- Proposed treatment bioretention area
- Water connection to lot
- streetcape**
- Indicative location of street trees - 1 tree/1 lot (refer Future OPW Landscape Plan)
- Indicative transformer location
- Indicative ring main unit location
- Indicative street pole location - 32 watt
- Indicative street pole location - 150 watt
- Indicative street pole location - 70 watt

Note: These plans are illustrative and indicative and are to be used as intent only. Please refer plans in the future OPW package for further detail.

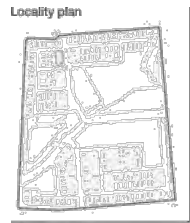


an 71 | Urban Infrastructure - Consolidated Plan





an R Terrane Access Plan



Legend

- DPA 2 boundary
- Lot boundaries
- Proposed pathways (by developer)
- Laneway
- Proposed turf area (by developer)
- Planting area (by developer)

Types

- Finish
- Wall Type 1 (by developer)
1800mm solid blackwork, white painted finish
- Lettered house number location (painted with wall type 2) (by developer)
- Gate, Sluice & Pathway (to top of slope) (by developer)

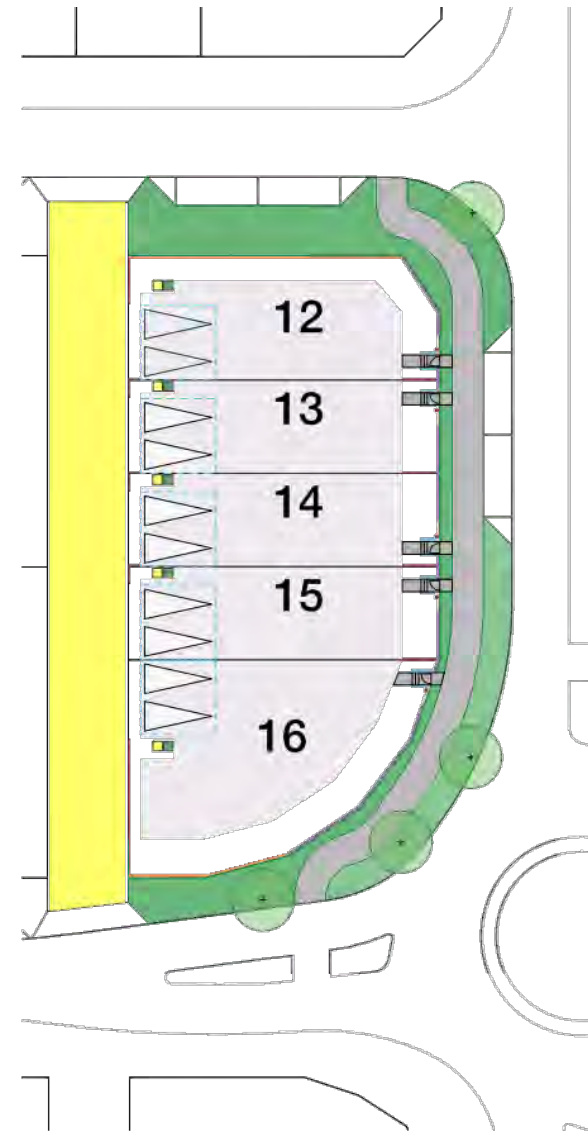
Fence Types

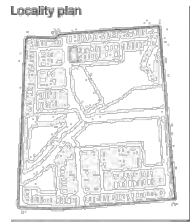
- Fence Type 1A (by owner)
1500mm Aluminium blade fence, 70% permeability, black painted finish
- Fence Type 1B (by developer)
1350mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
- Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
- Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base

Treescape

- Proposed Street Tree Location (by developer)
- B.L. Storage location

an 8A Terrace Access Plan





Legend

- DPA 2 boundary
- Lot boundaries
- Proposed pathways (by developer)
- Laneway
- Proposed turf area (by developer)
- Planting area (by developer)

Types

- Finish
- Wall Type 1 (by developer)
1800mm solid blackwork, white painted finish
- Lettered house number location (painted with wall type 2 (by developer))
- Gate, Slab & Pathway (to top of slope) (by developer)

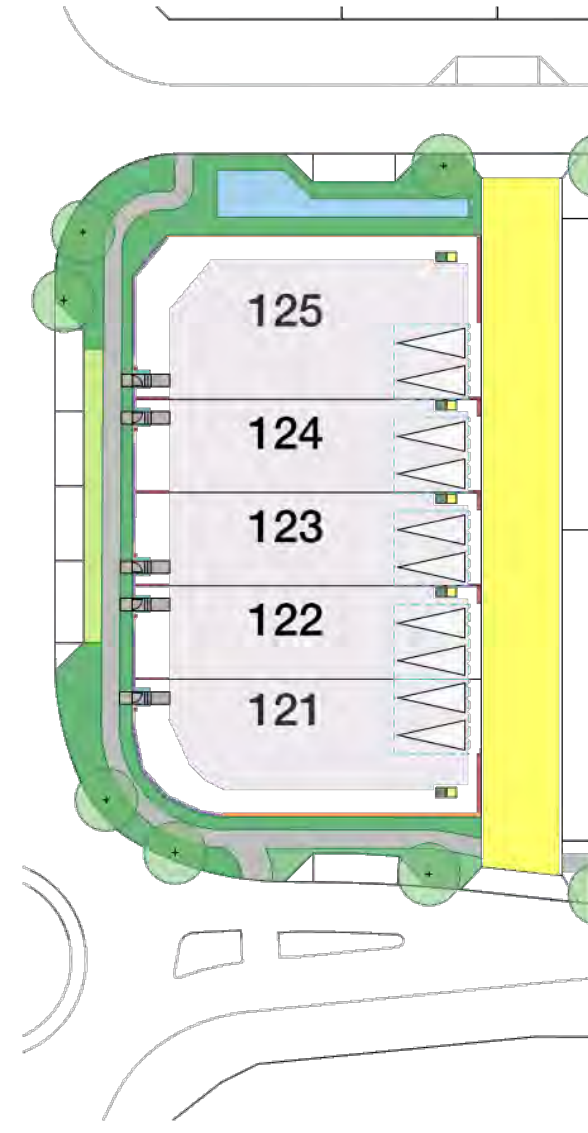
Fence Types

- Fence Type 1A (by owner)
1500mm Aluminium blade fence, 70% permeability, black painted finish
- Fence Type 1B (by developer)
1350mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
- Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
- Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base

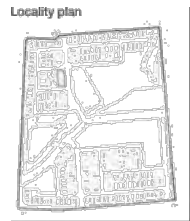
Landscaping

- Proposed Grass Tree Location (by developer)
- B.I. Storage location

an SR Terrace Access Plan



0 5 10 15 20m



Legend

- DPA 2 boundary
- Lot boundaries
- Proposed pathways (by developer)
- Laneway
- Proposed turf area (by developer)
- Planting area (by developer)

Types

- Finish
- Wall Type 1 (by developer)
1800mm Solid blackwork, white painted finish
- Lettered house number location (registered with wall type 2 (by developer))
- Gate, Slab & Pathway (to top of slope) (by developer)

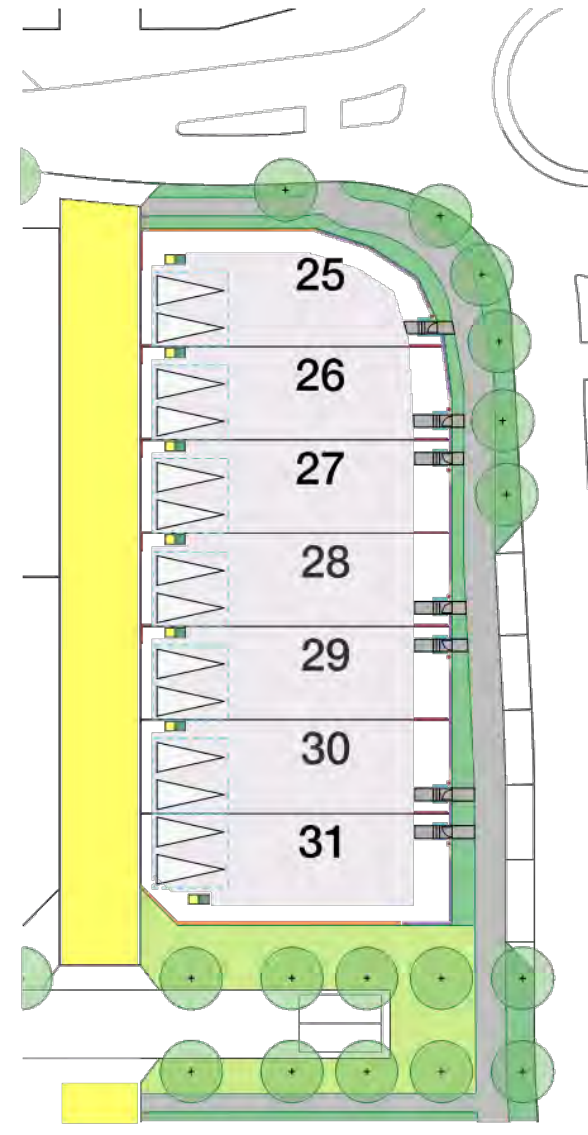
Fence Types

- Fence Type 1A (by owner)
1500mm Aluminium blade fence, 70% permeability, black painted finish
- Fence Type 1B (by developer)
1350mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
- Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
- Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base

Troscaps

- Proposed Street Tree Location (by developer)
- Bin Storage Location

an 80 Terrace Access Plan



Locality plan



Legend

- DPA 2 boundary
- Lot boundaries
- Proposed pathways (by developer)
- Laneway
- Proposed turf area (by developer)
- Planting area (by developer)

Types

- Finish
- Wall Type 1 (by developer)
1800mm solid blackwork, white painted finish
- Lettered house number location (painted with wall type 2) (by developer)
- Gate, Slab & Pathway (to top of slope) (by developer)

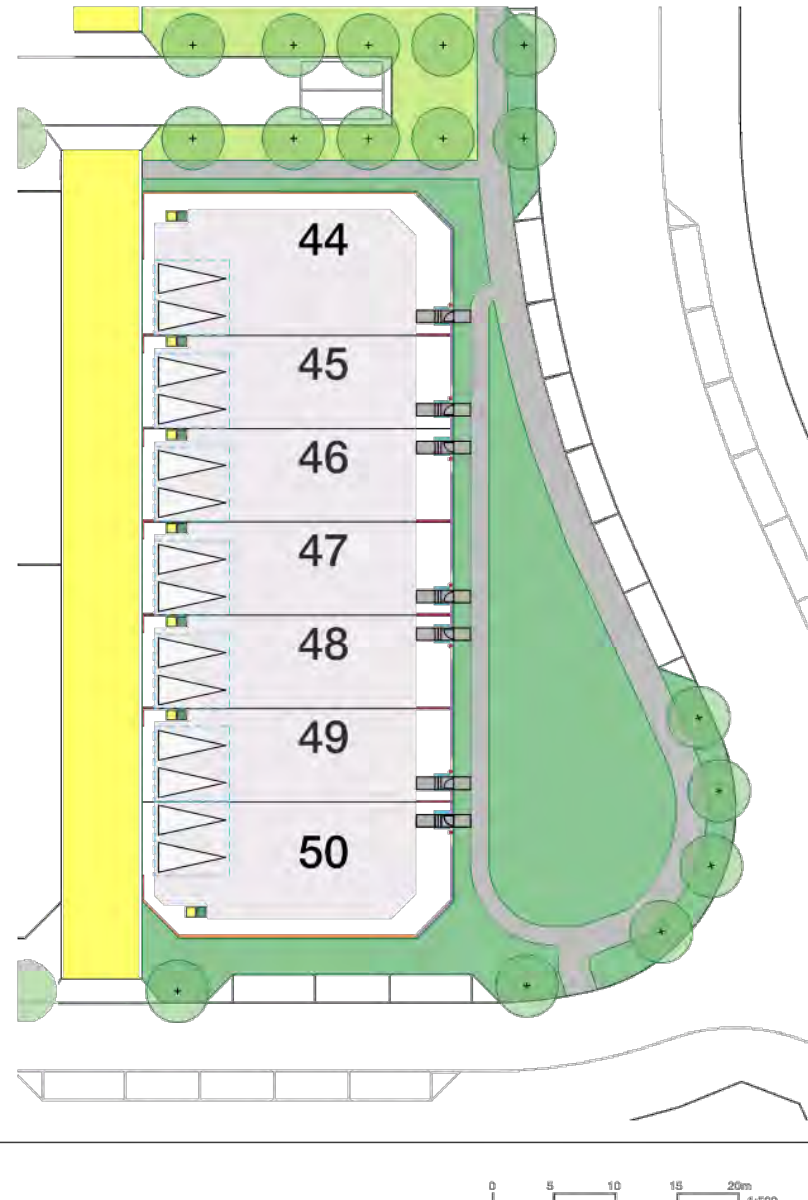
Fence Types

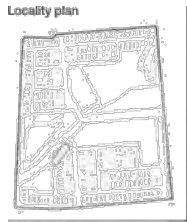
- Fence Type 1A (by owner)
150mm Aluminium blade fence, 70% permeability, black painted finish
- Fence Type 1B (by developer)
135mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
- Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
- Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base

Troscaps

- Proposed Street Tree Location (by developer)
- Bulk Storage Location

an 80 Terrace Access Plan





Legend

- DPA 2 boundary
- Lot boundaries
- Proposed pathways (by developer)
- LaneWAY
- Proposed turf area (by developer)
- Planting area (by developer)

Types

- Finish
- Wall Type 1 (by developer)
1800mm Solid blackwork, white painted finish
- Lettered house number location - associated with wall type 2 (by developer)
- Gate, Slab & Pathway (to top of slope) (by developer)

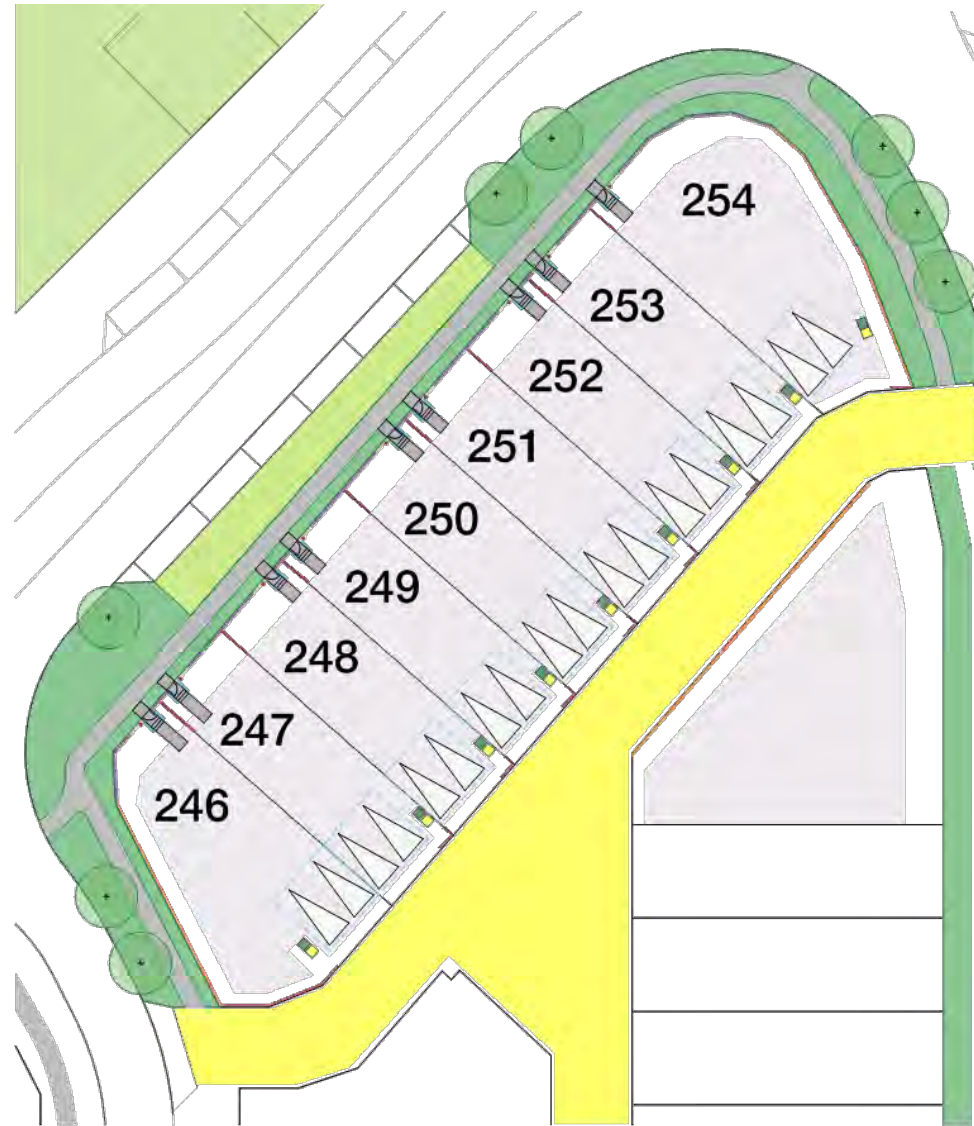
Fence Types

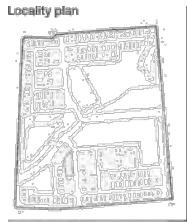
- Fence Type 1A (by owner)
150mm Aluminium blade fence, 70% permeability, black painted finish
- Fence Type 1B (by developer)
135mm Aluminium blade fence, 70% permeability, black painted finish on top of black base
- Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
- Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base

Treescape

- Proposed Street Tree Location (by developer)
- Bin Storage Location

an 85 Terrace Access Plan





Legend

- DPA 2 boundary
- Lot boundaries
- Proposed pathways (by developer)
- Laneway
- Proposed turf area (by developer)
- Planting area (by developer)

Types

- Finish
- Wall Type 1 (by developer)
1800mm Solid blackwork, white pointed finish
- Lettered house number location (registered with wall type 2) (by developer)
- Gate, Slab & Pathway (to top of slope) (by developer)

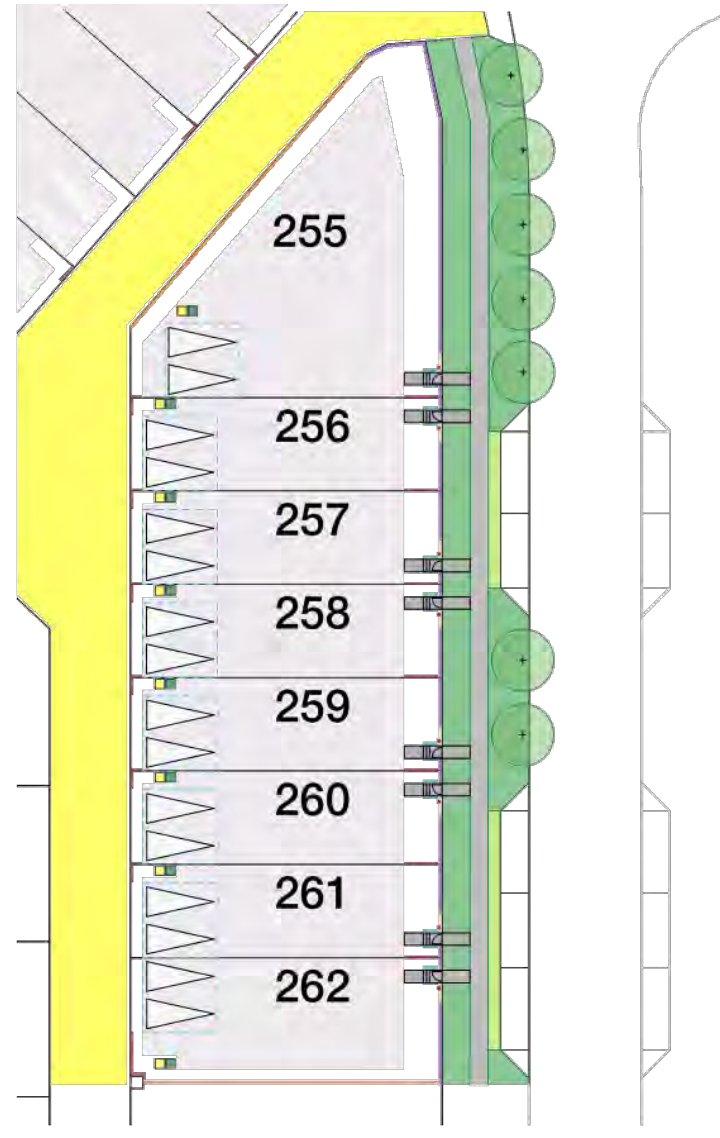
Fence Types

- Fence Type 1A (by owner)
150mm Aluminium blade fence, 70% permeability, black rounded finish
- Fence Type 1B (by developer)
135mm Aluminium blade fence, 70% permeability, black pointed finish on top of block base
- Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
- Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of block base

Troscaps

- Proposed Street Tree Location (by developer)
- B.L. Storage location

an 85 Terrace Access Plan

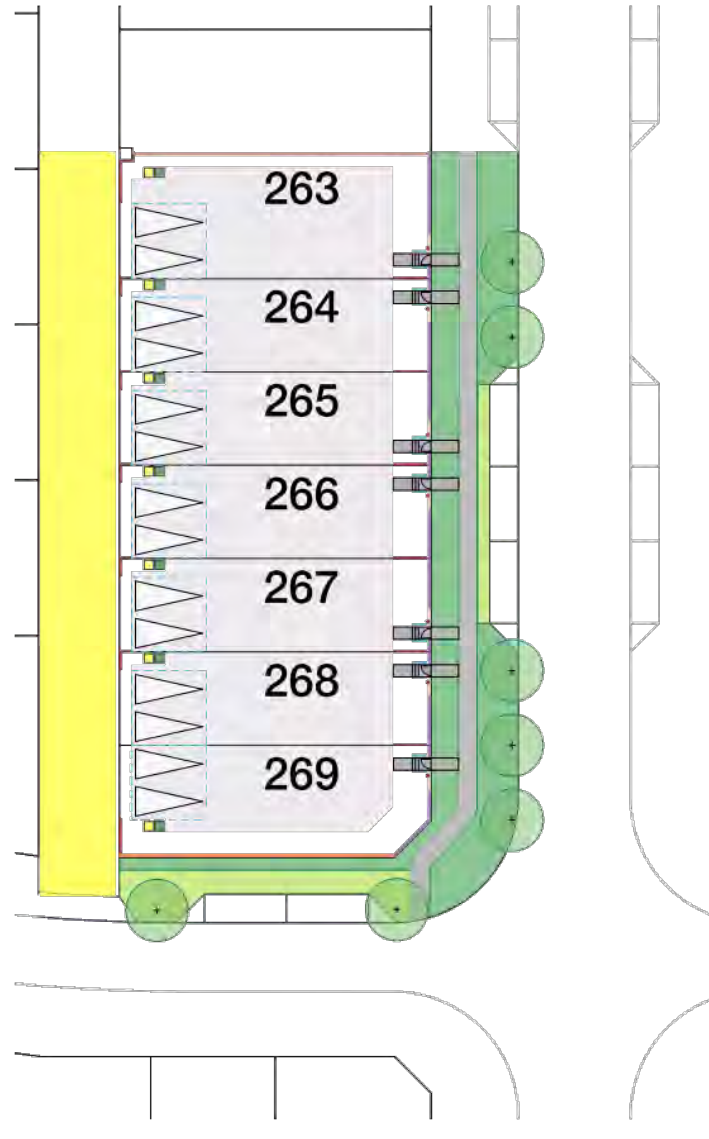


Locality plan



Legend

- DPA 2 boundary
 - Lot boundaries
 - Proposed pathways (by developer)
 - LaneWAY
 - Proposed turf area (by developer)
 - Planting area (by developer)
- Types**
- Finish
 - Wall Type 1 (by developer)
1800mm Solid blackwork, white painted finish
 - Lettered house number location (marked with wall type 2) (by developer)
 - Gate Slab & Pathway (to top of slope) (by developer)
- Fence Types**
- Fence Type 1A (by owner)
150mm Aluminium blade fence, 70% permeability, black painted finish
 - Fence Type 1B (by developer)
135mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
 - Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
 - Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base
- Landscaping**
- Proposed Street Tree Location (by developer)
 - B.L. Storage location

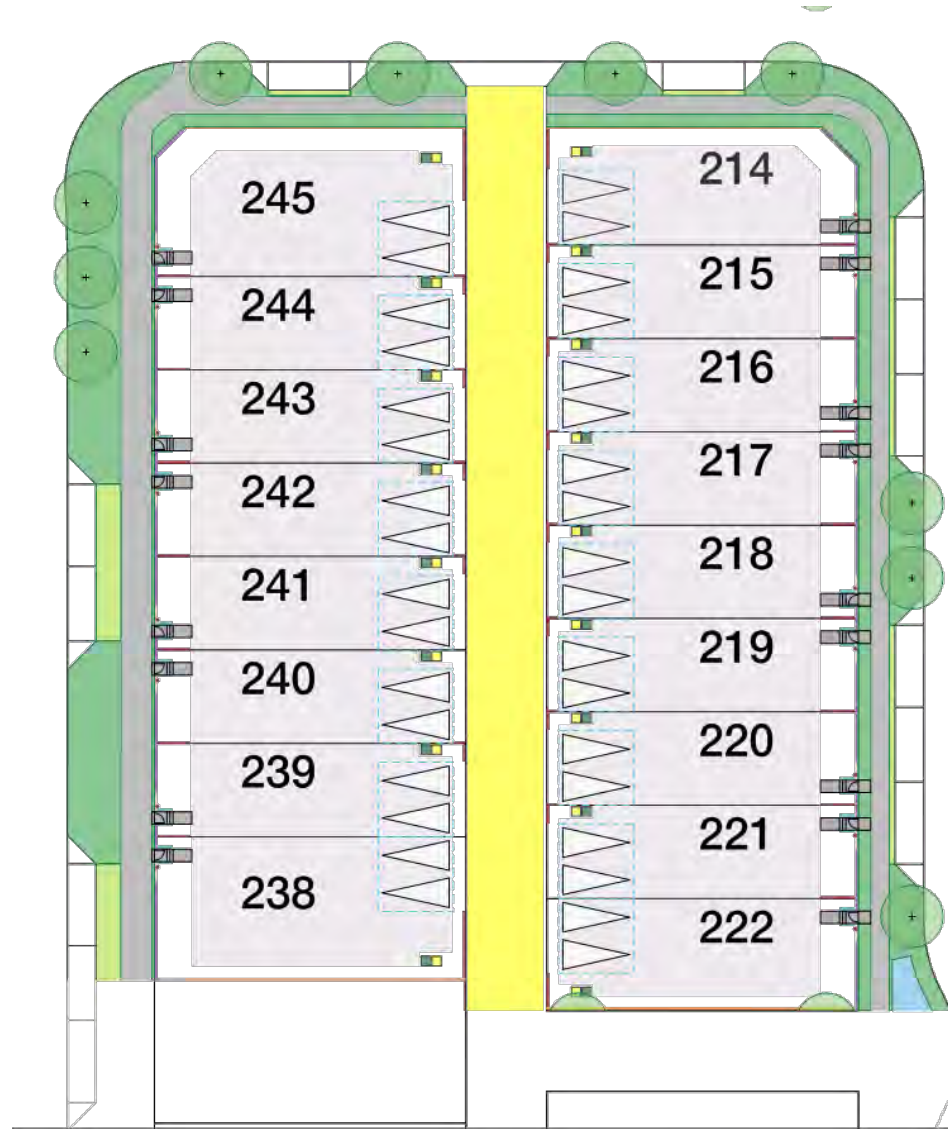


Locality plan



Legend

- DPA 2 boundary
 - Lot boundaries
 - Proposed pathways (by developer)
 - LaneWAY
 - Proposed turf area (by developer)
 - Planting area (by developer)
- Types**
- Wall Type 1 (by developer)
1800mm solid blackwork, white painted finish
 - Lettered house number location (equipped with wall type 2 (by developer))
 - Gate, Slab & Pathway (to top of slope) (by developer)
- Fence Types**
- Fence Type 1A (by owner)
1500mm Aluminium blade fence, 70% permeability, black painted finish
 - Fence Type 1B (by developer)
1350mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
 - Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
 - Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base
- Landscaping**
- Proposed Street Tree Location (by developer)
 - Bulk Storage location

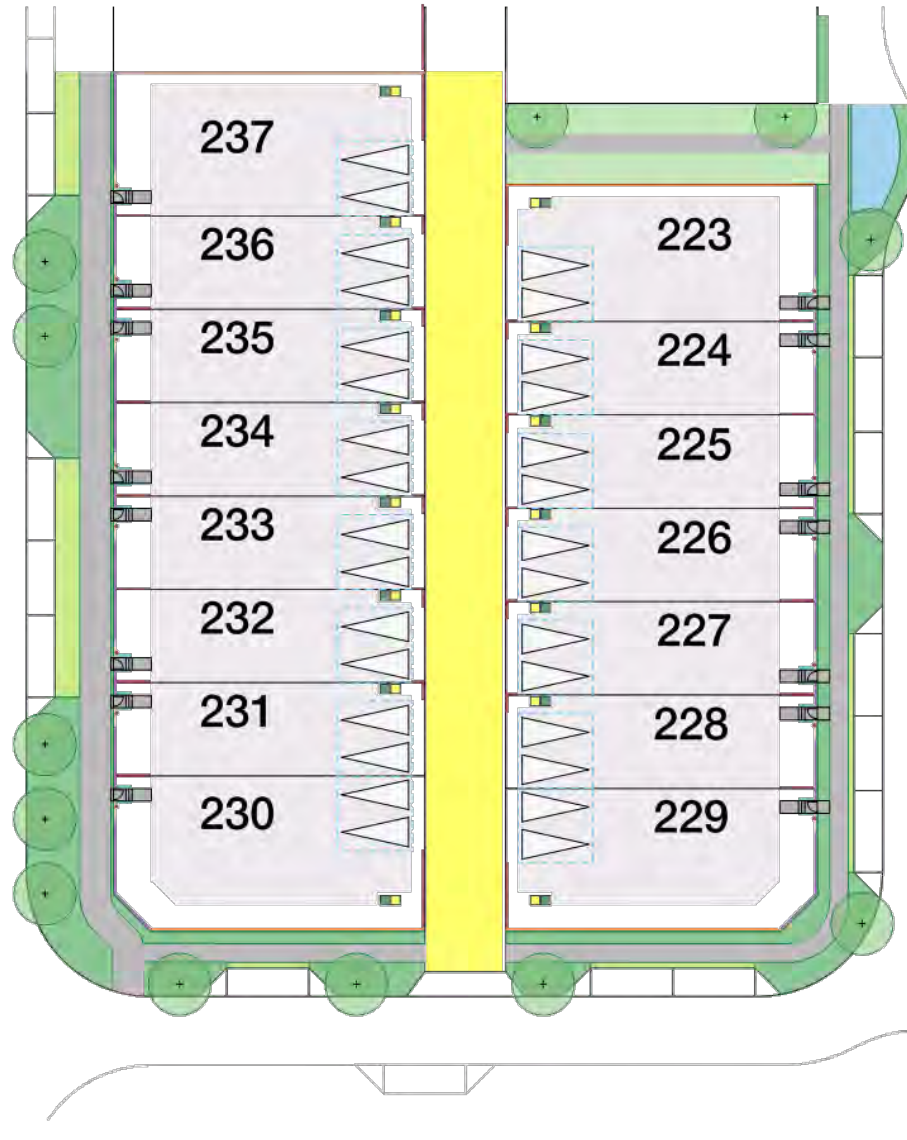


Locality plan



Legend

- DPA 2 boundary
 - Lot boundaries
 - Proposed pathways (by developer)
 - LaneWAY
 - Proposed turf area (by developer)
 - Planting area (by developer)
- Fences**
- Wall Type 1 (by developer)
1800mm solid blackwork, white painted finish
 - Lettered house number location (indicated with wall type 2 (by developer))
 - Gate (Stair & Pathway (to top of slope) (by developer))
- Fence Types**
- Fence Type 1A (by owner)
1500mm Aluminium blade fence, 70% permeability, black painted finish
 - Fence Type 1B (by developer)
1350mm Aluminium blade fence, 70% permeability, black painted finish on top of black base
 - Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
 - Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base
- Streetscape**
- Proposed Street Tree Location (by developer)
 - Bulk Storage location

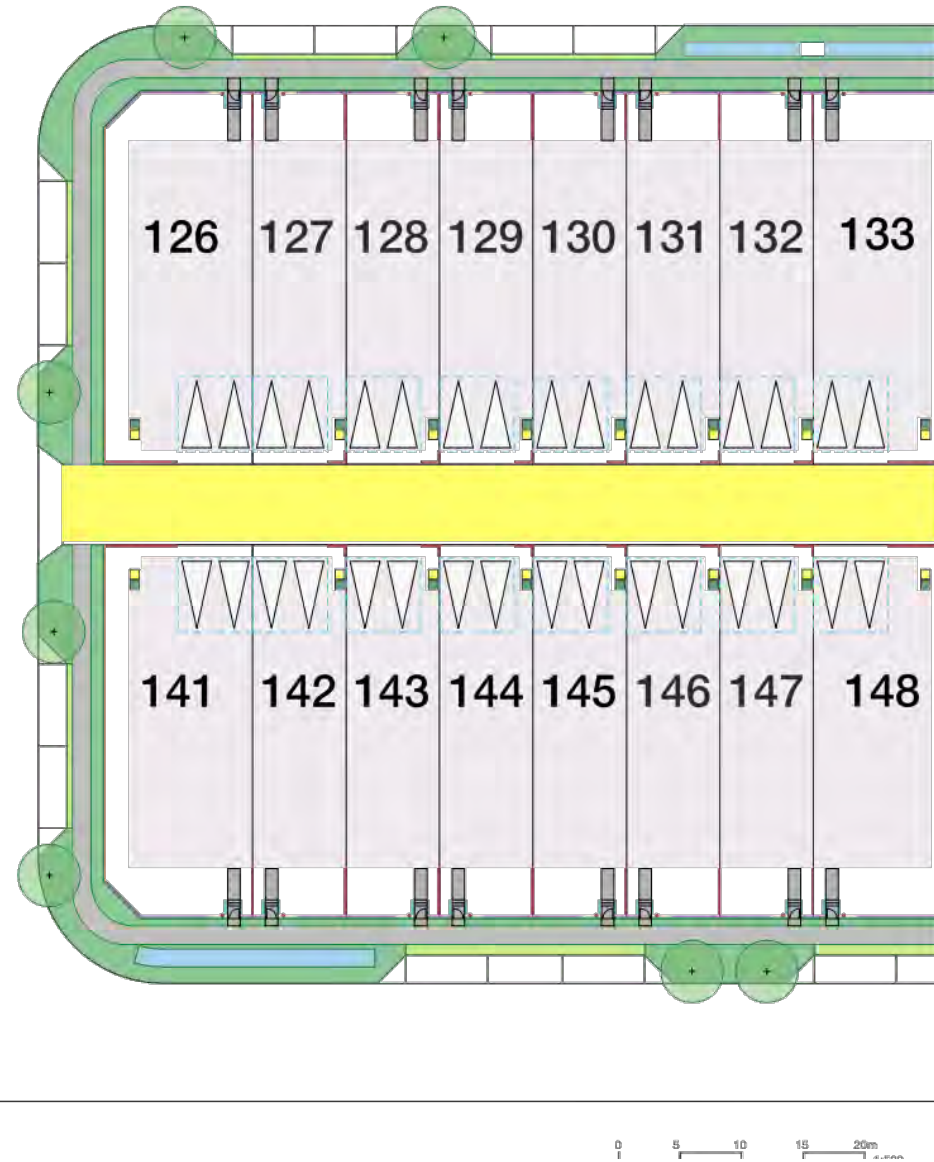


Locality plan



Legend

- DPA 2 boundary
 - Lot boundaries
 - Proposed pathways (by developer)
 - LaneWAY
 - Proposed turf area (by developer)
 - Planting area (by developer)
- Types**
- Finish
 - Wall Type 1 (by developer)
1800mm Solid blackwork, white pointed finish
 - Latrine house number location (by developer)
 - Gate, Sluice & Pathway (to top of slope) (by developer)
- Fence Types**
- Fence Type 1A (by owner)
1500mm Aluminium blade fence, 70% permeability, black pointed finish
 - Fence Type 1B (by developer)
1350mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
 - Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
 - Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base
- troetscape**
- Proposed Street Tree Location (by developer)
 - Bin Storage location



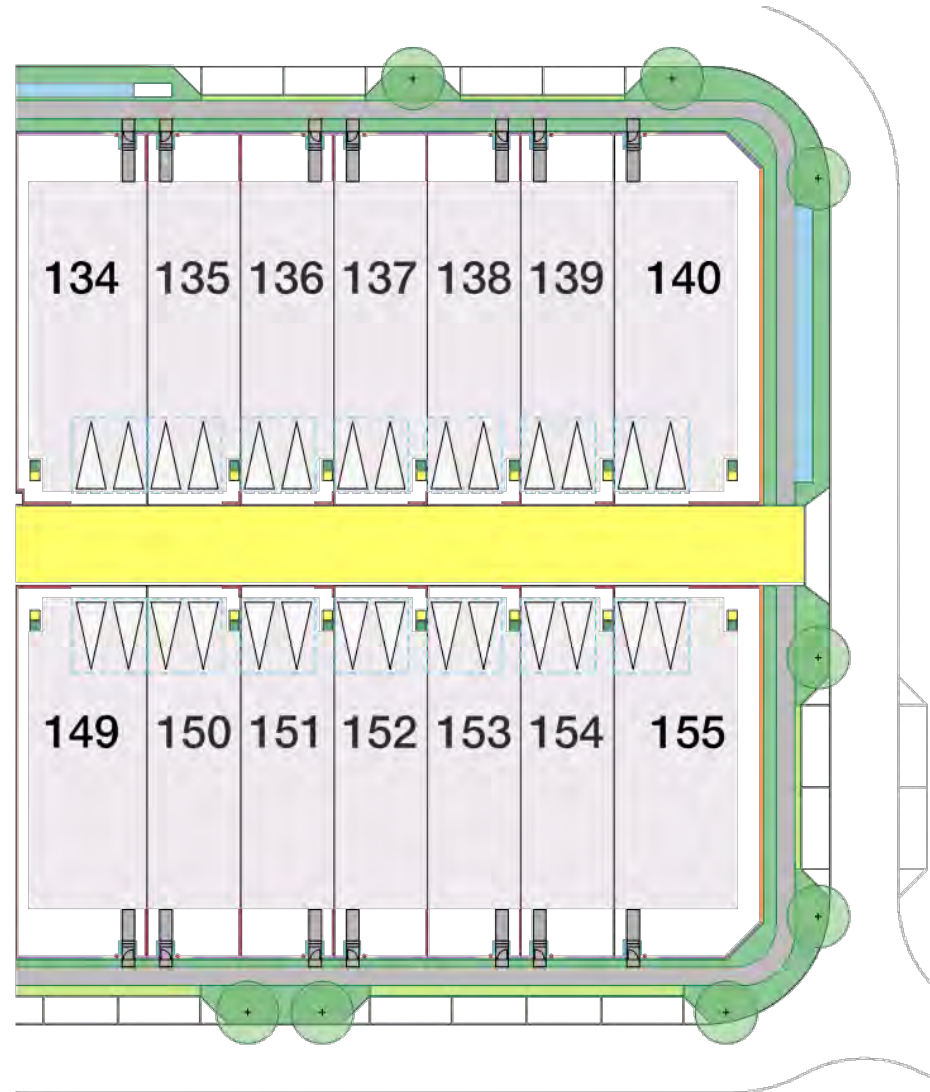
an 8.1 Temporary Access Plan

Locality plan



Legend

- DPA 2 boundary
 - Lot boundaries
 - Proposed pathways (by developer)
 - LaneWAY
 - Proposed turf area (by developer)
 - Planting area (by developer)
- Types**
- Finish
 - Wall Type 1 (by developer)
1800mm solid blackwork, white pointed finish
 - Lettered house number location (paired with wall type 2 (by developer))
 - Gate, Slab & Pathway (to top of slope) (by developer)
- Fence Types**
- Fence Type 1A (by owner)
150mm Aluminium blade fence, 70% permeability, black pointed finish
 - Fence Type 1B (by developer)
135mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
 - Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
 - Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base
- Streetscape**
- Proposed Street Tree Location (by developer)
 - Bulk Storage location



Locality plan



Legend

- DPA 2 boundary
- Lot boundaries
- Proposed pathways (by developer)
- Laneway
- Proposed turf area (by developer)
- Planting area (by developer)

Types

- Finish
- Wall Type 1 (by developer)
1800mm solid blackwork, white painted finish
- Lettered house number location (painted with wall type 2) (by developer)
- Gates, Slips & Pathway (to top of slope) (by developer)

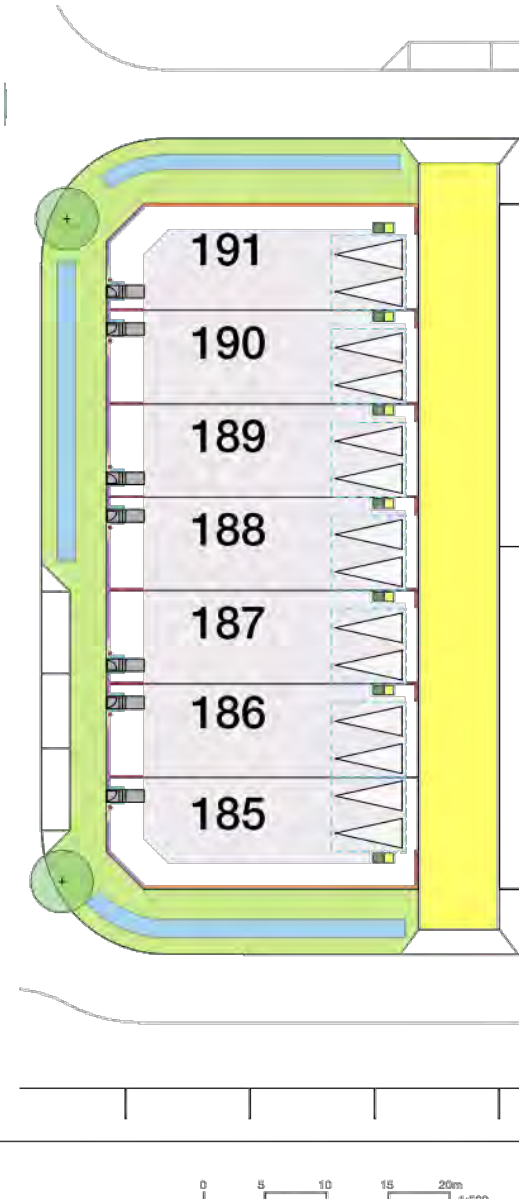
Fence Types

- Fence Type 1A (by owner)
150mm Aluminium blade fence, 70% permeability, black painted finish
- Fence Type 1B (by developer)
135mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
- Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
- Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base

Treescape

- Proposed Street Tree Location (by developer)
- Bull Storage location

an 81 Terrace Access Plan





Legend

- DPA 2 boundary
- Lot boundaries
- Proposed pathways (by developer)
- Laneway
- Proposed turf area (by developer)
- Planting area (by developer)

Types

- Finish
- Wall Type 1 (by developer)
1800mm solid blackwork, white painted finish
- Lettered house number location (painted with wall type 2) (by developer)
- Gate, Slab & Pathway (to top of slope) (by developer)

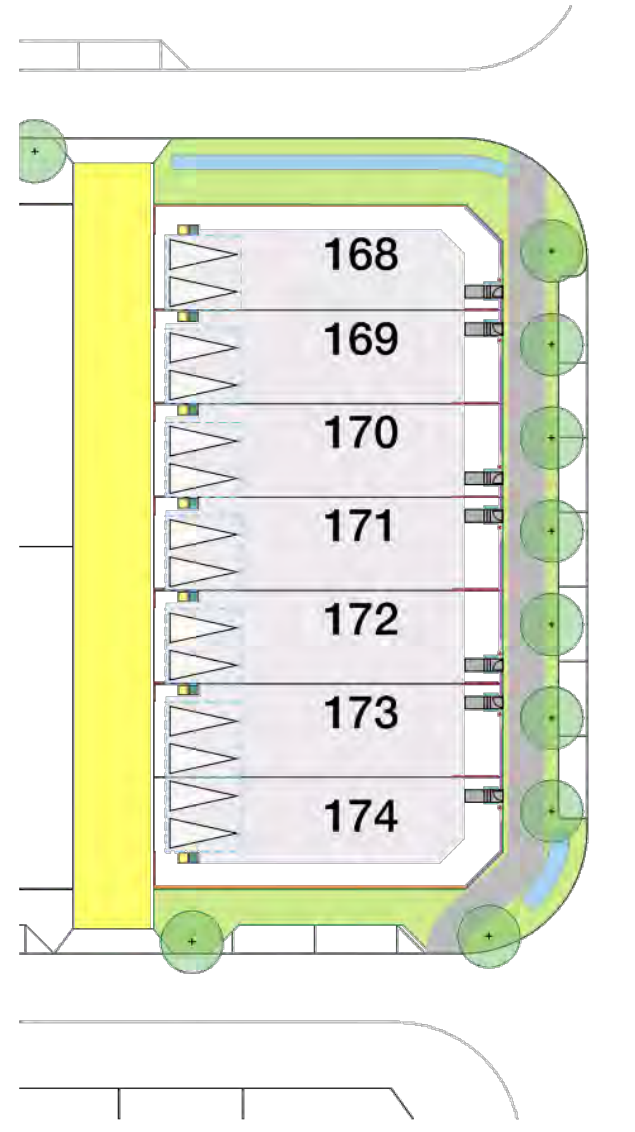
Fence Types

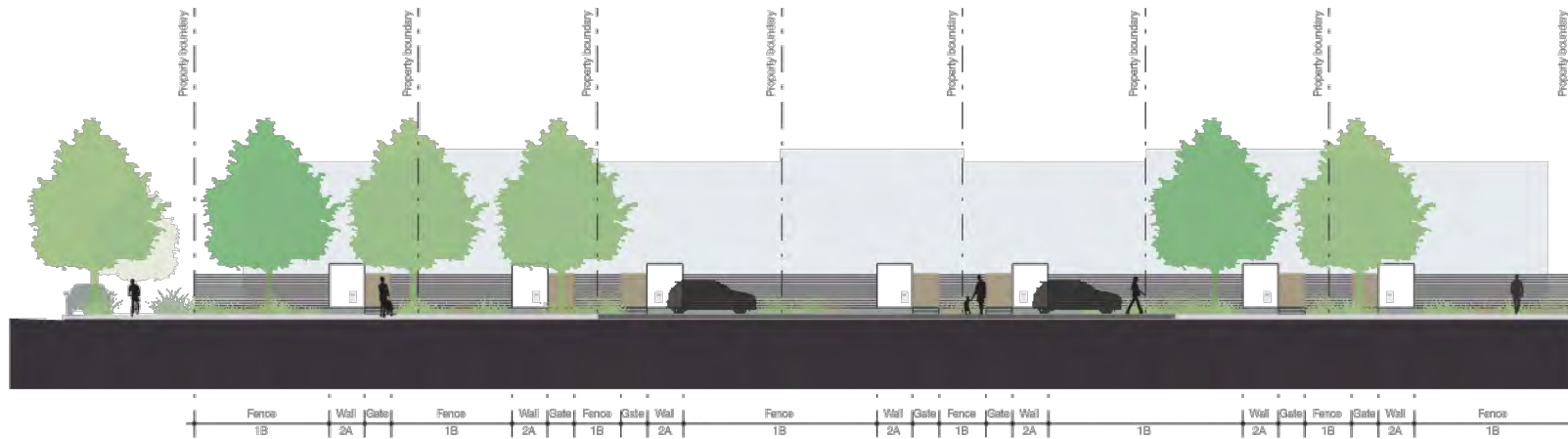
- Fence Type 1A (by owner)
150mm Aluminium blade fence, 70% Permeability, black painted finish
- Fence Type 1B (by developer)
135mm Aluminium blade fence, 70% permeability, black pointed finish on top of black base
- Fence Type 2A (by owner)
1800mm Solid timber fence, horizontal timber battens (70% permeability)
- Fence Type 2B (by developer)
1800mm Solid timber fence, horizontal timber battens (50% permeability) to top 300mm on top of black base

Landscaping

- Proposed Street Tree Location (by developer)
- Bull Storage location

an SM Terrace Area Plan





Character Images

an RN Terrace Access Elevation

