

Development Agreement, Development Control Plan 1
Kawana Waters and Section 857
(Development Control Plans under Repealed LGP&E Act)
of the Sustainable Planning Act 2009

**MASTER PLAN NO. 92 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 11
– PRECINCTS 1 – 4) 2015**

**Approved by Sunshine Coast Regional Council pursuant to
Master Plan Determination No.
(Approval of Site Development Plan – Detailed Planning Area 11 – Precincts 1 - 4) 2015
Dated / /**

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1.0 ADMINISTRATION**1.1 Preliminary****1.1.1 Citation**

1.1.1.1 This document may be cited as Master Plan No. 92 (Site Development Plan – Detailed Planning Area 11 – Precincts 1 – 4) 2015.

1.1.2 Type of Master Plan

1.1.2.1 This document is a Site Development Plan.

1.1.3 Legal Requirement for Master Plan

1.1.3.1 A Site Development Plan is required to be prepared for the area defined as Land Use Area 1 (Residential A) pursuant to Master Plan No. 91 (Detailed Planning Area Plan – Detailed Planning Area 11 – Birtinya Island) 2014, and in accordance with section 7.4.5.1 of DCP 1.

1.1.4 Legal Effect of the Master Plan

1.1.4.1 The Site Development Plan comprises:

- (a) This document which shows the subdivision layout, the purpose for which each lot may be developed, the movement network including cycle and pedestrian linkages, building envelopes and setbacks and built to boundary wall locations; and
- (b) Maps 1 – 15E which show in more detail the elements identified as required by section 7.4.5.2 of DCP 1.

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1.2 Location and Description

- 1.2.1 The land the subject of this Site Development Plan is bound by Birtinya Boulevard to the east, the Western Waterway to the west, Site Development Plan Precincts 5 - 8 to the north and the area comprised of approved Master Plan No. 40 to the south.
- 1.2.2 The land the subject of this Master Plan is described as part of Lot 462 SP231226 in the Parish of Bribie, being leasehold land within Development Lease No. 2.
- 1.2.3 The land the subject of this Site Development Plan has an area of approximately 14.8 hectares.
- 1.2.4 Map 1 (Locality Plan) shows the land the subject of this Master Plan, relative to its surrounds as described above, while Map 2 (Land Subject of Master Plan) shows the extent of the area covered by this application.

1.3 Zoning Map Description

- 1.3.1 The land the subject of this Site Development Plan is zoned Special Development under the Caloundra City Planning Scheme 1996.

1.4 Strategic Plan Description

- 1.4.1 The land the subject of this Site Development Plan is identified in the Strategic Plan of the Caloundra City Planning Scheme 1996 as having a preferred dominant land use of Urban.

1.5 DCP Description

- 1.5.1 The land the subject of this Site Development Plan is identified in DCP 1 as having a preferred land use as described in Section 4.10.2 (p) of the DCP.

1.6 Relationship to Higher Order Master Plans

- 1.6.1 The land the subject of this Site Development Plan is subject to the Structure Plan and as such is:

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- (a) identified on Structure Plan Map 1 as being Detailed Planning Area 11 with a Special Development Zoning, and is subject to the Development Criteria and conditions defined in the Structure Plan;
- (b) subject to Structure Plan Map 2 which shows the area having an Open Space network comprising two Neighbourhood Parks, a Precinct Park and a Pedestrian/Cycle Network;
- (c) subject to Structure Plan Map 3 which shows the area as being part of Detailed Planning Area 11;
- (d) subject to Structure Plan Map 4 which shows the area as having a Village/Neighbourhood Relationship;
- (e) subject to Structure Plan Map 5 which shows indicatively the service infrastructure for sewerage; and
- (f) subject to Structure Plan Map 6 which shows indicatively the service infrastructure for water supply.

1.7 Relationship to Other Master Plans;

- 1.7.1 This Site Development Plan should be read in conjunction with Master Plan No. 91 (Detailed Planning Area Plan – Detailed Planning Area 11 – Birtinya Island) 2014.

1.8 Relationship to DCP

- 1.8.1 The land the subject of this Site Development Plan is subject to DCP 1 and as such is identified on DCP 1, Map 1 as being part of Detailed Planning Area 11.
- 1.8.2 DCP 1, Map 2 identifies the subject area as containing an Open Space Network comprising two Neighbourhood Parks, a Precinct Park and a Circulation Network.
- 1.8.3 DCP 1, Map 4 identifies the subject area as being part of Precinct 3 where the maximum population shall not exceed 9025 persons.

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1.9 Relationship to Planning Scheme Provisions

1.9.1 The land the subject of the Site Development Plan is subject to:

- (a) Zoning Map No. 65 and 66 which identifies the land as being included in the Special Development zone;
- (b) the Table of Development in Section 2.7 (2) (Special Development Zone) of the Planning Scheme which lists the purposes for which premises in the Special Development Zone may be used in accordance with a Supplementary Table of Development prepared in accordance with DCP 1; and
- (c) Part 6 of the Planning Scheme which contains provisions relating to the reconfiguring of lots in the Special Development Zone.

2.0 STRUCTURE OF MASTER PLAN**2.1 Structure of Site Development Plan**

This Site Development Plan comprises:

- 2.1.1 Subdivision layout with lot boundaries as specified in Section 3.0 (Subdivision Layout) of this document;
- 2.1.2 The purpose for which each lot may be developed as specified in Section 4.0 (Defined Uses) of this document;
- 2.1.3 Movement Networks including cycle and pedestrian linkages as specified in Section 5.0 (Movement Networks) of this document;
- 2.1.4 Building Envelopes and Setbacks as specified in Section 6.0 (Building Envelopes and Setbacks) of this document;

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- 2.1.5 Boundaries on which the walls of a building or associated structure are proposed to be erected as indicated in Section 7.0 (Built to Boundary Walls) of this document;
- 2.1.6 Lots affected by road traffic noise as indicated in Section 8.0 (Noise Affected Lots) of this document;
- 2.1.7 The ways in which Urban Design Performance Criteria may be implemented as specified in Section 10.0 (Implementation of Urban Design Performance Criteria) of this document;
- 2.1.8 Maps which are specified in Section 11.0 (Maps & Tables) of this document.

3.0 SUBDIVISION LAYOUT

3.1 Subdivision Layout

- 3.1.1 Subdivision Layout with lot boundaries is indicated on Map 3 (Dimensions Plan) of this document.

4.0 DEFINED USES

4.1 Defined Uses

- 4.1.1 The land the subject of this Site Development Plan shall be developed for the defined uses specified in Table 1 of this document.
- 4.1.2 'Permitted Land Uses' nominated in Column 1 are self-assessable where in accordance with the relevant Probable Solutions prescribed in Section 10.0 (Implementation of Urban Design Performance Criteria) of this document, and the Development Controls and Setbacks nominated on Maps 5A – 5E (Site Development Plan) of this document.

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4.1.3 Where development does not satisfy the relevant Probable Solutions and/or comply with the relevant Development Controls and Setback requirements, such development may only be “Permitted Subject to Conditions” resulting from Code Assessment.

Table 1 – Supplementary Table of Development – Precincts 1 – 4

SITE DEVELOPMENT PLAN PRECINCT	COLUMN 1 PERMITTED LAND USES AND DEVELOPMENT WORKS	COLUMN 2 PERMITTED SUBJECT TO CONDITIONS	COLUMN 3 CONSENT REQUIRED	COLUMN 4 PROHIBITED USES
Site Development Plan Precincts 1 – 4	Residential Uses Limited to: <ul style="list-style-type: none"> ▪ Duplex Dwelling ▪ Dwelling House ▪ Terrace House where in accordance with the relevant provisions and development controls forming part of this Site Development Plan. Residential Uses Limited to: <ul style="list-style-type: none"> ▪ Bed & Breakfast - Homestay ▪ Home Occupation where in accordance with the relevant Probable Solutions contained in this document.	Residential Uses Limited to: <ul style="list-style-type: none"> ▪ Bed & Breakfast - Homestay ▪ Home Occupation where not in accordance with the relevant provisions and development controls forming part of this document.		Uses not listed in Column 1, 2 and 3
Site Development Plan Precincts 1 – 4	Advertising devices, limited to the following: <ul style="list-style-type: none"> ▪ Freestanding Signs limited to: <ul style="list-style-type: none"> - Estate Entrance Sign - Flagpole Sign - Billboard Sign - Ground Sign - Pylon Sign ▪ Fence Signs limited to: <ul style="list-style-type: none"> - Construction Site Fence Sign - Backdrop Fence Sign - Boundary Fence Sign ▪ Temporary Signs limited to: 			Uses not listed in Column 1, 2 and 3

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SITE DEVELOPMENT PLAN PRECINCT	COLUMN 1 PERMITTED LAND USES AND DEVELOPMENT WORKS	COLUMN 2 PERMITTED SUBJECT TO CONDITIONS	COLUMN 3 CONSENT REQUIRED	COLUMN 4 PROHIBITED USES
	<ul style="list-style-type: none"> - Real Estate Sign - Real Estate Directional Sign - Real Estate Hoarding - Temporary Bunting where in accordance with Local Planning Policy PDLPP 7.0/01 – Siting and Design of Advertising Devices.			

5.0 MOVEMENT NETWORKS**5.1 Movement Networks**

5.1.1 Movement Networks including cycle and pedestrian linkages are indicated on Map 10 (Pedestrian and Cycle Network) of this document.

6.0 BUILDING ENVELOPES AND SETBACKS**6.1 Building Envelopes and Setbacks**

6.1.1 Building envelopes and setbacks are indicated on Maps 5A – 5E (Site Development Plan) of this document.

7.0 BUILT TO BOUNDARY WALLS**7.1 Built to Boundary Walls**

7.1.1 Built to boundary wall locations are nominated on Maps 5A – 5E (Site Development Plan) of this document.

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8.0 NOISE AFFECTED LOTS

8.1 Noise Affected Lots

8.1.1 Lots affected by road traffic noise are nominated on Maps 5A – 5E (Site Development Plan) of this document.

9.0 ACCESS TO WESTERN WATERWAY

9.1 Private Access to Western Waterway

9.1.1 Lots with quay line access available to the Western Waterway are nominated on Maps 5A & 5B (Site Development Plan) of this document. Any mooring facility must be in accordance with the details in the adopted "Lake Kawana/Birtinya – Lake Management Plan", and must not extend beyond the quay line defined in the Lake Management Plan.

Application may be made to Council for a lease for the purposes of establishing a mooring facility. Following execution of an Agreement to Lease with Council, subsequent approval/s for Reconfiguring a Lot and Building Works will be required prior to any structure being erected within/on or over Lake Kawana.

Applications for Agreement to Lease, Reconfiguring a Lot and Building Works will only be approved over the footprint area of the proposed structure where in accordance with the approved designs as contained in the Lake Kawana/Birtinya – Lake Management Plan.

9.2 Public Access to Western Waterway

9.2.1 Public access to the Western Waterway is to be made available in the locations depicted on Map 10 (Pedestrian and Cycle Network) of this document.

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10.0 IMPLEMENTATION OF URBAN DESIGN PERFORMANCE CRITERIA

10.1 Urban Design Performance Criteria for the whole of the Detailed Planning Area

The Specific Outcomes and Probable Solutions prescribed below are an extract taken from Master Plan No. 91 Detailed Planning Area Plan – Detailed Planning Area 11 – Birtinya Island, Section 5.0 – Urban Design Performance Criteria.

Urban Design Performance Criteria contained in Master Plan No. 91 that are not applicable to the assessment of this Site Development Plan for Precincts 1 – 4 within Land Use Area 1 have not been reproduced below.

Specific Outcome	Probable Solution	Site Development Plan Compliance												
Lot Size														
<p>O1 Lot size and dimensions provide for building envelopes suited to the intended form of development and do not compromise the functionality of the street network, infrastructure and streetscape landscaping.</p>	<p>S1.1 Varied lot sizes and frontages are distributed such that functionality of the street network as well as the ability to provide infrastructure and landscaping is maintained:</p> <p><u>Land Use Area 1 – Residential A:-</u></p> <table border="1" data-bbox="907 949 1377 1181"> <thead> <tr> <th>Dwelling Type</th> <th>Minimum Lot Size</th> <th>Minimum Frontage Width</th> </tr> </thead> <tbody> <tr> <td>Dwelling House</td> <td>180m²</td> <td>≥ 8.5m</td> </tr> <tr> <td>Terrace House</td> <td>180m²</td> <td>≤ 8.5m</td> </tr> <tr> <td>Duplex Dwelling</td> <td>500m²</td> <td>≥ 15m</td> </tr> </tbody> </table> <p>The range of lot sizes within the Detailed Planning Area are to be distributed such that at least 65% of</p>	Dwelling Type	Minimum Lot Size	Minimum Frontage Width	Dwelling House	180m ²	≥ 8.5m	Terrace House	180m ²	≤ 8.5m	Duplex Dwelling	500m ²	≥ 15m	<p>Compliance is demonstrated on Maps 5A – 5E (Site Development Plan) of this document.</p>
Dwelling Type	Minimum Lot Size	Minimum Frontage Width												
Dwelling House	180m ²	≥ 8.5m												
Terrace House	180m ²	≤ 8.5m												
Duplex Dwelling	500m ²	≥ 15m												

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Specific Outcome	Probable Solution	Site Development Plan Compliance
	detached housing lots have a frontage \geq 12.5m, with at least 15% of these lots having a frontage \geq 15m.	
Stormwater Management (On-Site)		
<i>Specific Outcomes O2 - O4 are not applicable to development in Land Use Area 1.</i>	<i>Probable Solutions S2.1, S3.1 and S4.1 & S4.2 are not applicable to development in Land Use Area 1.</i>	<i>Not Applicable.</i>
Car Parking & Access		
O5 The layout and design of parking bays, manoeuvring areas, queuing areas, set down/pickup areas, and driveways ensures that on-site parking and servicing areas are clearly defined, safe, easily accessible and meet user requirements, including people with disabilities, pedestrians, cyclists and public transport services, where relevant.	<p>S5.1 Vehicular access for Land Use Areas 2 & 3 is provided in accordance with Map 7 (Vehicle Movement Network & Driveway Location Plan) of this document.</p> <p>S5.2 Vehicular crossings are designed in accordance with Council's adopted standard drawings.</p> <p>S5.3 Parking bays, manoeuvring areas, queuing areas, set down/pickup areas, aisles and driveways are designed in accordance with the dimensions and to the standards specified in:</p> <p>(a) AS2890.1 – Parking Facilities: Off-street Car Parking; and</p> <p>(b) AS2890.2 – Parking Facilities: Off-street Commercial Vehicles facilities.</p> <p>S5.4 On-site parking and manoeuvring areas (excluding Dwelling Houses, Terrace Houses and Duplex Dwellings) provide for vehicles to enter and leave the site</p>	Access is proposed to each residential lot in the locations identified on Maps 5A – 5E (Site Development Plan) of this document. Each lot will be provided with a single width driveway across the verge which is a maximum width of 3.5 metres at the kerb line and 4.0 metres at the property boundary.

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Specific Outcome	Probable Solution	Site Development Plan Compliance												
	in a forward motion. S5.5 Engineering design of all parking and manoeuvring areas is in accordance with Council's adopted standards.													
O6 Residential development provides on-site car parking at a rate that adequately services the needs of the use, without encouraging or reinforcing reliance on private vehicles.	S6.1 The minimum number of on-site residential car parking spaces provided is in accordance with the rates nominated in Table 2 below: Table 2 – Residential Car Parking Rates <table border="1" data-bbox="907 638 1377 1268"> <thead> <tr> <th data-bbox="907 638 1142 686">Use</th> <th data-bbox="1142 638 1377 686">Minimum Rate</th> </tr> </thead> <tbody> <tr> <td data-bbox="907 686 1142 861">Residential Uses (limited to Accommodation Building, Cluster Development, Motel and Multiple Dwelling only):</td> <td data-bbox="1142 686 1377 861"></td> </tr> <tr> <td data-bbox="907 861 1142 949">- Dwelling Unit comprising 1 or 2 bedrooms*</td> <td data-bbox="1142 861 1377 949">1 space per unit</td> </tr> <tr> <td data-bbox="907 949 1142 1029">- Dwelling Unit comprising 3 or more bedrooms*</td> <td data-bbox="1142 949 1377 1029">1.25 spaces per unit</td> </tr> <tr> <td data-bbox="907 1029 1142 1093">- On-site Visitor Spaces</td> <td data-bbox="1142 1029 1377 1093">0.25 spaces per unit</td> </tr> <tr> <td data-bbox="907 1093 1142 1268">* Any room which is reasonably capable of being used as a bedroom will be regarded as a bedroom for the purposes of calculating on site car parking requirements (e.g. study, media room).</td> <td data-bbox="1142 1093 1377 1268"></td> </tr> </tbody> </table>	Use	Minimum Rate	Residential Uses (limited to Accommodation Building, Cluster Development, Motel and Multiple Dwelling only):		- Dwelling Unit comprising 1 or 2 bedrooms*	1 space per unit	- Dwelling Unit comprising 3 or more bedrooms*	1.25 spaces per unit	- On-site Visitor Spaces	0.25 spaces per unit	* Any room which is reasonably capable of being used as a bedroom will be regarded as a bedroom for the purposes of calculating on site car parking requirements (e.g. study, media room).		Dwellings constructed over each of the lots identified on Maps 5A – 5E (Site Development Plan) of this document are to provide a minimum of two (2) onsite car parking spaces, with at least one space capable of being covered – refer Development Control 16 on Map 4 (Setback Table & Development Controls) of this document.
Use	Minimum Rate													
Residential Uses (limited to Accommodation Building, Cluster Development, Motel and Multiple Dwelling only):														
- Dwelling Unit comprising 1 or 2 bedrooms*	1 space per unit													
- Dwelling Unit comprising 3 or more bedrooms*	1.25 spaces per unit													
- On-site Visitor Spaces	0.25 spaces per unit													
* Any room which is reasonably capable of being used as a bedroom will be regarded as a bedroom for the purposes of calculating on site car parking requirements (e.g. study, media room).														

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Specific Outcome	Probable Solution	Site Development Plan Compliance												
	<table border="1"> <tr> <td data-bbox="907 343 1144 608">Aged Persons Home</td> <td data-bbox="1144 343 1382 608">1 space per 4 accommodation units; and 1 space per 6 nursing home beds; and 1 space per 2 employees; and visitor parking provided at 50% of the above parking requirements</td> </tr> <tr> <td data-bbox="907 608 1144 743">Retirement Community</td> <td data-bbox="1144 608 1382 743">1 space per dwelling unit; and visitor car parking provided at 0.25 spaces per dwelling unit</td> </tr> <tr> <td data-bbox="907 743 1144 927">Dwelling House, Terrace House and Duplex Dwelling</td> <td data-bbox="1144 743 1382 927">2 spaces per dwelling unit, with at least one space capable of being covered (parking spaces may be provided in tandem)</td> </tr> <tr> <td data-bbox="907 927 1144 1031">Bed and Breakfast - Homestay</td> <td data-bbox="1144 927 1382 1031">1 additional space per guest suite, with a minimum of 2 spaces provided on-site</td> </tr> <tr> <td data-bbox="907 1031 1144 1086">Display Home</td> <td data-bbox="1144 1031 1382 1086">2 spaces which may be provided in tandem</td> </tr> <tr> <td data-bbox="907 1086 1144 1173">Home Occupation</td> <td data-bbox="1144 1086 1382 1173">1 visitor space in addition to dwelling requirements</td> </tr> </table>	Aged Persons Home	1 space per 4 accommodation units; and 1 space per 6 nursing home beds; and 1 space per 2 employees; and visitor parking provided at 50% of the above parking requirements	Retirement Community	1 space per dwelling unit; and visitor car parking provided at 0.25 spaces per dwelling unit	Dwelling House, Terrace House and Duplex Dwelling	2 spaces per dwelling unit, with at least one space capable of being covered (parking spaces may be provided in tandem)	Bed and Breakfast - Homestay	1 additional space per guest suite, with a minimum of 2 spaces provided on-site	Display Home	2 spaces which may be provided in tandem	Home Occupation	1 visitor space in addition to dwelling requirements	
Aged Persons Home	1 space per 4 accommodation units; and 1 space per 6 nursing home beds; and 1 space per 2 employees; and visitor parking provided at 50% of the above parking requirements													
Retirement Community	1 space per dwelling unit; and visitor car parking provided at 0.25 spaces per dwelling unit													
Dwelling House, Terrace House and Duplex Dwelling	2 spaces per dwelling unit, with at least one space capable of being covered (parking spaces may be provided in tandem)													
Bed and Breakfast - Homestay	1 additional space per guest suite, with a minimum of 2 spaces provided on-site													
Display Home	2 spaces which may be provided in tandem													
Home Occupation	1 visitor space in addition to dwelling requirements													
<p><i>Specific Outcomes O7 – O11 are not applicable to development in Land Use Area 1.</i></p>	<p><i>Probable Solutions S7.1, S8.1, S9.1, S9.2, S10.1 – S10.3 and S11.1 are not applicable to development in Land Use Area 1.</i></p>	<p><i>Not applicable.</i></p>												

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Specific Outcome	Probable Solution	Site Development Plan Compliance
Energy Efficiency		
<i>Specific Outcomes O12 is not applicable to development in Land Use Area 1.</i>	<i>Probable Solution S12.1 – S12.3 are not applicable to development in Land Use Area 1.</i>	<i>Not applicable.</i>
Acid Sulfate Soils		
<p>O13 Development works are managed to avoid or minimise the release of acid and metal contaminants into the environment.</p>	<p>S13.1 The Development works do not disturb acid sulfate soils when undertaking excavation or filling works, or when extracting groundwater.</p> <p>S13.2 If acid sulfate soils or potential acid sulfate soils are disturbed by development works:-</p> <p>(a) the release of acid and metal contaminants into the environment is avoided by appropriate treatment and management of disturbed acid sulfate soils and drainage waters in accordance with the provisions of State Planning Policy 2/02 (or equivalent State Planning Policy in effect at the time of development); and</p> <p>(b) if the works involve excavation of more than 100m³ of soil or sediment, or more than 500m³ of filling, an acid sulfate soils management strategy outlining how the proposed works will comply with the required outcomes of State Planning Policy 2/02 (or equivalent State</p>	<p>An Acid Sulfate Soils Assessment will be undertaken as part of any subsequent development application for Operational Works, demonstrating compliance with the relevant Queensland State Planning Policy provisions, and the "Acid Sulfate Soil Desktop Review – Rules and Provisions Kawana Development Area" prepared by Golder Associates, dated May 2012.</p>

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Specific Outcome	Probable Solution	Site Development Plan Compliance
	Planning Policy in effect at the time of development) is prepared in conjunction with the Site Development Plan, and is reviewed by Council in conjunction with its assessment of the Site Development Plan.	
O14 Basements (where proposed) are designed and constructed as water excluding structure.	S14.1 No Probable Solution prescribed.	Compliance with these requirements to be determined by Private Certifier as part of Building Works assessment (where proposed).
Advertising Devices		
O15 Advertising Devices within the Detailed Planning Area: (a) are to compliment, or at least do not unreasonably detract from the desirable characteristics of the natural and built environment; (b) are designed and integrated so as to minimise visual clutter; and (c) are constructed to satisfactory standards of public safety.	S15.1 Permanent Advertising Devices are designed and located in accordance with Local Planning Policy PDLPP 7.0/01 – Siting and Design of Advertising Devices (Caloundra City Planning Scheme 1996). Assessment level to be determined by applicable Site Development Plan. S15.2 The location and design requirements of temporary Advertising Devices are to be identified in a subsequent Site Development Plan. Such advertising devices are limited to those advertising emerging developments within the Kawana Waters Master Planned area.	The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a range of signage options as being self-assessable, where designed in accordance with PDLPP 7.0/01 – Siting and Design of Advertising Devices. No temporary advertising devices are proposed as part of this Site Development Plan.
Acoustic Quality		
O16 Development is located, designed, constructed and operated to maintain appropriate levels of acoustic amenity	S16.1 The <i>Acoustic Quality Objectives</i> specified in Schedule 1 of the <i>Environmental Protection (Noise) Policy</i>	The development layout proposed by this Site Development Plan has been designed with regard to the acoustic amenity of future

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Specific Outcome	Probable Solution	Site Development Plan Compliance
for noise sensitive development.	2008 are achieved	residents, particularly as it relates to road traffic noise.
O17 Mitigation measures incorporated into noise sensitive development to ameliorate road traffic noise achieves appropriate internal and external noise levels.	<p>S17.1 Noise sensitive development is constructed in accordance with <i>Australian Standard AS3671-1989 Acoustics – Road traffic noise intrusion – building siting and construction</i> to achieve the satisfactory internal noise levels stipulated in <i>Australian Standard AS2107-2000 Acoustics – Recommended design sound levels and reverberation times for building interiors</i>.</p> <p>S17.2 Noise affected lots are identified on the applicable Site Development Plan.</p>	Maps 5C – 5E of this Site Development Plan identify Lots 144 – 153, 160, 179 – 182, 208, 209, 237 – 254, 271 – 277, 290 – 311, 319 – 321 as being Noise Affected Lots, thereby requiring compliance with AS3671 & AS2107 – 2000 in accordance with Development Control 15 on Map 4 (Setback Table & Development Controls) of this document.
<i>Specific Outcomes O18, O19, O20, O21 and O22 are not applicable to development in Land Use Area 1.</i>	<i>Probable Solutions S18.1, S18.2, S19.1, S20.1, S21.1, S22.1 and S22.2 are not applicable to development in Land Use Area 1.</i>	<i>Not applicable.</i>
Refuse Management		
<i>Specific Outcomes O23 is not applicable to development in Land Use Area 1.</i>	<i>Probable Solutions S23.1 is not applicable to development in Land Use Area 1</i>	<i>Not applicable.</i>
O24 Adequate provision is made for refuse collection for all lots.	S24.1 Lots that do not have a frontage readily serviceable by a refuse collection vehicle or have an irregular frontage are allocated concrete bin pads to enable ease of access by refuse collection vehicles.	Maps 5A – 5E (Site Development Plan) of this Site Development Plan identify indicative bin collection locations for each dwelling to demonstrate availability of access by refuse collection vehicles.

MASTER PLAN NO. 92 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 11 – PRECINCTS 1 – 4) 2015

Specific Outcome	Probable Solution	Site Development Plan Compliance
On-Street Car Parking		
O25 Development within Land Use Area 1 (Residential A) is designed to ensure that adequate provision is made for on-street car parking.	<p>S25.1 Residential A allotments are distributed such that on-street car parking is provided at a rate of 1 space per 2 dwellings.</p> <p>S25.2 On-street car parking is to be identified on the applicable Site Development Plan.</p>	Adequate on-street car parking will be available, as shown on Map 11 (On-Street Car Parking Provision Plan) of this document.

10.2 Urban Design Performance Criteria specific to Land Use Area 1 – Residential A

- 10.2.1 Compliance with the Specific Outcomes and Probable Solutions prescribed for Dwelling Houses, Duplex Dwellings and Terrace Houses in Section 5.2 of Master Plan No. 91 (Detailed Planning Area Plan – Detailed Planning Area 11 – Birtinya Island) 2014 is demonstrated on Maps 5A – 5E (Site Development Plan) of this document.

Specific Outcome	Probable Solution	Site Development Plan Compliance
Home Occupation		
O18 The premises is managed and operated as a bona fide working from home activity.	<p>S18.1 The Home Occupation is conducted within a Dwelling House or Duplex Dwelling or within another enclosed structure such as a shed or a garage on the same site.</p> <p>S18.2 An occupant of the dwelling house or Duplex Dwelling conducts the Home Occupation.</p> <p>S18.3 The conduct of the Home Occupation</p>	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Home Occupation as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>

MASTER PLAN NO. 92 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 11 – PRECINCTS 1 – 4) 2015

Specific Outcome	Probable Solution	Site Development Plan Compliance
	cannot include the employment of persons on the site other than the residents.	
O19 A Home Occupation is limited in size and scale so that the amenity of the existing neighbourhood is protected and the home based business remains ancillary to the residential use of the detached house.	S19.1 The total gross floor area used for the Home Occupation does not exceed 50m ² . S19.2 No more than 2 customers or clients are present at any one time and no more than 6 customers or clients are present in any one day.	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Home Occupation as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>
O20 The activities conducted on the premises are appropriate to a residential location.	S20.1 The Home Occupation does not interfere with the amenity of the neighbourhood from the operation of machinery or electrical equipment, or from light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, grit, oil, dust, waste water, waste products, electrical interference or otherwise. S20.2 There is no public display or offering for retail sale of goods on the premises. S20.3 Materials used or goods manufactured, serviced or repaired are stored within a building on the premises. S20.4 The Home Occupation does not involve any activity defined as an Environmentally Relevant Activity in the <i>Environmental Protection Regulation</i>	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Home Occupation as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>

MASTER PLAN NO. 92 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 11 – PRECINCTS 1 – 4) 2015

Specific Outcome	Probable Solution	Site Development Plan Compliance
	1998.	
O21 The Home Occupation is conducted within a building that has a predominantly residential amenity and character.	<p>S21.1 The external appearance and character of the dwelling house is not modified to accommodate the home based business.</p> <p>S21.2 The internal layout of the detached house:</p> <p>(a) is designed to enable the reversion of the home based business to a residential use without modification; or</p> <p>(b) is not modified to accommodate the home based business to the extent that it cannot be reverted back to a residential use without further works.</p>	<p>The Supplementary Table of Development Assessment provided in this Site Development Plan nominates a Home Occupation as being 'Permitted' (self-assessable), where designed and located in accordance with the Probable Solution.</p> <p>Where not in accordance with the Probable Solution, the use is 'Permitted Subject to Conditions' (i.e. Code Assessable) as identified in the Supplementary Table of Development Assessment.</p>
Display Home, Temporary House and Land Sales Office		
O22 Lots identified for Display Homes and Temporary House and Land Sales Offices are to be identified in a subsequent Site Development Plan.	S22.1 Site Development Plan is to demonstrate compliance with Part 4 Section 4.5 and Local Planning Policy PDLPP 4.5/01 – Display Homes (Caloundra City Planning Scheme 1996).	Not applicable to the development layout proposed by this Master Plan.

11.0 MAPS AND TABLES

This Site Development Plan comprises the following:

Maps

- Map 1 – Locality Plan
- Map 2 – Land Subject of Master Plan
- Map 3 – Dimensions Plan
- Map 3A – Dimensions Plan

MASTER PLAN NO. 92 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 11 – PRECINCTS 1 – 4) 2015

Map 3B – Dimensions Plan
Map 3C – Dimensions Plan
Map 3D – Dimensions Plan
Map 3E – Dimensions Plan
Map 4 – Setback Table & Development Controls
Map 5 – Site Development Plan
Map 5A – Site Development Plan
Map 5B – Site Development Plan
Map 5C – Site Development Plan
Map 5D – Site Development Plan Map 5E – Site Development Plan
Map 6 – Allotment Setback Requirements (Duplex Lots)
Map 7A – Allotment Setback Requirements
Map 7B – Allotment Setback Requirements
Map 8 – Allotment Setback Requirements (Diagram for Development Control 17)
Map 9A – Terrace Access Type – Terrace with Access off Street
Map 9B – Terrace Access Type – Terrace with Access off Street
Map 9C – Terrace Access Type – Terrace with Access off Street (Adjacent to Acoustic Fencing)
Map 9D – Terrace Access Type – Terrace with Access off Street (Adjacent to Acoustic Fencing)
Map 9E – Terrace Access Type – Terrace with Access off Rear Laneway
Map 10 – Pedestrian and Cycle Network
Map 11 – On-Street Car Parking Provision Plan
Map 12 – Urban Infrastructure – Water
Map 13 – Urban Infrastructure – Sewer
Map 14 – Urban Infrastructure – Stormwater Drainage
Map 15 – Consolidated SDP Plan
Map 15A – Consolidated SDP Plan
Map 15B – Consolidated SDP Plan
Map 15C – Consolidated SDP Plan
Map 15D – Consolidated SDP Plan
Map 15E – Consolidated SDP Plan

Tables

MASTER PLAN NO. 92 (SITE DEVELOPMENT PLAN – DETAILED PLANNING AREA 11 – PRECINCTS 1 – 4) 2015

Table 1 (Table of Development)

12.0 STATEMENT OF COMPLIANCE

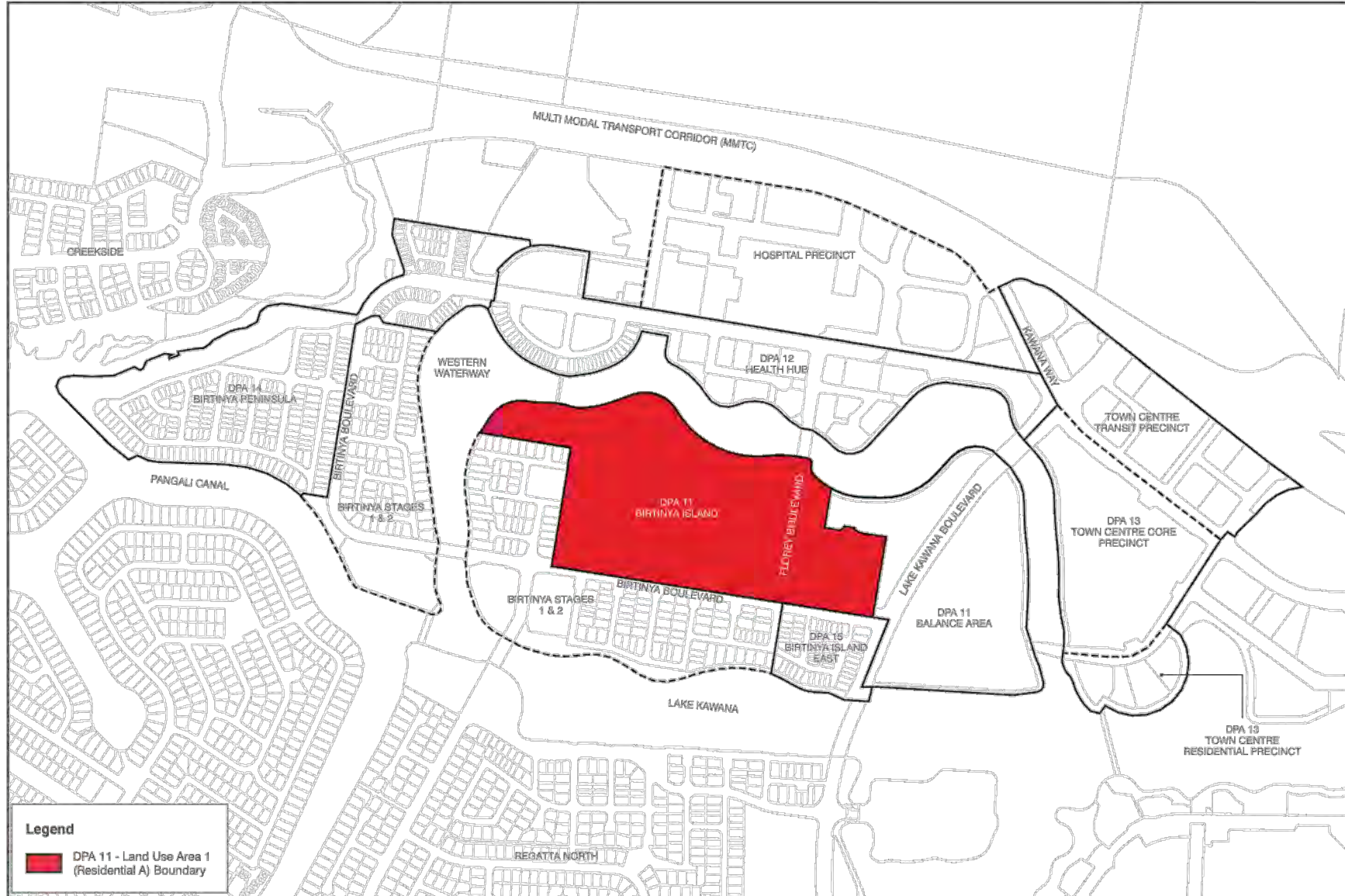
12.1 DCP 1 Requirements

The Site Development Plan must comply with:

- (a) the Structure Plan Maps;
- (b) approval of the Structure Plan;
- (c) the Planning Scheme including DCP 1;
- (d) the Development Agreement;
- (e) Development Lease No. 2;
- (f) the Transport Infrastructure Agreement;
- (g) the Hospital Infrastructure Agreement; and
- (h) Master Plan No. 91 (Detailed Planning Area Plan – Detailed Planning Area 11 – Birtinya Island) 2014.

13.0 INTERPRETATION RULES

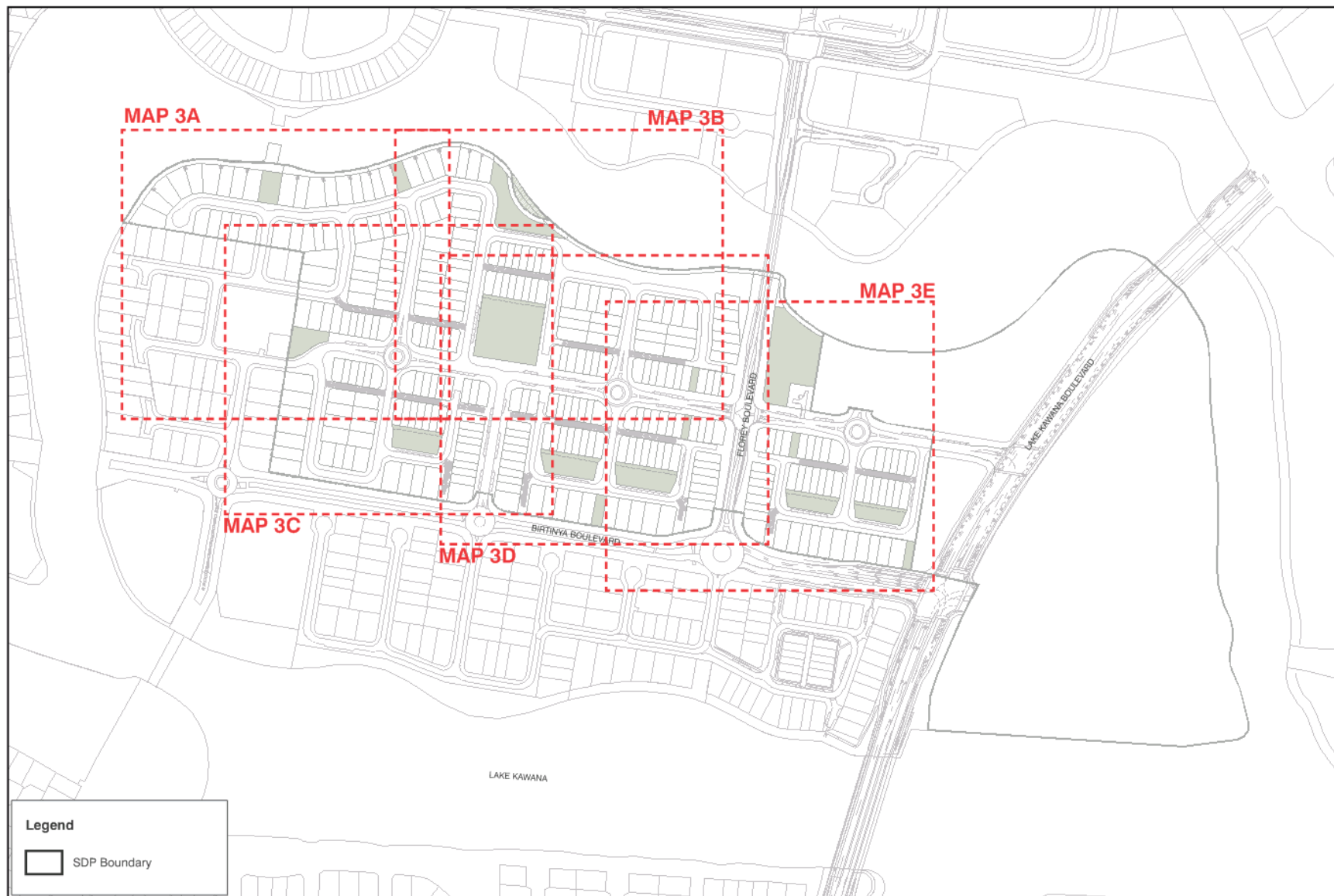
- 13.1 Terms used in this Site Development Plan have the meaning given in Part 9 (Meaning of Words and Interpretation) of the Caloundra Town Planning Scheme unless otherwise defined in this Site Development Plan.
- 13.2 Interpretation of words on terms used in this Site Development Plan are to be interpreted in accordance with Part 9 (Meaning of Works and Interpretation) of the Planning Scheme unless the context otherwise indicates or requires.
- 13.3 'Planning Scheme' – means the Planning Scheme of the City of Caloundra gazetted on 2 August 1996 (as amended).



MAP 1: LOCALITY PLAN



MAP 2: LAND SUBJECT OF MASTER PLAN



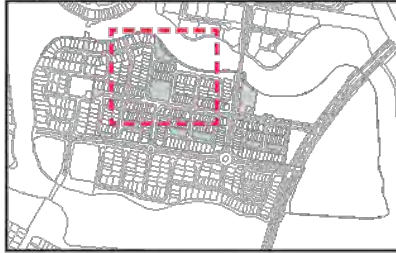
MAP 3: DIMENSIONS PLAN

SCALE 1:5000 0 50 100 150 200 250

CONTEXT DIAGRAM



CONTEXT DIAGRAM



CONTEXT DIAGRAM

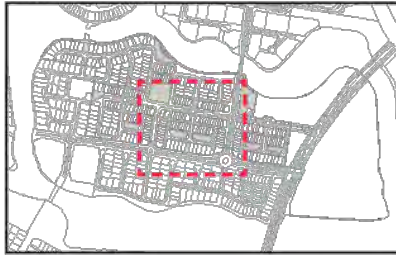


LEGEND

- SDP Boundary
- Park Space
- * Duplex Lot

MAP 3C: DIMENSIONS PLAN

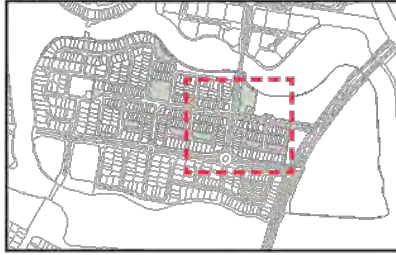
CONTEXT DIAGRAM



LEGEND
 — SDP Boundary
 ■ Park Space

MAP 3D: DIMENSIONS PLAN

CONTEXT DIAGRAM



**ALLOTMENT SETBACKS TABLE
 (Terrace & Semi-Detached Terrace)**

Allotment Type	Terrace	Semi-Detached Terrace	
		Less than 12.5m wide	Greater than 12.5m wide
Allotment Width	12.5m wide	12.5m wide	12.5m wide
TERRACES WITH VEHICULAR ACCESS FROM LANEWAY			
Setback to Laneway	First Storey	1.0m ¹	
	Second & Third Storeys (Projections & Balconies)	0.0m	
Setback to Frontage other than an Laneway (i.e. Collector St or park space)	First Storey	3.0m where POS centrally located; <u>OR</u>	
		4.0m where POS located at street frontage or park edge	
	Second & Third Storeys ² (projections & balconies)	2.0m where POS centrally located; <u>OR</u>	3.0m where POS located at street frontage
TERRACES WITH VEHICULAR ACCESS FROM ACCESS STREET			
Setback to Access Street	Garage & First Storey	5.5m	
	Second & Third Storeys (Projections & Balconies)	3.0m	
Setback to Collector Street	First Storey	3.0m where POS centrally located; <u>OR</u>	
		4.0m where POS located at primary street frontage	
	Second & Third Storeys ² (Projections & Balconies)	2.0m where POS centrally located; <u>OR</u>	3.0m where POS located at primary street frontage
GENERAL PROVISIONS APPLICABLE TO ALL TERRACES			
Side Setback	Built to Boundary - First Storey (mandatory)	0.0m ³	0.0m ³
	Built to Boundary - Second & Third Storeys (non-mandatory)	0.0m ⁴	0.0m ⁴
	Non-built to Boundary Wall	N/A	1.5m
Corner Lots (excludes lots siding onto driveways or link parks)	N/A	2.0m	
Minimum building height	2 storeys ⁵		
Maximum building height	3 storeys		
Private Open Space (POS)	Where located at primary frontage	16m ² with a minimum dimension of 4m	
	Where located centrally in the building envelope	16m ² with a minimum dimension of 3m	

¹ Terraces accessed from a laneway are to have a 5.5m setback to garage where a single garage provided.
² Projections from the second and third storeys can extend to 1.5m from the lot boundary at the primary frontage, as per Development Control 5.
³ Up to 80% of the property boundary in length.
⁴ Minimum second / third storey built form to be minimum 50% of the lot width.
⁵ Single storey terraces are permitted in the locations nominated on Maps 5A-5D of this Site Development Plan.

**ALLOTMENT SETBACKS TABLE
 (Detached)**

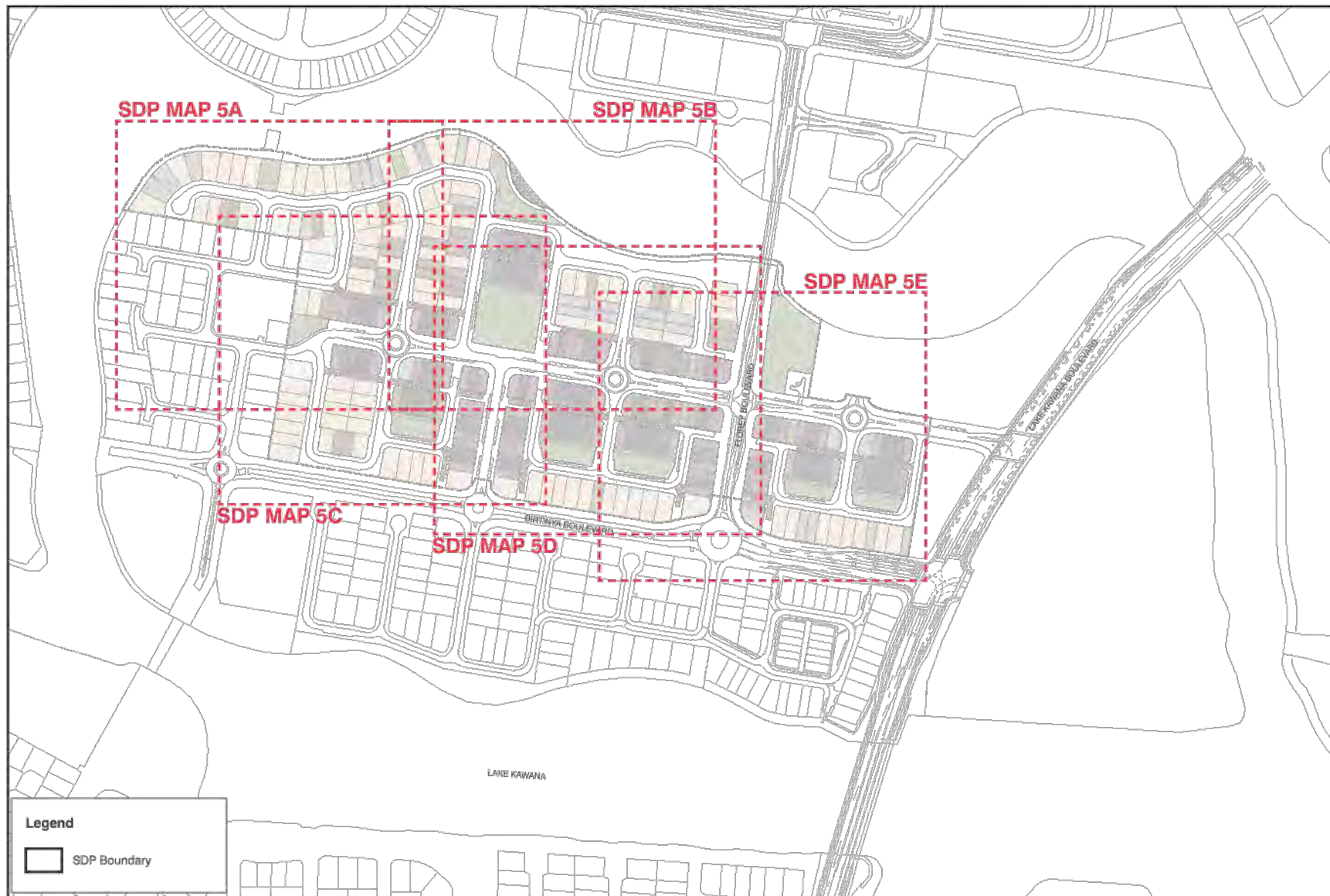
Allotment Type	Allotment Width (Frontage)	Detached		
		Less than 12.5m wide	12.5m wide	Greater than 12.5m wide
FRONT SETBACKS				
Front Setback Primary frontage	To Habitable Room	3.0m	3.0m	3.0m
	To Garage Door	5.5m	5.5m	5.5m
	Second & Third Storeys (Projections / balconies)	3.0m	3.0m	3.0m
REAR SETBACKS				
Rear Setback (to Habitable Room)	First Storey	1.5m	1.5m	1.5m
	Second & Third Storeys	3.0m	3.0m	3.0m
Rear Setback (to Western Waterway)	All Storeys	4.5m	4.5m	4.5m
SIDE SETBACKS				
Side Setback Built to Boundary (Mandatory)	First Storey	0.0m ¹	0.0m ¹	N/A
	Second & Third Storeys	0.0m ²	0.0m ²	N/A
Side Setback Built to Boundary (Optional)	First Storey	N/A	N/A	0.0m ¹
	Second & Third Storeys	N/A	N/A	0.0m ²
Side Setback Non-built to boundary wall (includes setbacks to laneway)	All Storeys	1.0m	1.0m	1.0m
Side Setback on Corner Lots Secondary Frontage or Adjacent Parkspace	All Storeys	2.0m	2.0m	2.0m
GARAGES AND SITE COVER				
Minimum Building Height	1 storey unless otherwise nominated as being a mandatory minimum 2 storeys by this Site Development Plan			
Maximum Building Height	3 storeys (unless nominated as having a maximum height of 2 storeys by this Site Development Plan).			
Site Cover	60%	60%	60%	
Private Open Space (POS)	16m ²	16m ²	16m ²	

¹ Up to 15m in length or 50% of the property boundary whichever is greater.
² Up to 7.5m in length. Must be located at the front of the dwelling and above a ground floor built to boundary wall.
Note:
 • For corner lots the front boundary is determined to be the boundary with the shortest length.

DEVELOPMENT CONTROLS

- Setbacks are as per the Allotment Setbacks Table unless dimensioned otherwise.
- Where optional built to boundary walls are not adopted, side boundary setbacks shall be in accordance with the Allotment Setbacks Table for non-built to boundary walls.
- For all terrace lots, buildings must ensure the provision of natural light and ventilation to core living areas.
- Terrace lots with an east-west orientation and a building length exceeding 8m must ensure the provision of natural light and ventilation by either:
 - Centrally located Private Open Space (POS) areas that have direct access from living areas at ground level; or
 - The use of building offsets and openings such as light wells or similar, that are open to the sky and service core living areas.
- For terrace allotments, the primary street frontage elevation is to be articulated. Second & third storey levels can protrude to 1.5m from the front lot boundary.
- Setbacks are measured to the wall of the building/structure. Eaves should not encroach closer than 450mm to the lot boundary.
- Entrance porches may be located closer to the property boundary than stated in the allotment setbacks table, provided that the porch is located not less than 1m from the front property boundary, the height of the porch does not exceed 4.5m, the porch remains open and not enclosed and the width of the porch is limited to the front entry area only.
- All garages are to be accessed via a single width driveway across the verge which is a maximum width of 2.5 metres at the kerb line and 4.0 metres at the property boundary.
- Private open space is provided at ground level, that:
 - is at least 16m² in size (excluding rainwater tanks)
 - has no dimension less than 4.0m, unless provided centrally within a terrace, in which case a minimum dimension of 3.0m is permitted; and
 - enables access from a living area of the house.
- All clothes drying and rubbish storage areas are to be screened from the street, laneway and public open spaces.
- Front Fencing / wall heights do not exceed:
 - 1.8m if 50% transparent;
 - 1.2m if solid.
- Rear, side, and secondary frontage (i.e. corner lots) fencing to be between 1.5m-1.8m in height.
- Any fencing adjacent to the walkable waterfront, and park areas must be a maximum 1.2m high and minimum 60% transparency.
- Each dwelling sited on an allotment (other than a terrace lot) is to provide sufficient distinction in design and materials, such as to be clearly distinguishable from a neighbouring dwelling and thereby create an individual and recognisable street address. Adjoining terraces should demonstrate a cohesive and complementary approach to facade form and materials.
- Noise affected allotments are to be developed in accordance with AS9671-1989 "Acoustics – Road traffic noise intrusion – building siting and construction" to achieve the satisfactory internal noise levels stipulated in AS2107-2000 "Acoustics – Recommended design sound levels and reverberation times for building interiors".
- A minimum 2 car spaces are to be provided per dwelling, with at least 1 space capable of being covered (parking spaces may be provided in tandem).
- Lots with a frontage less than 12.5m are only permitted double garages where the second storey extends over the garage towards the street frontage by a minimum of 1.0m for a minimum width of 50% of the garage width (as shown in Map 8).
- Driveways are to have a maximum setback of 0.6m from the side boundary where located on the built to boundary wall side, or 1m when located on the non-built to boundary wall side.
- Built to boundary walls:
 - comply with building design and construction requirements under the Building Code of Australia (where two or more dwellings are constructed at the same time they may share a common boundary wall); and
 - contain no windows or openings to the side boundary
- Sub-tropical design elements are incorporated into the design of dwellings, including but not limited to:
 - maximising natural light and cross-ventilation
 - providing fixed and adjustable sun shading devices to control direct solar access
 - providing roof eave overhangs to wells, well openings and balconies
- First storey windows and openings are to be screened by fencing (for side and rear boundaries only). For levels above the first storey, privacy screening is required on windows or openings of habitable rooms where those windows or openings are within 2m of a side boundary. Suitable screening includes:
 - fixed obscure glazing in any part of the window below 1.5m above floor level; or
 - fixed external screens; or
 - all heights of 1.5m above floor level.
- The design of dwellings on Terrace and Semi-Detached Terrace lots is to incorporate an area for deep planting with a minimum area of 3m², exclusive of the minimum areas required for private open space.
- Dwellings are to be constructed to a minimum 2 storeys where situated on a lot with a notation in this Site Development Plan stating 'Mandatory minimum 2 storey dwelling'.
- A minimum 1.5m rear boundary setback, measured from the back of retaining wall, is to be provided to all structures (including pools) located adjacent to the walkable waterfront. All structures shall be founded a minimum of 300mm below the zone of influence of the retaining wall and shall be designed such they do not impose any lateral load on the retaining wall.
- Buildings and other structures (including swimming pools) are to ensure the structural integrity of retaining walls is maintained.
- In instances where terraces are developed in a row where a single storey outcome is permitted, a consistent building height is to be applied to each dwelling (i.e. either all single storey or double storey terrace dwellings).

MAP 4: SETBACK TABLE & DEVELOPMENT CONTROLS

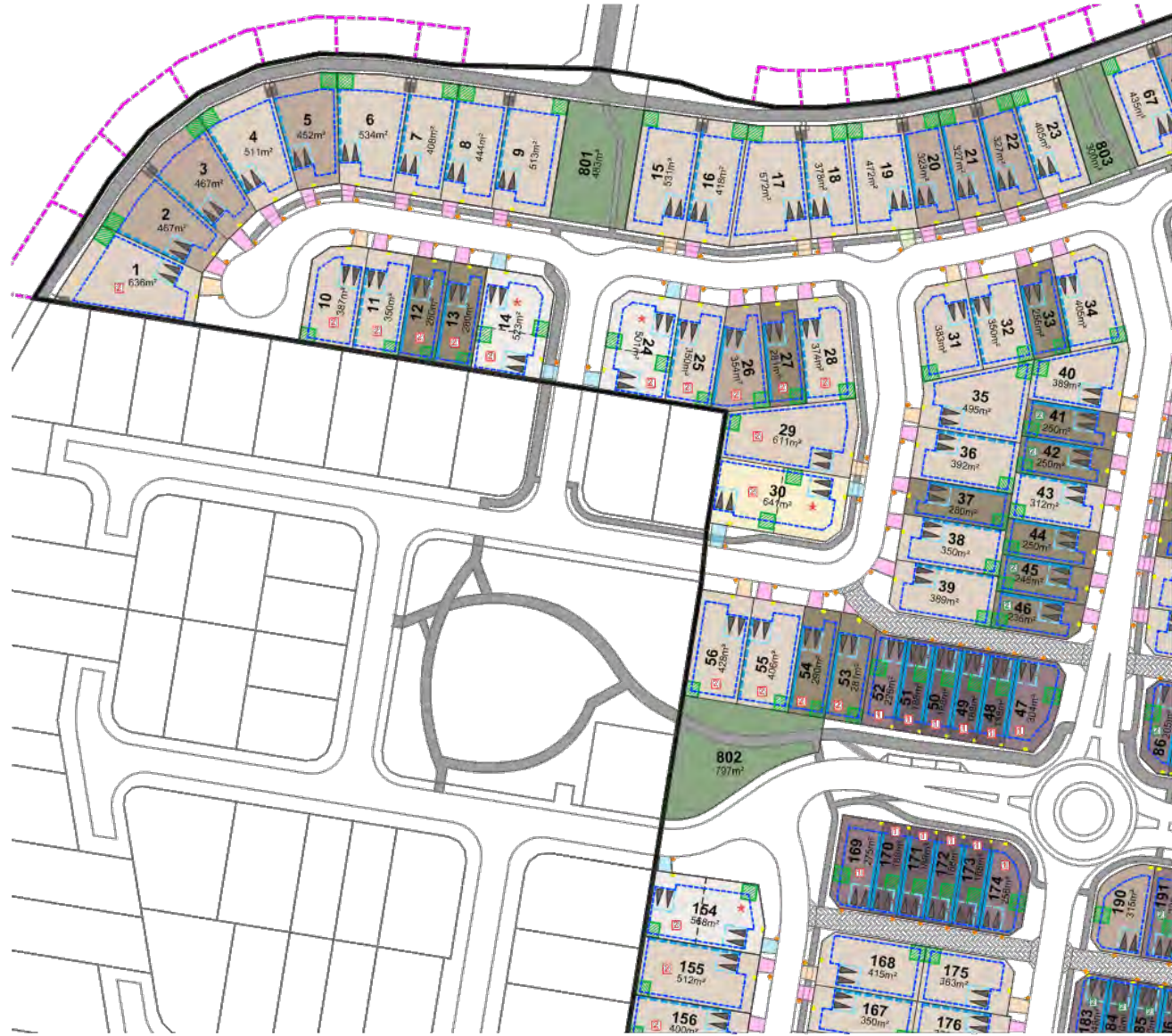


CONTEXT DIAGRAM



LEGEND

- SDP Boundary
- Proposed Pedestrian or Shared Pathway
- Park Space / Public Space
- Private pedestrian access from walkable waterfront to lot via staircase - design detail to be developed in the OPW phase
- Proposed Quay Line
- Lot Development Controls**
 - Maximum Building Envelope
 - Optional Built to Boundary Wall
 - Mandatory Built to Boundary Wall
 - Preferred Location of Garage
 - Indicative Location of Private Open Space
 - Indicative Location of Bin Collection
 - Indicative Location of Letterbox
 - Duplex lot
 - Single Storey Terraces and Semi-Detached Terraces Permitted
 - Maximum 2 Storey Dwelling
 - Mandatory Minimum 2 Storey Dwelling
- Driveway Locations**
 - Driveway and garage siting that must be located adjacent to the built to boundary walls
 - Driveway and garage siting on lots where there is no built to boundary wall
 - Driveway and garage siting where infrastructure constraints determine their location
 - Driveway to duplex lot
- Lot Classification**
 - Terrace Lots (7.5m wide or less)
 - Semi Detached Terrace Lots (9.0m wide or less - min. 7.5m wide building envelope)
 - Detached Lots less than 300m² (frontage greater than 8.5m wide)
 - Detached Lots 300m² or larger (frontage greater than 8.5m wide and less than 12.5m)
 - Lots 300m² and larger (frontage 12.5m or greater)
 - Duplex lot



MAP 5A: SITE DEVELOPMENT PLAN

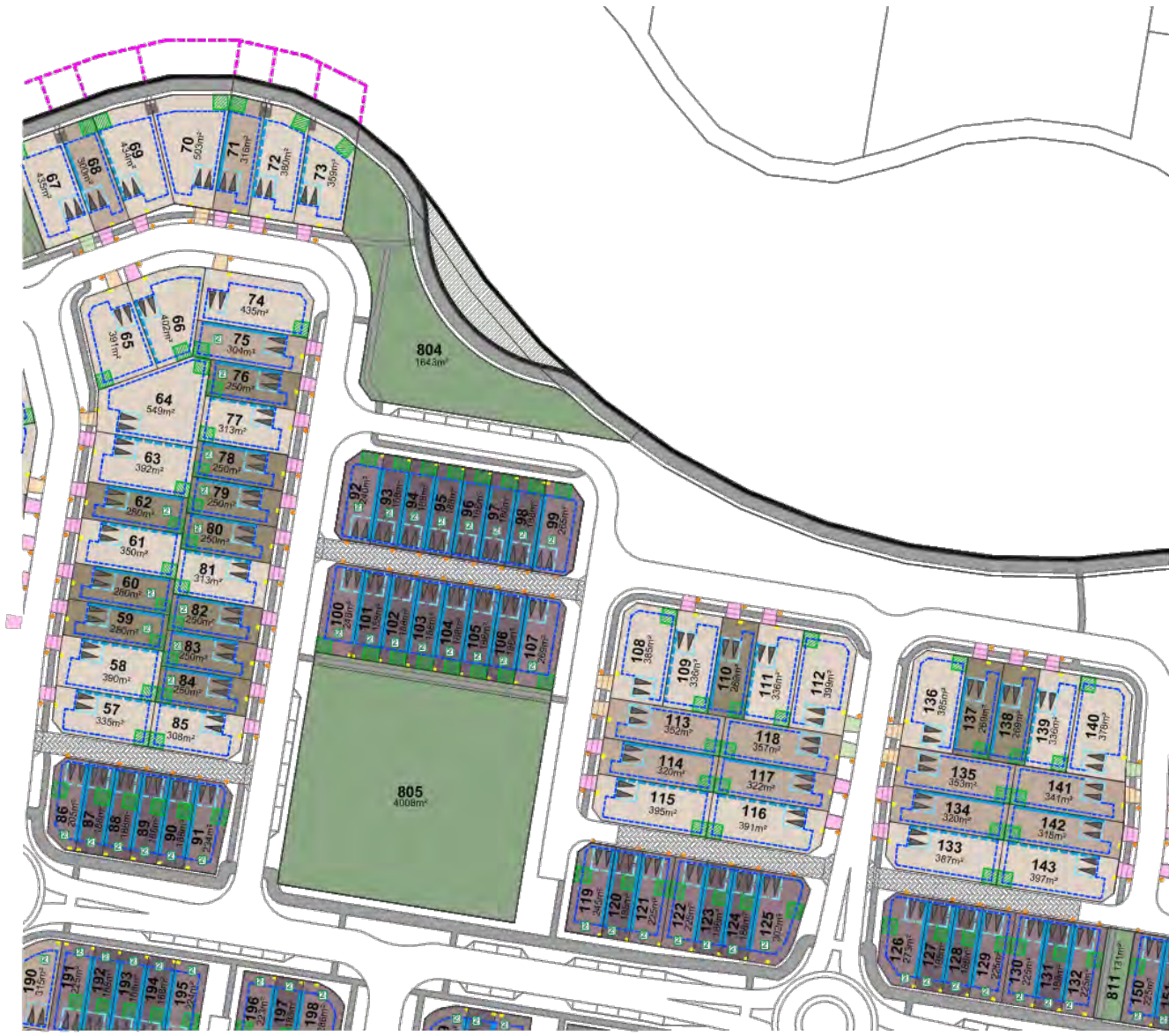


CONTEXT DIAGRAM



LEGEND

- SDP Boundary
- Proposed Pedestrian or Shared Pathway
- Park Space / Public Space
- Proposed Soft Edge Area - Sandy Beach
- Private pedestrian access from walkable waterfront to lot via staircase - design detail to be developed in the OPW phase
- Proposed Quay Line
- Lot Development Controls**
 - Maximum Building Envelope
 - Optional Built to Boundary Wall
 - Mandatory Built to Boundary Wall
 - Preferred Location of Garage
 - Indicative Location of Private Open Space
 - Indicative Location of Bin Collection
 - Indicative Location of Letterbox
 - Mandatory Minimum 2 Storey Dwelling
- Driveway Locations**
 - Driveway and garage siting that must be located adjacent to the built to boundary walls
 - Driveway and garage siting where infrastructure constraints determines their location
 - Driveway and garage siting to terrace lot
 - Driveway and garage siting on lots where there is no built to boundary wall
- Lot Classification**
 - Terrace Lots (7.5m wide or less)
 - Semi Detached Terrace Lots (9.0m wide or less - min. 7.5m wide building envelope)
 - Detached Lots less than 300m² (frontage greater than 8.5m wide)
 - Detached Lots 300m² or larger (frontage greater than 8.5m wide and less than 12.5m)
 - Lots 300m² and larger (frontage 12.5m or greater)



MAP 5B: SITE DEVELOPMENT PLAN



CONTEXT DIAGRAM



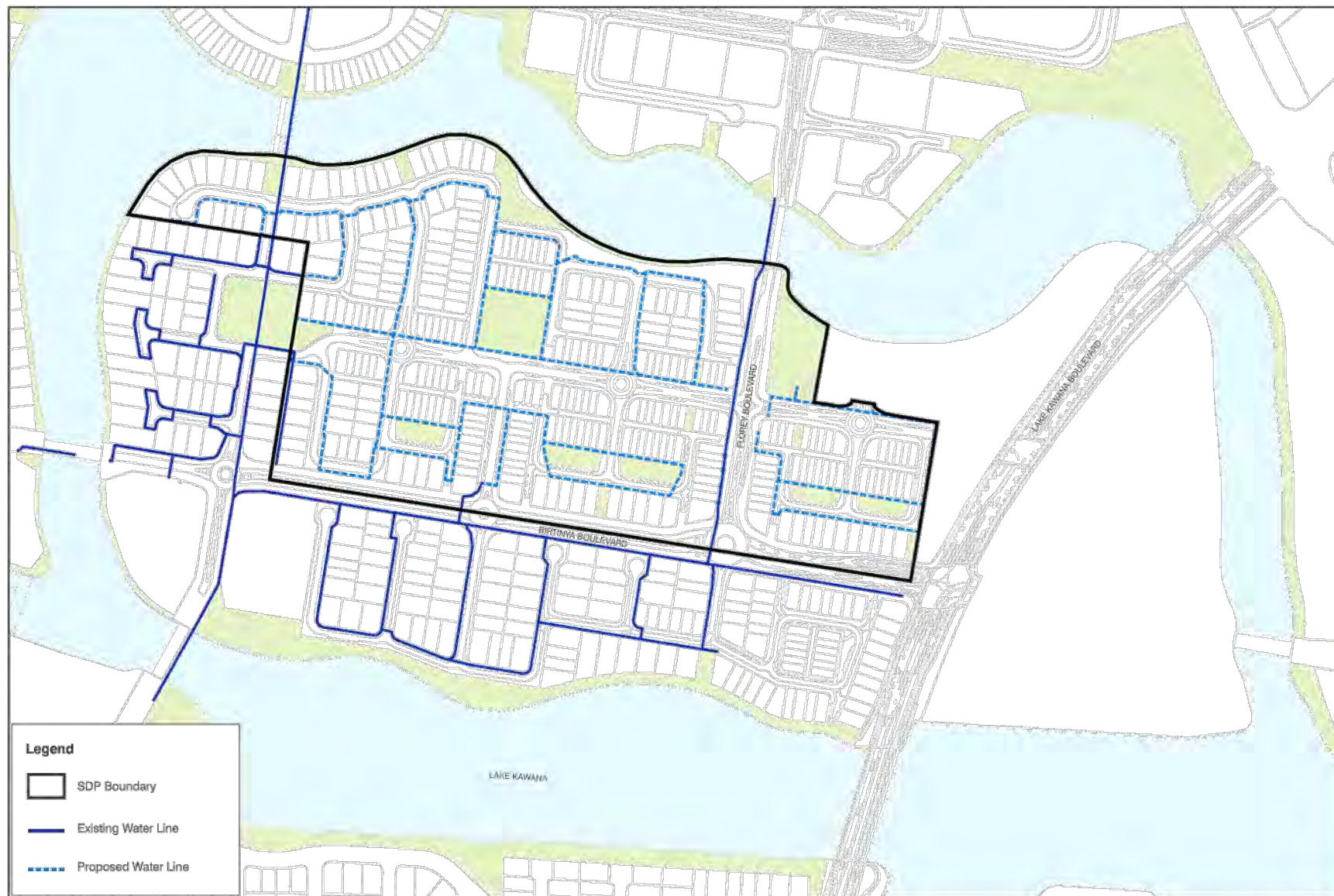
LEGEND

- SDP Boundary
- Proposed Pedestrian or Shared Pathway
- Park Space / Public Space
- Lot Development Controls**
- Maximum Building Envelope
- Optional Built to Boundary Wall
- Mandatory Built to Boundary Wall
- Preferred Location of Garage
- Indicative Location of Private Open Space
- Indicative Location of Bin Collection
- Indicative Location of Letterbox
- Noise Affected Lots
- Duplex lot
- Developer Fencing
- Single Storey Terraces and Semi-Detached Terraces Permitted
- Maximum 2 Storey Dwelling
- Mandatory Minimum 2 Storey Dwelling
- Driveway Locations**
- Driveway and garage siting that must be located adjacent to the built to boundary walls
- Driveway and garage siting where infrastructure constraints determine their location
- Driveway and garage siting to terrace lot
- Driveway and garage siting on lots where there is no built to boundary wall
- Driveway to duplex lot
- Lot Classification**
- Terrace Lots (7.5m wide or less)
- Semi Detached Terrace Lots (9.0m wide or less - min. 7.5m wide building envelope)
- Detached Lots less than 300m² (frontage greater than 8.5m wide)
- Detached Lots 300m² or larger (frontage greater than 8.5m wide and less than 12.5m)
- Lots 300m² and larger (frontage 12.5m or greater)
- Duplex lot



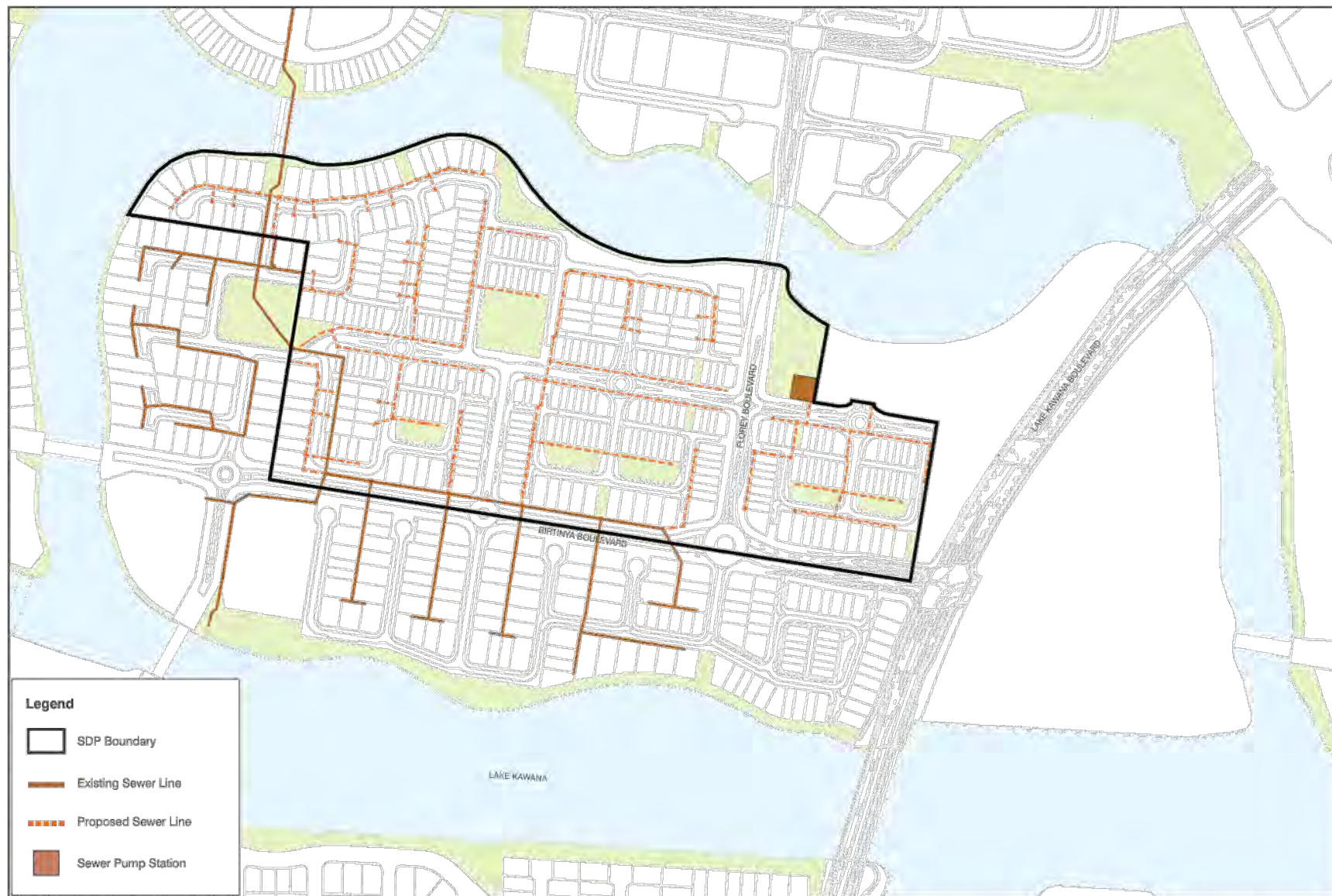
MAP 5C: SITE DEVELOPMENT PLAN





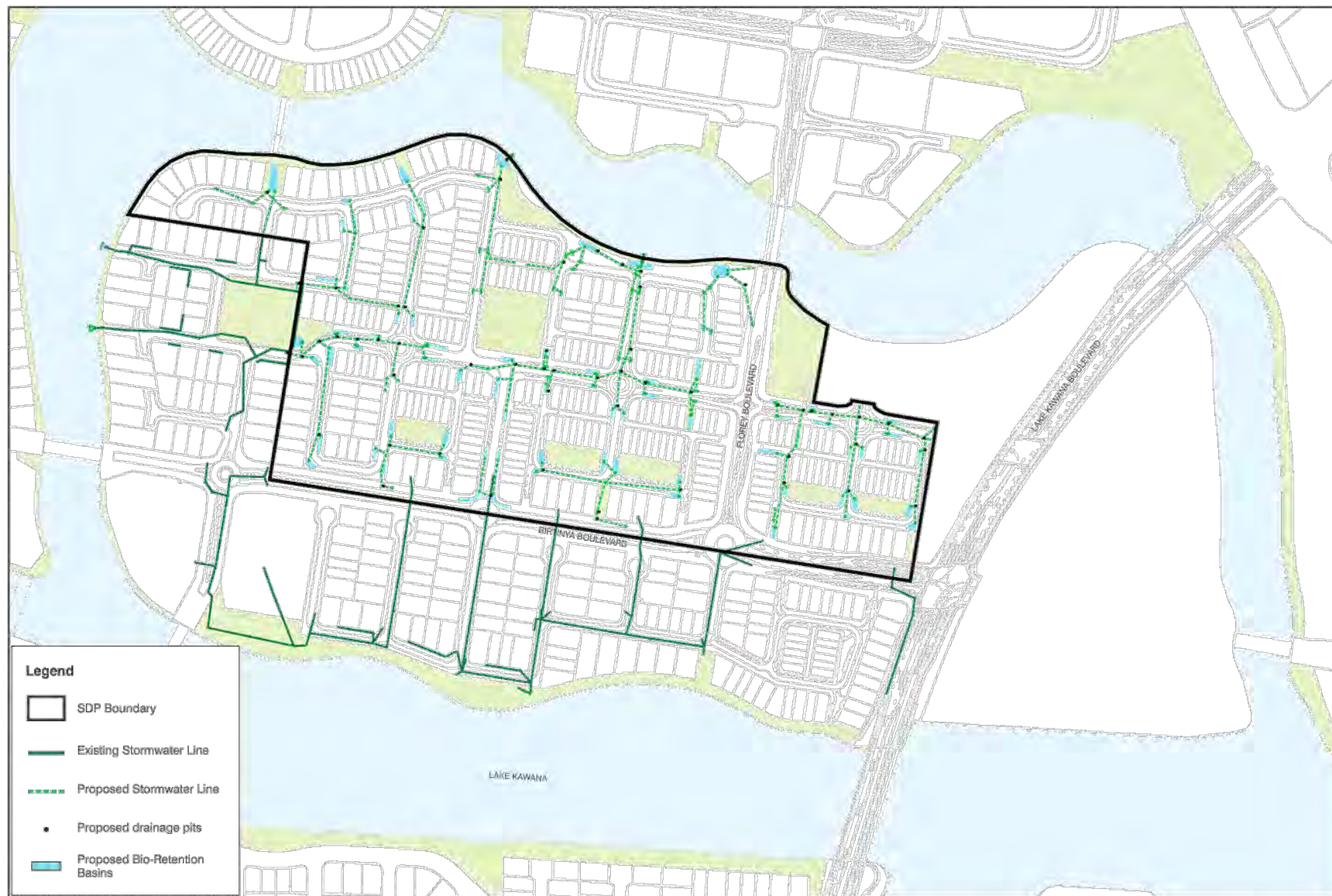
MAP 12: URBAN INFRASTRUCTURE - WATER

SCALE 1:5000 0 50 100 150 200 250



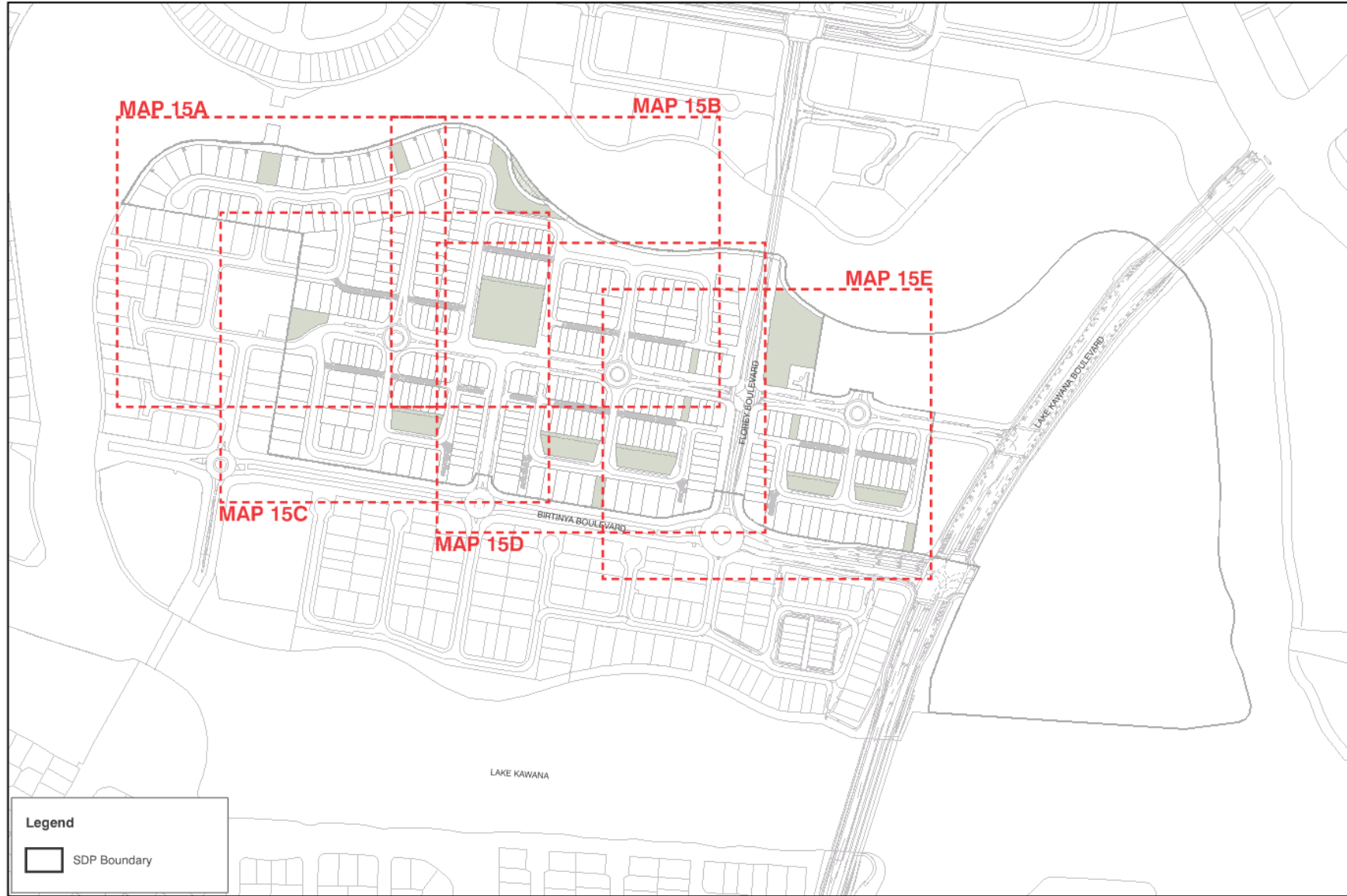
MAP 13: URBAN INFRASTRUCTURE - SEWER

SCALE 1:5000 0 50 100 150 200 250



MAP 14: URBAN INFRASTRUCTURE - STORMWATER DRAINAGE

SCALE 1:5000 0 50 100 150 200 250



MAP 15: CONSOLIDATED SDP PLAN

SCALE 1:5000 0 50 100 150 200 250

CONTEXT DIAGRAM



Legend

- SDP Boundary
- Indicative Location of Street Trees
- 1 tree / 1 lot
(Refer Future OPW Landscape Plans)
- Parkspace
- Pedestrian Pathways
- Proposed Bio-Retention Basins
- Indicative Driveway Location
- Proposed Laneway
- Indicative Street Car Parking Location
- Proposed Sewer Line
- Proposed Water Line
- Proposed Stormwater Line
- Duplex Lot
- Feature roundabout planting
- Laneway entry feature planting
- Indicative street light pole locations

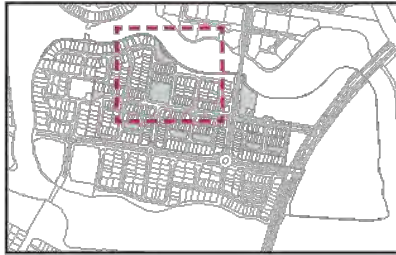
NOTE:
 THESE PLANS ARE ILLUSTRATIVE AND INDICATIVE AND ARE TO BE
 USED AS INTENT PLANS ONLY. REFER PLANS IN THE FUTURE OPW
 PACKAGE FOR FURTHER DETAIL.

MAP 15A: CONSOLIDATED SDP PLAN



GRAPHIC SCALE 1:1000 0 10 20 30 40 50 60 70 80 90 100

CONTEXT DIAGRAM



Legend

-  SDP Boundary
-  Indicative Location of Street Trees
- 1 tree / 1 lot
(Refer Future OPW Landscape Plans)
-  Parkspace
-  Pedestrian Pathways
-  Proposed Bio-Retention Basins
-  Indicative Driveway Location
-  Proposed Laneway
-  Indicative Street Car Parking Location
-  Proposed Sewer Line
-  Proposed Water Line
-  Proposed Stormwater Line
-  Feature roundabout planting
-  Laneway entry feature planting
-  Indicative street light pole locations

NOTE:
 THESE PLANS ARE ILLUSTRATIVE AND INDICATIVE AND ARE TO BE
 USED AS INTENT PLANS ONLY. REFER PLANS IN THE FUTURE OPW
 PACKAGE FOR FURTHER DETAIL.

MAP 15B: CONSOLIDATED SDP PLAN



CONTEXT DIAGRAM



Legend

- SDP Boundary
- Indicative Location of Street Trees
- 1 tree / 1 lot
(Refer Future OPW Landscape Plans)
- Parksapce
- Pedestrian Pathways
- Proposed Bio-Retention Basins
- Indicative Driveway Location
- Proposed Laneway
- Indicative Street Car Parking Location
- Proposed Sewer Line
- Proposed Water Line
- Proposed Stormwater Line
- Duplex Lot
- Feature roundabout planting
- Laneway entry feature planting
- Indicative street light pole locations

NOTE:
 THESE PLANS ARE ILLUSTRATIVE AND INDICATIVE AND ARE TO BE
 USED AS INTENT PLANS ONLY. REFER PLANS IN THE FUTURE OPW
 PACKAGE FOR FURTHER DETAIL.

MAP 15C: CONSOLIDATED SDP PLAN



GRAPHIC SCALE 1:1000m

CONTEXT DIAGRAM



Legend

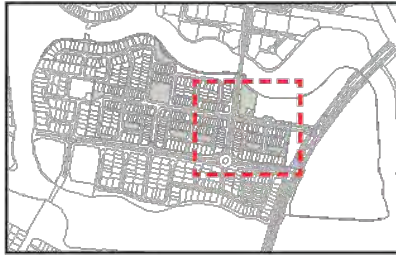
- SDP Boundary
- Indicative Location of Street Trees
- 1 tree / 1 lot
(Refer Future OPW Landscape Plans)
- Parkspace
- Pedestrian Pathways
- Proposed Bio-Retention Basins
- Indicative Driveway Location
- Proposed Laneway
- Indicative Street Car Parking Location
- Proposed Sewer Line
- Proposed Water Line
- Proposed Stormwater Line
- Feature roundabout planting
- Laneway entry feature planting
- Indicative street light pole locations

NOTE:
 THESE PLANS ARE ILLUSTRATIVE AND INDICATIVE AND ARE TO BE
 USED AS INTENT PLANS ONLY. REFER PLANS IN THE FUTURE OPW
 PACKAGE FOR FURTHER DETAIL.

MAP 15D: CONSOLIDATED SDP PLAN



CONTEXT DIAGRAM



Legend

- SDP Boundary
- Indicative Location of Street Trees
- 1 tree / 1 lot
(Refer Future OPW Landscape Plans)
- Parksapce
- Pedestrian Pathways
- Proposed Bio-Retention Basins
- Indicative Driveway Location
- Proposed Laneway
- Indicative Street Car Parking Location
- Proposed Sewer Line
- Proposed Water Line
- Proposed Stormwater Line
- Feature roundabout planting
- Laneway entry feature planting
- Indicative street light pole locations

NOTE:
 THESE PLANS ARE ILLUSTRATING AND INDICATIVE AND ARE TO BE
 USED AS INTENT PLANS ONLY. REFER PLANS IN THE FUTURE OPW
 PACKAGE FOR FURTHER DETAIL.

MAP 15E: CONSOLIDATED SDP PLAN

