

Late Agenda

Ordinary Meeting

Thursday, 19 May 2016

commencing at 9:00am

Council Chambers, 1 Omrah Avenue, Caloundra

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8 REPORTS DIRECT TO COUNCIL**8.4 COMMUNITY SERVICES****8.4.2 SCOPING STUDY AND FACILITY DESIGN FOR A MULTI – USE FACILITY AT NAMBOUR SHOWGROUNDS**

File No:	Statutory meetings
Author:	Manager Community Facilities & Planning Community Services Department
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PURPOSE

The purpose of this report is to present to Council the outcomes of the *Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds*. The commissioning of this work was an outcome of the *Nambour Showgrounds Master Plan 2013-2023*.

EXECUTIVE SUMMARY

The development of a new multi-purpose events facility was included in the *Nambour Showgrounds Master Plan 2013-2023* adopted by Council in November 2013.

Subsequently, in 2015 a study was commissioned by Council to undertake a scoping and design study for the proposed new multi-purpose facility, the intent of which would:

- replace the existing main pavilion at the Nambour Showgrounds;
- accommodate a greater range of displays, functions, events and meetings at the Nambour Showgrounds; and
- consider the incorporation of a commercial kitchen, air-conditioned display space, central administration, event office and secure money-handling area for event organisers, meeting rooms, storage and amenities and provision for visitor parking.

The study that is now being presented to Council for consideration provided analysis on:

- Site issues, opportunities and constraints;
- Needs and demands;
- Trends and benchmarking results;
- Preliminary conceptual plans for the multi-use facility (including images);
- Preliminary costings for the proposed facility;
- Financial modelling for the facility, which considers the following components:
 - Fixed operational costs
 - Variable operational costs
 - Revenues
 - Cashflow projections;
- A cost-benefit analysis that details the impacts the development may have across economic, environmental and social aspects;
- A prioritised implementation plan for action;
- Staging plan which indicates the proposed timing of the project, and any requirements for staging; and
- Suitable management options for the complex.

Whilst the scoping and facility design study did deliver a conceptual design for a new multi-purpose facility, demand analysis undertaken during the study has indicated a low additional demand for such a facility.

As outlined further in the body of this report, for this process to continue a detailed design of the building is required at a cost of \$350,000. This amount is not currently included in Council's draft capital works budget 2016/17.

Overall, the cost estimate for the construction element of the project is projected to be \$5.12 million.

OFFICER RECOMMENDATION

That Council receive and note the report titled "Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds".

FINANCE AND RESOURCING

The indicative capital cost of the facility is \$4.81 million +GST. This includes demolition of the existing Main Pavilion, but excludes air-conditioning of the main floor area in the new building. If air-conditioning of this space is included the additional cost is estimated at \$315,000 +GST, making a total indicative capital cost of \$5.12 million +GST.

The concept plans and indicative capital cost estimates allow for the staging of the upper and lower levels of the building. A detailed breakdown of indicative capital costs and assumptions is outlined in the attached study.

The study also identifies that the facility is likely to incur an operating loss of \$85,600 per annum in addition to the existing Nambour Showgrounds operational deficit.

Council's Major Projects Delivery team have advised that to undertake a detailed design for this project an amount of \$350,000 will be required.

It should be noted that there is currently no allocation in Council's future capital works budget for the delivery of this project. This facility would not be eligible for funding under Council's Local Government Infrastructure Program (LGIP) and funding for construction would need to be provided from Council's general rates and / or through external grant funding opportunities.

The study also identifies that the facility is likely to incur an operating loss of \$85,600 per annum in addition to the existing Nambour Showgrounds operational deficit.

CORPORATE PLAN

Corporate Plan Goal: *A strong community*

Outcome: 2.1 - Safe and healthy communities

Operational Activity: 2.1.3.2 - Implement prioritised projects from community facility master plans

CONSULTATION

Internal Consultation

Internal consultation occurred throughout the development of the *Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds* with the following internal stakeholders:

- Councillor Greg Rogerson (Division 10 Councillor)
- Councillor Jenny McKay (Division 5 Councillor)
- Community Facilities and Planning
- Development Services
- Economic Development
- Project Delivery
- Property Management

External Consultation

A range of groups, individuals and other stakeholders were consulted to identify potential usage, facility requirements and pricing considerations for the proposed multi-use facility. These included:

- resident user groups of Nambour Showgrounds
- managers of major events at Nambour Showgrounds
- event promoters
- tourism bodies
- potential user groups (from previous hirer enquiries)
- venue managers within local catchment and
- managers of other large Showgrounds (for benchmarking purposes).

Consultation indicated that although existing usage of the existing Main Pavilion would transfer to the new multi-use facility, very little additional use was identified. Existing major event holders or users also indicated a high degree of price sensitivity over any new use.

Community Engagement

Questionnaires were sent to 196 community and sporting organisations and 22 schools within the catchment area to ascertain their satisfaction with existing indoor facilities, likelihood of use of a multi-use facility at the Showgrounds, type/ frequency of use, design and pricing considerations. 39 responses were received. 24 respondents indicated they currently access an indoor facility for events, functions or displays. The vast majority (22) indicated they are satisfied or very satisfied with their existing venue.

PROPOSAL

The development of a new multi-purpose events facility was included in the *Nambour Showgrounds Master Plan 2013-2023* adopted by Council in November 2013. In 2015 a scoping and design study for the proposed new multi-purpose facility was undertaken, the intent of which was to:

- Replace the existing main pavilion at the Nambour Showgrounds
- accommodate a greater range of displays, functions, events and meetings at the Nambour Showgrounds and
- consider the incorporation of a commercial kitchen, air-conditioned display space, central administration (relocated from Nicklin House), event office and secure money-handling area for event organisers, meeting rooms, storage and amenities and provision for visitor parking

The deliverables outlined in the brief included:

- a Community Engagement Plan to guide the engagement process for the entire project
- review of previous research and consultation findings, as well as site issues opportunities and constraints
- the recommendation of a proposed facility mix for a new multi-use events facility;
- preliminary conceptual plans for the multi-use facility including:
 - indicative floor plans
 - elevations and
 - links with pedestrian and vehicle networks, car parking opportunities, landscaping and drainage/ services plans
- a final report that addresses the development of a multi-use events facility at the Nambour Showgrounds including:
 - outcomes of the Scoping Study which justify the facility mix and proposed capacity of the centre.
 - detailed concept plans.
 - a cost estimate for delivery of the facility, which also considers whole-of-life costs (quantity surveying required).
 - financial modelling for the facility, which will need to consider the following components:
 - fixed operational costs
 - variable operational costs
 - revenues
 - cashflow projections
- a cost-benefit analysis that details the impacts the development may have across economic, environmental and social aspects;
- a prioritised implementation plan for action;
- staging plan which indicates the proposed timing of the project, and any requirements for staging;
- suitable management options for the complex; and
- recommendations for potential necessary approvals before works proceed i.e. Energex, Unitywater, Department of Transport and Main Roads, Town Planning etc.

The scoping and facility design study delivered a conceptual design for a new multi-purpose facility and a demand analysis which indicated a low additional demand for such a facility. Event hirers and user groups of the existing Main Pavilion at Nambour Showgrounds would make use of the new building, although little additional revenue or new events would likely be generated from these sources. While existing users of various parts of the Showgrounds expressed support for the development of the facility, they noted an unlikelihood that they would have any significant utilisation of such. They also expressed some concern regarding hire rates and indicated they would not be positioned to hire facilities at the Showgrounds above those rates currently applied for the use of the pavilion. Some dinners, functions or meetings could be catered for by the multi-use facility but these were considered likely to be infrequent, very price sensitive and uncertain.

The existence of alternative venues and lack of accommodation within the Nambour catchment were also noted as major constraints to the likely use of the facility. Moreover, if the proposed Sunshine Coast Entertainment, Convention and Exhibition Centre is developed in Maroochydore in future it would, in all likelihood, seek to accommodate events that could potentially be held in the multi-use facility at Nambour Showgrounds, and would have an obvious competitive advantage. *Visit Sunshine Coast* advised that Nambour is not seen as a favourable location to cater for large scale business events/ dinners or provision of a large, flexible flat floor area. This is primarily due to the lack of supporting event attractions such as high level accommodation and restaurants.

While not evidenced by the demand analysis, it is possible that some usage of the facility could be created as a spin-off from promoting the broader use of the Nambour Showgrounds for other outdoor events. It is possible that any event/s created could utilise the multi-use facility and broader Nambour Showgrounds.

The main benefit of the development of a new multi-use facility at Nambour Showgrounds would be improved functionality for existing major events (principally the Queensland Garden Expo and other larger shows or events). If the facility is developed, a substantial additional operating subsidy would be required.

The demand study concluded that a lower capital and operating cost alternative may be to erect a covered, partially enclosed shed or covered structure in the vicinity of the existing Main Pavilion.

At the time of compiling this study, Council had not resolved to terminate its lease at the Nambour Civic Centre. However, this did eventuate in December 2015 and the Nambour Civic Centre is no longer part of Council's community venues portfolio. This venue is now privately operated by Majestic Cinemas. Whilst there is capacity for the community to access the venue for large community events, the take up of this offer has been limited. Furthermore, there is a redevelopment being proposed by Majestic Cinemas to increase their cinema capacity within the site which may further reduce community hire opportunities into the future.

Whilst predominantly used for shows/ cinema purposes, the Nambour Civic Centre was also used for gala dinners, functions and graduation ceremonies. Nambour Civic Centre was classified as a regional facility but did have significant spare capacity with approximately 250 'dark nights' at the venue. There may be potential for this proposed facility at the Nambour Showgrounds to meet some of the unmet demand and to cater for such functions or groups that were regular hirers of the Nambour Civic Centre. It should, however, be recognised that the proposed Showgrounds facility has not been designed in such a way by which it will be able to function in a similar manner to Nambour Civic Centre. For example, the staging, lighting, audio and back of house facilities are not envisaged to be of the quality of those provided at Nambour Civic Centre.

Legal

There are no legal implications associated with Council considering this report.

Policy

A range of documents were reviewed as part of the background research to set the study in context and to ensure study outcomes aligned with Council's corporate direction. Documents reviewed most relevant to this study included:

- Nambour Showgrounds Master Plan 2013-2032
- Sunshine Coast Performance and Community Venues Service Plan
- Sunshine Coast Entertainment, Convention and Exhibition Centre planning documents
- Sunshine Coast Regional Council Corporate Plan 2014-2019
- Sunshine Coast Social Infrastructure Strategy 2011
- Sunshine Coast Sport & Active Recreation Plan 2011 – 2026 (and background documents)
- Sunshine Coast Access and Inclusion Plan 2011-2016

Study findings and recommendations specific to the planning of a multi-use facility at the Nambour Showgrounds were used to guide the final recommendations of the scoping and facility design study.

Risk

- failure to maintain an adequate level of service for community facilities may result in increased future costs and lead to community dissatisfaction
- detailed planning reduces the risk of ad-hoc development, which may be to the detriment of future service provision and uses
- the raising of community expectations without adequate funding options available to implement recommendations could result in community dissatisfaction
- the study demonstrates that such a facility, once built, will most likely lead to increased Nambour Showgrounds annual operational costs
- demolition of the existing Main Pavilion building involves transferring and relocation of existing user groups
- price sensitivity of existing user groups – inability or interest to pay for increased venue or multi-purpose building hire costs and
- future escalation of capital costs in line with construction price indices (QS estimates based on 2015 construction costs)

Previous Council Resolution

Nambour Showgrounds Master Plan 2013-2023
Council Resolution, 14 Nov 2013 (OM13/226)

That Council

- receive and note the report titled “Nambour Showgrounds Master Plan 2013-2023”*
- adopt the Nambour Showgrounds Master Plan 2013-2023 (Appendix A) and implement future stages of development for the Nambour Showgrounds in accordance with this Master Plan*
- note that the implementation of future stages of development for the Nambour Showgrounds Master Plan 2013-2023, as per the Master Plan, will be determined in accordance with the council’s ten year Capital Works Program and the successful application for external funding and subsequent development priorities as outlined within this report*
- present the Master Plan to relevant user groups to assist those organisations in co-ordinating and identifying external funding opportunities to supplement council’s implementation costs*
- subject to annual budget, undertake to master plan Crushers Park Sports Fields, as part of the wider sporting and event precinct, for council’s consideration, to ensure synergies between the Nambour Showgrounds and Crushers are maximised and the full potential of the Crushers site is realised for active sports participation and*
- investigate and plan for the establishment of district sports grounds in the Nambour area to support the growth in active sports participation and the relocation of the Nambour Cricket Club to a site with similar facilities and amenity.*

Sport and Active Recreation Plan

Council Resolution, 7 March 2011 (SM11/9)

That Council:

- receive and note the report titled “Sunshine Coast Sport and Active Recreation Plan 2011-2026”;*
- discontinue Caloundra City Council Recreation Policy [ref 727] and Noosa Council Recreation Policies [ref 03094 –R-4] (Appendix A);*
- adopt the Sunshine Coast Sport and Active Recreation Plan 2011-2026 (Appendix B) as amended;*
- develop a detailed and prioritised multi-year implementation plan based on councils’ long term financial model and other revenue sources;*

- (e) delegate to the Chief Executive Officer to make appropriate amendments to the “Sunshine Coast Sport and Active Recreation Plan 2011-2026” in consultation with divisional councillors in accord with established criteria and upgraded input information;*
- (f) acknowledge and thank the wider community for their contribution in the development of the Sunshine Coast Sport and Active Recreation Plan 2011-2026; and*
- (g) acknowledge and thank the staff from the Active and Healthy Communities branch of the Community Services Department for their contribution to the “Sunshine Coast Sport and Active Recreation Plan 2011-2026”.*

Related Documentation

- Nambour Showgrounds Master Plan 2013-2032
- Sunshine Coast Performance and Community Venues Service Plan 2014-2029
- Sunshine Coast Entertainment, Convention and Exhibition Centre documents
- Sunshine Coast Council Corporate Plan 2014-2019
- Sunshine Coast Social Infrastructure Strategy 2011
- Sunshine Coast Sport & Active Recreation Plan 2011 – 2026 (and background documents)
- Sunshine Coast Access and Inclusion Plan 2011-2016

Critical Dates

There are no critical dates associated with this report.

Implementation

The delivery of the project will be subject to future Council budgets and identification and obtaining of external grant funding.



Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds



Draft Report



STRATEGIC LEISURE GROUP

in association with



TMJ ARCHITECTS

October 2015



Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds

Draft Report

October 2015

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I. STUDY FRAMEWORK

I.1. STUDY PURPOSE

The development of a new multi-purpose events facility was included in the 2013 Master Plan for Nambour Showgrounds adopted by Council. The purpose of this study was to undertake a scoping and design study for the proposed new multi-purpose facility, the intent of which is to:

- Replace the existing main pavilion at the Nambour Showgrounds;
- Accommodate a greater range of displays, functions, events and meetings at the Nambour Showgrounds;
- Consider the incorporation of a commercial kitchen, air-conditioned display space, central administration (relocated from Nicklin House), event office and secure money-handling area for event organisers, meeting rooms, storage and amenities and provision for visitor parking.

The deliverables outlined in the brief include:

- A Community Engagement Plan that will guide the engagement process for the entire project;
- Literature findings
- Consultation findings
- Site issues, opportunities and constraints
- Needs and demands
- Trends and benchmarking results
- Draw upon the above research and recommend a proposed facility mix for the multi-use events facility.
- Preliminary conceptual plans for the multi-use facility (including images) suitable for Council's review. The concept plans will be in a coloured presentation format of an appropriate scale and will include indicative images of key components including (but not limited to):
 - Indicative floor plans
 - Elevations
 - Links with pedestrian and vehicle networks, car parking opportunities, landscaping and drainage/ services plans
- Notations and callouts where necessary for ease of interpretation.
- Preliminary costings for the proposed facility.
- A final report that addresses the development of a multi-use events facility at the Nambour Showgrounds including (but not limited to):
 - Outcomes of the Scoping Study which justify the facility mix and proposed capacity of the centre.
 - Detailed concept plans.
 - A cost estimate for delivery of the facility, which also considers whole-of-life costs (quantity surveying required).
 - Financial modelling for the facility, which will need to consider the following components:
 - Fixed operational costs
 - Variable operational costs
 - Revenues
 - Cashflow projections
- A cost-benefit analysis that details the impacts the development may have across economic, environmental and social aspects.
- A prioritised implementation plan for action.

- Staging plan which indicates the proposed timing of the project, and any requirements for staging.
- Suitable management options for the complex.
- Recommendations for potential necessary approvals before works proceed i.e. Energex, Unitywater, Department of Transport and Main Roads, Town Planning etc

1.2. STUDY TEAM AND PROCESS

The study team comprised:

- Strategic Leisure Group (principal consultant, project management, background research, site analysis, consultation, strategy development)
- Tait Morton Johnston Architects (site analysis, architectural concept planning)
- Altus Page Kirkland (cost estimates, whole of life costings)

The study methodology comprised a four stage process:

- Stage 1: Community Engagement Plan
- Stage 2: Facility Mix Scoping Study, incorporating
 - 2 (a) – Background Research
 - 2 (b) – Community Engagement
- Stage 3: Development of Preliminary Concept Plans
- Stage 4: Facility Design Report.

2. BACKGROUND RESEARCH

2.1. SITE ANALYSIS

Early in the study process an inspection of the Showgrounds and proposed site for the Multi-Use Facility as outlined in the 2013 Nambour Showgrounds Master Plan was undertaken. This inspection focussed on:

- Physical aspects, including site constraints
- Urban and landscape character
- Adjoining land use
- Traffic and parking
- Drainage and services

2.2. PLANNING ISSUES

As outlined in the Nambour Showgrounds Master Plan 2013 report, outcomes sought from the Nambour Local Plan Code include:

- Progressive development of Nambour as a Major Regional Activity Centre, providing a broad range of higher order uses and activities.
- Protection and retention of established character areas of Nambour and buildings identified as having cultural heritage or streetscape significance.
- Development that retains key landscape character and natural environment elements; protects significant views contributing to the character and landscape setting of Nambour; contributes to the establishment of attractive gateways and streetscapes and sense of entry and arrival to Nambour.

Future development would be subject to a number of Planning Scheme overlays including:

- Nambour Local Plan Code
- Land Subject to Flood Hazard Overlay
- Biodiversity, Waterway and Wetland Overlay (Native Vegetation, Wetlands, Riparian Areas, Waterways)
- Land Subject to Regional Infrastructure Overlay (Water Supply Pipeline, Major Road Corridor)
- Landslide Hazard and Steep Land Overlay (moderate hazard area)
- Maximum Height of Buildings and Structures (8.5m)
- Acid Sulphate Soils Overlay
- Airport Environs Overlay
- Land Subject to Bushfire Hazard Overlay
- Scenic Amenity Overlay

2.3. REVIEW OF RELEVANT DOCUMENTS

A range of documents were reviewed as part of the background research to set the study in context and to ensure study outcomes are aligned with Council's corporate direction. Documents most relevant to this study included:

- Nambour Showgrounds Master Plan 2013-2032
- Sunshine Coast Performance and Community Venues Service Plan
- Sunshine Coast Entertainment, Convention and Exhibition Centre documents

- Sunshine Coast Regional Council Corporate Plan 2014-2019
- Sunshine Coast Social Infrastructure Strategy 2011
- Sunshine Coast Sport & Active Recreation Plan 2011 – 2026 (and background documents)
- Sunshine Coast Access and Inclusion Plan 2011-2016

Study findings and recommendations *specific to the planning of a multi-use facility at the Nambour Showgrounds* are summarised in the Table 1 below.

Table 1: Key information emerging from background literature

ISSUE/ STRATEGY RELEVANT TO MULTI-USE FACILITY AT NAMBOUR SHOWGROUNDS	SOURCE
<p>Development of a master plan for the Nambour Showgrounds was a direct outcome of the Sunshine Coast Sport and Active Recreation Plan. The Master Plan provides a 10 year vision and clear direction for the facility.</p> <p>A key theme to emerge during the consultation for the Master Plan was the lack of functionality of the Main Pavilion for events. Poor accessibility and its set up for specific uses were cited as key reasons for its lack of functionality. Stakeholders held the view that the Main Pavilion needs to be replaced with a larger building containing exhibition space, storage, office space for event management and secure money-handling area.</p> <p>The Master Plan includes development of a new Multi-Use Events Centre to replace the existing Main Pavilion and accommodate a greater range of displays, functions, events, meetings etc. The report recommends that a feasibility study and detailed design of the proposed new multi-use events centre be undertaken and that this should determine the amount of gross floor area.</p> <p>The Master Plan suggests the building should incorporate:</p> <ul style="list-style-type: none"> ▪ Commercial kitchen ▪ Flat floor, air-conditioned display space ▪ Central office administration (relocated from Nicklin House) ▪ Office and secure money-handling area for event organisers ▪ Meeting rooms ▪ Storage and amenities. <p>The report notes that the building should:</p> <ul style="list-style-type: none"> ▪ Cater for any events utilising the existing Main Pavilion ▪ Be in keeping with the Nambour Showgrounds' heritage theme ▪ Consider accommodating the Show Society. <p>The report notes that provision for visitor parking adjacent to the new Multi-Use Centre is required.</p> <p>The Master Plan recommends development of the facility in the medium term (5-9 years) and estimates the cost of the proposed facility to be \$4,032,000 based on an area of 800m², with an additional \$240,000 for development of a commercial kitchen (if determined to be required) and \$36,000 for 10 asphalt car spaces for the new facility.</p>	<p>Nambour Showgrounds Master Plan 2013-2023</p>
<p>The Sunshine Coast Performance and Community Venues Service Plan 2014-2029 sets the direction for the future use, operation and possible development of six of Council's key performance and community venues:</p> <ul style="list-style-type: none"> ▪ The Events Centre Caloundra ▪ Lake Kawana Community Centre ▪ Nambour Civic Centre ▪ Coolum Civic Centre ▪ Kawana Community Hall ▪ Beerwah & District Community Hall 	<p>Sunshine Coast Performance and Community Venues Service Plan, 2014</p>

ISSUE/ STRATEGY RELEVANT TO MULTI-USE FACILITY AT NAMBOUR SHOWGROUNDS	SOURCE
<p>The plan is guided by a vision: <i>"Performance and community venues provide spaces for the Sunshine Coast region that are well equipped to cater for the diverse range of events, and other captivating, creative experiences that will engage, excite and challenge our audiences."</i></p> <p>The Plan has four desired outcomes:</p> <ul style="list-style-type: none"> ▪ The Sunshine Coast region is serviced by an efficient network of performance and community venues, which are well located and accessible to the community. ▪ The usage of Sunshine Coast performance and community venues is maximized. ▪ Sunshine Coast Council venues are designed and equipped to be resourceful, and to offer a high quality experience for the community. ▪ Performance and community venues accommodate a range of community, cultural and commercial activities, including theatre, concerts, cinema, major touring productions, cultural initiatives, recreation activities, programs and workshops, school based activities, conferences, expos, meetings and key community events. <p>The Plan:</p> <ul style="list-style-type: none"> ▪ Highlights some values of community venues including opportunities for increased connectivity, community engagement, local pride, personal and cultural development and expression, enhanced cultural lifestyle options, social inclusion, nurturing creativity and innovation. ▪ Identifies that the Sunshine Coast region is well serviced by Council's six performance and community venues. ▪ Notes that region-wide provision may be impacted in the future depending on the potential development of a new facility at Maroochydore and pending future involvement beyond the expiry of the Nambour Civic Centre lease in 2018. ▪ Notes that there is potential for additional district level facilities in the future within Palmview/ Sippy Downs and Caloundra South subject to needs assessment. <p>In relation to the Nambour Civic Centre, the following should be noted:</p> <ul style="list-style-type: none"> ▪ The venue is leased by a private owner (current lease expires 2018). ▪ The venue is primarily a performance venue with the current and primary function being to promote live theatre and cinema as well as act as a live music venue. ▪ The dedicated art-house cinema within the venue is reported as the only art-house cinema north of Brisbane. ▪ The facility was built in 1990 and the community consider the venue is 'tired'. ▪ The report recommends that Council work with the owners of the Nambour Civic Centre on the future role and function of the venue and its contribution towards the revitalization of the Nambour town centre with considerations to include: <ul style="list-style-type: none"> ○ Council's level of involvement within the Nambour Civic Centre post 2018; and ○ The role of other performance and community venues within the network. <p>The Action Plan sets out each venue's primary role over the next 15 years. Sunshine Coast Wide Venues include:</p> <ul style="list-style-type: none"> ▪ The Events Centre Caloundra – to be positioned as Council's primary performance venue on the Sunshine Coast. 	

ISSUE/ STRATEGY RELEVANT TO MULTI-USE FACILITY AT NAMBOUR SHOWGROUNDS	SOURCE
<ul style="list-style-type: none"> ▪ Lake Kawana Community Centre – to be positioned as Council’s primary Sunshine Coast wide community venue able to accommodate a diverse range of activities, meetings and events. ▪ Nambour Civic Centre <p>District Venues include</p> <ul style="list-style-type: none"> ▪ Coolool Civic Centre ▪ Kawana Community Hall ▪ Beerwah & District Community Hall <p>The report recommends that Council continue to plan for the development of a centrally located entertainment, convention and exhibition centre in Maroochydore to service the whole of the Sunshine Coast.</p> <p>(Note at the 17 September 2015 Ordinary Meeting, Sunshine Coast Council resolved to relinquish its lease at C-Square so a proposal by the complex owners could proceed. The Nambour Civic Centre at C-Square in Currie St will be transformed into a multi-screen cinema complex as a result of this proposal. Council’s lease of this complex will be relinquished in late 2015).</p>	
<p>This report examined the feasibility of constructing an Entertainment, Convention and Exhibition Centre on the Sunshine Coast. It presented a “preferred option” locating the centre within the Maroochydore CBD’s civic cultural precinct. The facility would include:</p> <ul style="list-style-type: none"> ▪ Main auditorium/ arena with flexible walls and seating systems that allow the auditorium to offer seating capacity ranges between 1000 and 4500. ▪ A flat floor exhibition hall with flexible walls allowing expansions and reductions in room size to a maximum of 3000 square metres. ▪ A full commercial catering kitchen (plus satellite kitchens). ▪ Meeting rooms (12 to 15 in number) with capacities ranging from 20 to 360 in variable modes. ▪ Provision for 706 car parks (noting that there will be significant additional car parking spaces available within easy walking distance of the centre). <p>The facility would be located in close proximity to:</p> <ul style="list-style-type: none"> ▪ A civic plaza, concourse and parkland spaces. ▪ Retail and commercial uses including a hotel. ▪ Civic, community and cultural uses, which may include a library or learning centre, art gallery, community meeting and performance spaces, Council customer service centre, enterprise incubator, child care, markets, cafes, design centre, recording studio, community garden and recreation areas and playgrounds. 	<p>Sunshine Coast Entertainment, Convention and Exhibition Centre Feasibility Report, October 2011.</p>
<p>This document provides implementation guidelines for the development of the Sunshine Coast Entertainment Convention and Exhibition Centre, in terms of:</p> <ul style="list-style-type: none"> ▪ Confirmation of the project – multi-functional, facility size, interactions, precinct. ▪ Site requirements including, location, transport, connectivity, complimentary facilities, future expansion, car parking. ▪ Delivery timing – considering demand, land acquisition, associated facilities/ requirements such as a hotel, airport upgrade, public transport, car parking etc. ▪ Procurement options. ▪ Implementation strategy. 	<p>Sunshine Coast Entertainment Convention and Exhibition Centre Implementation Strategy, October 2011</p>
<p>Report notes that the Sunshine Coast is serviced by several performing arts venues including the Events Centre at Caloundra and Nambour Civic Centre. Notes that there is a market shortage/ gap for purpose-built, high capacity, convention and entertainment facilities.</p> <p>The AEC Report contained within Volume 2 defined catchments as follows:</p>	<p>[CONFIDENTIAL REPORT] Sunshine Coast Entertainment and Exhibition Centre Stage 1 Lead Report Vol 1 & Vol 2</p>

ISSUE/ STRATEGY RELEVANT TO MULTI-USE FACILITY AT NAMBOUR SHOWGROUNDS	SOURCE
<ul style="list-style-type: none"> ▪ Local Catchment – within 40 minute drive, which includes the Primary and Secondary catchments; and ▪ Regional Catchment – within 40-90 minute drive and comprises the Tertiary catchment, which is inclusive of the Primary and Secondary catchment areas. 	
<p>The Corporate Plan 2014-2019 is a key planning document outlining the priorities and strategies council will pursue over time to achieve its vision to become Australia's most sustainable region. "A Strong Community" is one of five corporate goals contained within the plan and has the following outcomes:</p> <ul style="list-style-type: none"> ▪ Safe and healthy communities ▪ Resilient and engaged communities ▪ Culture, heritage and diversity are valued and embraced ▪ People and places are connected <p>Key services of the Strong Community goal relevant to the development of the Nambour Showground Facility include:</p> <ul style="list-style-type: none"> ▪ Community and cultural development partnerships ▪ Community venues ▪ Sporting facilities. 	<p>Sunshine Coast Regional Council Corporate Plan 2014-2019</p>
<p>This report sourced from Sunshine Destinations Ltd notes that there were 542 events in the Sunshine Coast region in 2013-14 compared to 581 in 2006-07. Of these, the vast majority (457) were conferences, 70 were meeting events, and two events were trade show/ exhibitions.</p>	<p>Queensland Business Events Survey 2006-07 to 2013-14, Queensland Treasury and Trade (Dec 2014)</p>
<p>The Sunshine Coast Access and Inclusion Policy seeks to ensure community members have access to local government programs, facilities, open space, services, resources and information. The policy contains four outcomes to achieve its purpose. Of relevance to the facility planning at the Nambour showgrounds are outcomes related to:</p> <ul style="list-style-type: none"> ▪ Identifying and reducing barriers to improve access to facilities ▪ Encouraging active and healthy communities through improved access to Council facilities. ▪ Universal design and access in the built environment. 	<p>Sunshine Coast Access and Inclusion Policy, 2011</p>
<p>This comprehensive strategy provides a future direction for sport and recreation facilities and services across the Sunshine Coast region over a 15 year period. The Strategy has a number of guiding principles:</p> <ul style="list-style-type: none"> ▪ Economic and environment sustainability ▪ Infrastructure provision and club sustainability ▪ Accessibility and mobility ▪ Urban character and amenity ▪ Social equity ▪ Community involvement and inclusion. <p>Key Findings pertinent to the development of a multi-use facility at the Nambour Showgrounds include:</p> <ul style="list-style-type: none"> ▪ There are growing demands for the use of existing regional sporting facilities such as Sunshine Coast Stadium and Nambour Showgrounds for non-sport uses (e.g. markets, exhibitions). ▪ If demand for use of Nambour Showgrounds for major commercial/ cultural events such as motor shows/ home shows increases, <i>and there are no alternative plans for indoor/ outdoor venues to cater for these activities</i>, consider: <ul style="list-style-type: none"> ○ Preparing a master plan for the Nambour Showgrounds to maximise its use for show, commercial and cultural activities ○ Securing additional land in the Nambour area to re-establish and 	<p>Sunshine Coast Sport & Active Recreation Plan 2011-2026</p>

ISSUE/ STRATEGY RELEVANT TO MULTI-USE FACILITY AT NAMBOUR SHOWGROUNDS	SOURCE
develop any displaced sports. <ul style="list-style-type: none"> ▪ Consider additional economic investigation and/ or research projects on sport and active recreation which further inform council's knowledge of the value of commercial events (eg home show, motor show) held on major sporting facilities (e.g. Sunshine Coast Stadium, Nambour Showgrounds) and provide a tool for ongoing economic benefit assessment for future events. 	

3. REGIONAL CONTEXT

3.1. CATCHMENT ANALYSIS

The estimated resident population of the Sunshine Coast as at for 2014 is 282,822¹. This is expected to grow to 424,593 by 2036².

The estimated 2011 population of the immediate Nambour-Burnside locality (Figure 1) was 16,309³.

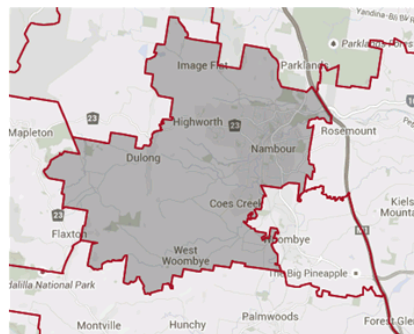


Figure 1: Map of Nambour-Burnside Locality of Interest

For the purpose of this project, the combined population of the localities immediately surrounding Nambour-Burnside locality of interest were sourced to determine an indicative “catchment population”. This included the localities of:

- Nambour - Burnside
- Bli Bli – Rosemount & District
- Kureelpa – Kiamba
- Mapleton – Flaxton – Obi Obi
- Palmwoods – Chevallum – Montville – Hunchy
- Woombye
- Yandina – Yandina Creek & District

The total catchment population as at 2011 was 46,275. This is expected to increase to 77,000 by 2031⁴.

3.2. LOCAL FUNCTION & EVENT FACILITIES

There are five facilities in the immediate Nambour catchment area (within 10 minutes’ drive of Nambour Showgrounds) that are capable of hosting larger functions, events, displays and meetings. These are summarised below and illustrated at Map 1 appended to this report.

¹ Profile Id (2011) Sunshine Coast Community Profile, viewed 5 March 2015 <http://profile.id.com.au/sunshine-coast/home>

² Queensland Government Statisticians Office, Queensland Treasury and Trade. Projected Population (medium series) by local government area, Queensland, 2011 to 2036. Viewed 5 March 2015. <http://www.qgso.qld.gov.au/subjects/demography/population-projections/tables/proj-pop-lga-qld/index.php>

³ <http://profile.id.com.au/sunshine-coast>

⁴ Per advice Sunshine Coast Council

Table 2: Local function/ event facilities (within approx. 10 mins drive of Nambour Showgrounds)

FACILITY NAME & ADDRESS ⁵	OWNERSHIP	USES	CAPACITY AND COMMENT
Nambour Civic Centre Centenary Square, Currie St, Nambour	Public	Performing arts, conferences, functions, cinema, graduations, dance rehearsals/ concerts	Currently 800 theatre. 550 banquet. 275 cinema, however at the 17 September 2015 Ordinary Meeting, Sunshine Coast Council resolved to relinquish its lease at C-Square so a proposal by the complex owners could proceed. The Nambour Civic Centre at C-Square in Currie St will be transformed into a multi-screen cinema complex, eventually offering more than 200 screenings each week. Community groups will be able to book the different theatres through the Majestic office for a similar cost as the current offering. During the refurbishment to be undertaken in 2016, the availability of theatres will be somewhat limited, although will be accommodated where possible. After the redevelopment there will be five auditoriums, seating from 50 to 350 people. This will provide choice for community groups, allowing them to book a venue that meets their needs. It will however result in the loss of a current venue in Nambour that could cater for almost 800 people in theatre style and 550 banquet style.
Nambour RSL Matthew St, Nambour	Private	Conferences, private functions and performances	200 theatre style. 140 banquet style. Bars/ restaurants. Modern facility located in centre of Nambour.
Nambour State High School 1 Carroll St, Nambour	Public Education	Community activities and functions	200 auditorium. 192 banquet (Hungerford Hall) Venue comprises timber floor, stage, mezzanine and small kitchen. Used almost weeknight and weekend for a range of community activities (eg sports club presentations, dance groups, arts groups, martial arts, election polling booth). Smaller auditorium has retractable seating for approx 200 used for Church gatherings, union meetings.
Suncoast Auditorium (Suncoast Church) Cnr Schubert & Kiel Mtn Rds Woombye	Private	Performances, functions, school graduations	Auditorium seats 1,300. Conference room seats 150 – 200. Main auditorium includes large stage, lighting/ sound equipment, back stage, green room and slightly raked floor seating. It is used for church gatherings, concerts, banquets, school graduation ceremonies, conferences, and other

⁵ Sourced from Sunshine Coast Destination Limited, Sunshine Coast Performance and Community Venues Service Plan, and site interviews/ inspections

			events (approx 20 per annum). Conference room is supported by a café with commercial kitchen that is capable of servicing the main auditorium.
<i>The Big Pineapple</i> Nambour Connection Rd, Woombye	Private	Conferences, functions	400 theatre. 350 banquet. No additional information able to be obtained.

3.3. REGIONAL FUNCTION & EVENT FACILITIES

There are 26 public and private facilities across the whole of the Sunshine Coast capable of hosting larger scale functions, events, displays and meetings in the broader Sunshine Coast region. These have been notionally summarised as venues with banquet seating for 200 + or large flat floor. The list includes the local venues summarised at Table 2 and is illustrated at Map 1 appended to this report.

Table 3: Public and private larger function/ event facilities on Sunshine Coast

FACILITY NAME & ADDRESS ⁶	OWNERSHIP	USES	CAPACITY AND COMMENT
<i>Caloundra Indoor Stadium</i> North St, Golden Beach	Public	Sporting events Meeting rooms	2,500 concert 800 seating (sporting events)
<i>The Events Centre</i> 20 Minchinton St, Caloundra	Public	Conferences, meetings, functions	1,800 theatre 1,250 banquet
<i>Nambour Civic Centre</i> Centenary Square, Currie St, Nambour	Public	Performing arts, conferences, functions, cinema	800 theatre. 500 banquet. 275 cinema [See comment at Table 2]
<i>Nambour State High School</i> 1 Carroll St, Nambour	Public - Education	Conferences, functions and events	200 auditorium 192 banquet (Hungerford Hall) [See comment at Table 2]
<i>Suncoast Auditorium (Suncoast Church)</i> Cnr Schubert & Kiel Mtn Rds Woombye	Private - Church	Performances, functions, school graduations	1,300 auditorium 150-200 small auditorium [See comment at Table 2]
<i>Nambour RSL</i> Matthew St, Nambour	Private	Conferences, private functions & performances	200 theatre style. 140 banquet style.
<i>The Big Pineapple</i> Nambour Connection Rd, Nambour	Private	Conferences	400 theatre 350 banquet
<i>Coolum Civic Centre</i> Off David Low Way, Coolum Beach	Public	Performing arts, conferences, functions	400 theatre 200 banquet
<i>Lake Kawana Community Centre</i> Kawana Waters	Public	Performing arts, conferences, functions, meetings	750 theatre 480 banquet Outdoor staging
<i>The J (Junction) Noosa</i> 60 Noosa Drive, Noosa Junction	Private	Performing arts, small exhibitions, conferences, meetings	338 theatre 230 conference

⁶ Sourced from Sunshine Coast Destination Limited, Sunshine Coast Performance and Community Venues Service Plan, and site interviews/inspections

Item 8.4.2 Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds
 Attachment 1 Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds

FACILITY NAME & ADDRESS ⁶	OWNERSHIP	USES	CAPACITY AND COMMENT
<i>Flinders Performance Centre (Matthew Flinders Anglican College)</i> Stringybark Rd, Buderim	Private - Education	Performances, functions, concerts	600 theatre. 480 banquet. Modern performance venue opened in 2011 with retractable seating, sprung timber floor stage, retractable sunken orchestra pit, gantry, sound/ lighting and commercial kitchen. Flexible design enables the venue to cater for concerts, eisteddfods, performances and banquets.
FACILITY NAME & ADDRESS	PUBLIC/ PRIVATE	USES	CAPACITY AND COMMENT
<i>Maroochy RSL</i> Memorial Ave, Maroochydore	Private	Conference, private functions and performances	Up to 900 banquet style.
<i>Innovation Centre Auditorium (University of the Sunshine Coast)</i> 90 Sippy Downs Drive, Sippy Downs	Public Education	Conferences, meetings and functions	500 theatre style 330 banquet style
<i>Sunshine Coast Function Centre (Caloundra RSL)</i> 19 West Terrace, Caloundra	Private	Conferences, private functions and performances	800 theatre 500 banquet
<i>Noosa Convention & Exhibition Centre (Australis Noosa Lakes)</i> 3 Hilton Tce, Tewantin	Private	Conferences, meetings and functions	350 theatre 250 banquet
<i>Pelican Waters Golf Resort & Spa</i> 38 Mahogany Dr, Pelican Waters	Private	Meetings and functions	320 theatre 260 banquet
<i>Palmer Cooloom Resort</i> Warran Rd, Cooloom Beach	Private	Conferences, meetings and functions	1200 theatre 600 banquet
<i>Maroochy River Golf Club</i> 374-514 David Low Way, Bli Bli	Private	Conferences, meetings, weddings and functions	180 theatre 120 banquet
<i>Novotel Twin Waters Resort</i> Ocean Drive, Twin Waters	Private	Conferences, meetings and functions	1,400 theatre 800 banquet
<i>Outrigger Little Hastings Street Resorts & Spa, Noosa</i> 33 Viewland Dve, Noosa Heads	Private	Conferences, meetings and functions	350 theatre 220 banquet
<i>Oaks Oasis Resort</i> Cnr North St & Landsborough Pde, Caloundra	Private	Conferences, meetings and functions	250 theatre 220 banquet

Strategic Leisure Group and TJM Architects

FACILITY NAME & ADDRESS ⁶	OWNERSHIP	USES	CAPACITY AND COMMENT
<i>Sheraton Noosa Resort & Spa, Noosa</i> 14-16 Hastings St, Noosa Heads	Private	Conferences, meetings and functions	300 theatre 220 banquet
<i>Queensland Conference & Camping Centres</i> 70 Obi Obi Rd, Mapleton	Private	Conferences, meetings and functions	500 theatre 220 banquet
<i>Yandina Station</i> 684 North Arm-Yandina Creek Rd, Yandina	Private	Conferences, meetings and functions	50 theatre 400 cocktail 300 banquet

FACILITY NAME & ADDRESS ⁷	OWNERSHIP	USES	CAPACITY AND COMMENT
<i>Aussie World</i> 73 Frizzo Rd, Palmview	Private	Conferences, meetings and functions	200 theatre 4000 cocktail 350 banquet
<i>Mooloolaba Surf Club</i> Mooloolaba Esplanade, Mooloolaba	Private	Conferences, meetings and functions	230 theatre 220 banquet
<i>The Ginger Factory</i> 50 Pioneer Rd, Yandina	Private	Conferences, meetings and functions	80 theatre 400 banquet

⁷ Sourced from *Sunshine Coast Destination Limited, Sunshine Coast Performance and Community Venues Service Plan, and site interviews/inspections*

4. DEMAND ANALYSIS

A range of groups, individuals and other stakeholders were consulted to identify potential usage, facility requirements and pricing considerations for the proposed Multi-Use Facility. These included:

- Resident users of Nambour Showgrounds
- Managers of major events at Nambour Showgrounds
- Event promoters
- Tourism bodies
- Potential user groups (from previous hirer enquiries)
- Council officers/ Councillor
- Venue managers within local catchment
- Managers of other large Showgrounds (for benchmarking purposes)

4.1. EXISTING MAJOR EVENTS

The managers/ organisers of existing major events held at Nambour Showgrounds were interviewed to assess the demand for, and likely utilisation of, the multi-use facility and essential design/ management considerations if it was developed. Although existing usage of the old Pavilion would transfer to the new Multi-Use Facility, very little additional use was identified. Organisations contacted and key points raised are summarised at Table 4.

Table 4: Demand from existing major events

ORGANISATION NAME	TYPE/ LIKELIHOOD OF USE	DESIGN CONSIDERATIONS	OTHER COMMENTS
Qld Garden Expo	<ul style="list-style-type: none"> ■ Display area for Garden Expo ■ Possible event dinner for 150 people (currently go to coastal resort as it is co-located with accommodation) ■ Possible sponsor function during Garden Expo for 80 – 120 ■ Meetings for up to 35 people (2 per month) 	<ul style="list-style-type: none"> ■ Secure cash handling area (10-12m²) ■ Office (12m²) with cabling for communications ■ Ground level access during event ■ Potential to divide space into two sound proof areas ■ Audio visual equipment ■ Floor area could be smaller than existing Pavilion as a large area for marquees would be freed up when old Pavilion is demolished. ■ Consider commercial kitchen 	<ul style="list-style-type: none"> ■ Removal of old Pavilion is more important to Qld Garden Expo than development of new Multi-Use Facility ■ Qld Garden Expo would continue to use the Apex building as its Information Booth, and for storage
Show Society	<ul style="list-style-type: none"> ■ Existing main Pavilion activities during annual Show would transfer to new building (arts display, craft, cookery, fruit & veg, aquaculture) ■ Expanded area would be good ■ Possible sponsors evening during Show (50-100 people) ■ Possible gala dinner for 100 people (currently at Woombye SS hall) ■ Possible future Children's Festival event (would use indoor for displays, show entertainment) 	<ul style="list-style-type: none"> ■ If Show Society office relocated it would require: <ul style="list-style-type: none"> ○ Larger board room/ office area than at present ○ Secure cash handling area ○ Storage. Kitchen. Amenities. 	

ORGANISATION NAME	TYPE/ LIKELIHOOD OF USE	DESIGN CONSIDERATIONS	OTHER COMMENTS
Caravan & Camping Expo	<ul style="list-style-type: none"> Would use for booth displays 	<ul style="list-style-type: none"> Refer Table 6 	<ul style="list-style-type: none"> Removal of old Pavilion would be of benefit to this event
Antique Car Club	<ul style="list-style-type: none"> Would use new building for existing pavilion uses during Swap Meet No new events identified 	<ul style="list-style-type: none"> Need same floor area as old Pavilion 	<ul style="list-style-type: none"> Club has constructed a new 310m² shed for its permanent storage, meetings, club use Part of this building (143m²) would be made available for other Showgrounds events (5 per annum)
Collectorama	<ul style="list-style-type: none"> Existing Pavilion uses would transfer to new building for the 4 current events per annum (approx 1,400 – 1,500 visitors) No new events identified 	<ul style="list-style-type: none"> Needs floor area at least as large as existing pavilion Commercial kitchen not essential Need access to both levels via lift 	<ul style="list-style-type: none"> Would be prepared to consider higher rent than old Pavilion due to more modern facilities Needs to be an incentive package for first time hirers
Gemfest	<ul style="list-style-type: none"> Existing Pavilion uses would transfer to new building for Gemfest every October (attracts about 800 people) 		<ul style="list-style-type: none"> Event is very price sensitive
Aussie FMX	Possible use for VIP sponsor event	<ul style="list-style-type: none"> Design would need to incorporate glass frontage to main arena 	Would not expect to pay additional hire fee
Relay for Life	Would not use	n/a	n/a

4.2. EXISTING USER GROUPS

All existing user groups based at Nambour Showgrounds were interviewed. Potential utilisation of the Multi-Use Facility by existing user groups would be minimal. User groups contacted and their responses are summarised at Table 5.

Table 5: Demand from existing user groups

ORGANISATION NAME	TYPE/ LIKELIHOOD OF USE	DESIGN CONSIDERATIONS	OTHER COMMENTS
Zone 6 Pony Club	<ul style="list-style-type: none"> Would not use. Only possible use would be if Nambour S'grounds hosted State Showjumping Event but this would be very infrequent (many years apart) 	n/a	n/a
NAGS	<ul style="list-style-type: none"> Would not use Group conducts several 1 day events. Largest event is run over 2 days. Would continue to use equestrian area for catering/ dining. 	n/a	<ul style="list-style-type: none"> Use Nambour RSL for end of year dance. Will stay at RSL
Gunalda Western Performance Club	<ul style="list-style-type: none"> Very low likelihood of use. Club does not hold official functions and does own catering during events 	n/a	<ul style="list-style-type: none"> Supportive of facility but group is very price sensitive

ORGANISATION NAME	TYPE/ LIKELIHOOD OF USE	DESIGN CONSIDERATIONS	OTHER COMMENTS
Suncoast Showjumping & Equestrian Club	<ul style="list-style-type: none"> Hold 3 major events pa (Feb, May and July). Possible use for function for riders, partners & sponsors at the 3 major events (300-400 people) Possible annual trophy night (300 people) 	<ul style="list-style-type: none"> Kitchen Tables/ chairs 	n/a
Maroochy Pony Club	<ul style="list-style-type: none"> Possible use for 2 seminars pa (approx. 70 people) Social events/ dinners for existing major events/ gymkhanas would continue to be held in the equestrian area. 	<ul style="list-style-type: none"> Catering facilities 	n/a
Rotary Club of Nambour	<ul style="list-style-type: none"> Unlikely to utilise. Possible handover dinner (70 people) but currently satisfied with private venue 	<ul style="list-style-type: none"> Commercial kitchen could be advantageous 	n/a
Nambour Apex	<ul style="list-style-type: none"> Would not use 	<ul style="list-style-type: none"> Commercial not necessary in early stages 	<ul style="list-style-type: none"> Supportive so long as facility does not impinge on clubs ability to cater for events
Nambas Tennis Club	<ul style="list-style-type: none"> Would not use 	n/a	n/a
Sunshine Coast Badminton Club	<ul style="list-style-type: none"> Would not use 	n/a	n/a
Craft Creations	<ul style="list-style-type: none"> Would not use 	n/a	n/a
Nambour Cricket Club	<ul style="list-style-type: none"> Would not use 	n/a	n/a
Nambour Community Gardens	<ul style="list-style-type: none"> Would use for monthly meetings (180 - 190 people) Christmas function (200 people) 	<ul style="list-style-type: none"> Must be air conditioned Roll away benches and stage Kitchen not seen as important 	
Sunshine Coast Darts Club	<ul style="list-style-type: none"> Would use if backing boards (14) were able to be left permanently in place. Club hosts 3 events pa (120 - 150 people) who stay in local motels 	<ul style="list-style-type: none"> 	<ul style="list-style-type: none"> Only club on Sunshine Coast. Venue is central to members. Been at venue for 15 years and will need a home.
Suncoast Hot Rod & Custom Car Club	<ul style="list-style-type: none"> Would not use 	n/a	n/a
Historic Motorcycle Club	<ul style="list-style-type: none"> Very low likelihood of use. One major event pa held at Maleny Showgrounds. Hire of Nambour Showgrounds too expensive 	n/a	<ul style="list-style-type: none"> Very price sensitive event

4.3. EVENT PROMOTERS/ TOURISM BODIES

Meetings/ discussions were held with event promoters, tourism bodies and organisations that had enquired in the recent past about hiring Nambour Showgrounds for events. Groups contacted included:

- Sunshine Coast Destinations
- Australian Events
- Qld Garden Expo
- Sunshine Coast Expo

- Visabel Event Management
- Promoter Big Pineapple Music Festival
- Conscious Life Festival
- National Barrel Horse Racing Assoc
- Philippino Festival

A summary of key points raised is outlined at Table 6.

Table 6: Feedback from tourism bodies/ event promoters

GENERAL COMMENT	DESIGN CONSIDERATIONS
<p><u>Tourism Bodies</u></p> <ul style="list-style-type: none"> ▪ There is a dearth of facilities on the Sunshine Coast for large scale business events and dinners (seating 800+) and demand for a large, flexible flat floor area (2,000m²) for trade shows ▪ Nambour is not seen as an appropriate location to service these needs and facility would likely have low use if built ▪ Event organisers/ patrons want facilities that are close to accommodation and travel time/ cost to coastal accommodation would be a major deterrent. ▪ Nambour Showgrounds may be suitable for local events/ activities and servicing existing users of grounds 	<p>If the facility is developed:</p> <ul style="list-style-type: none"> ▪ Design should be compatible with heritage context
<p><u>Event Promoters</u></p> <ul style="list-style-type: none"> ▪ Nambour is not seen as drawcard location ▪ Lack of accommodation and perception of Nambour is a major disadvantage ▪ Showgrounds is suited to events such as Garden Expo, outdoor living, and agricultural shows ▪ Proposed multi-use facility not relevant to existing events organised by promoters ▪ Showgrounds not a suitable venue for music events – not iconic, difficult venue to work and would be a risk ▪ Possibility of future Stitches and Craft event (discontinued some years ago) and ▪ Potential for Conscious Life Festival to be staged at Nambour Showgrounds if indoor facility is developed (use Caloundra Events Centre and Kawana Sports Complex at present) 	<p>If the facility is developed:</p> <ul style="list-style-type: none"> ▪ Less than 800m² - 1,000m² makes it difficult to work for events and less functional ▪ Floor design would need to accommodate weight loading for heavy equipment/ vehicles ▪ Ensure adequate vehicle turning area ▪ Fire/ emergency access ▪ Adequate loading area (roller doors) ▪ Commercial kitchen ▪ Make use of natural light ▪ Air-conditioned (but designed to be functional without it) ▪ Polished concrete floor - supply venue-owned carpet tiles and charge to lay, remove & clean to maximise flexibility ▪ Toilets, facilities, offices at one end ▪ Storage

4.4. COMMUNITY GROUPS/ SCHOOLS

Questionnaires were sent to 196 community and sporting organisations and 22 schools within the catchment area to ascertain their satisfaction with existing indoor facilities, likelihood of use of a Multi-Use Facility at the Showgrounds, type/ frequency of use, design and pricing considerations. Thirty-nine responses were received as outlined at Table 7 below. Twenty-four (24) of these respondents indicated they currently access an indoor facility for events, functions or displays. The vast majority (22) indicated they are satisfied or very satisfied with their existing venue.

Table 7: Community and school survey responses

ORGANISATION	USE INDOOR VENUE	ORGANISATION	USE INDOOR VENUE
207 Squadron Aust Air Force Cadets	Yes	Palmwoods Senior Citizens	No
Bli Bli United Football Club	No	Sunshine Coast 4x4 Club	No
Cittamani Hospice	No	Sunshine Coast Churches Soccer	Yes
Elements Lifestyle Assoc	No	Sunshine Coast 4WD Club	No
Suncoast Care	No	Sunshine Coast Futsal Association	Yes
Maroochy Wetlands Sanctuary Support Group	No	Sunshine Coast Independent Living Service	Yes
Maroochy SHS	Yes	Sunshine Coast Jewish Community	Yes
Nambour & Dist Netball Assoc	Yes	Sunshine Coast Riding for Disabled	Yes
Nambour Amateur Swimming Club	Yes	Sunshine Coast Shooting Club	No
Nambour Bowls Club	No	Sunshine Coast Stamp Club	Yes
Nambour Golf Club	No	Sunshine Coast Weightlifting Club	Yes
Nambour High School	Yes	The Shack Community Centre	Yes
Nambour Lind Lane Theatre	Yes	Wildlife Volunteers Assoc	Yes
Nambour Orchid Society	Yes	Woombye School of Arts Hall	No
Nambour RSL Sub Branch	Yes	Yandina & District Community Assoc	No
Nambour State School	Yes	Yandina Bowls Club	Yes
Neighbours Aid Community Stores	Yes	Yandina Community Gardens	Yes
North Arm Shotgun Association	No	Yandina Rugby League Club	No
Palmwoods & District RSL	Yes	Yandina School of Arts	Yes
Palmwoods Girl Guides	Yes		

4.4.1. LIKELIHOOD OF USE BY COMMUNITY GROUPS/ SCHOOLS

Seven organisations advised that if a multi-use indoor venue with flat floor area and catering facilities suitable for events/ functions/ displays was developed at Nambour Showgrounds they would be 'very likely' to use it (refer Table 8). A further ten organisations indicated they would possibly use the facility.

Table 8: Likelihood of use

LIKELIHOOD OF USE	NUMBER
Very likely	7
Possibly	10
Unlikely	8
Most unlikely	12
Don't know	1

Three of the organisations that indicated 'very likely' use (ie Sunshine Coast Futsal Assoc, Nambour & Districts Netball Assoc and Sunshine Coast Weightlifting Club) misinterpreted the type of facility proposed as comprising indoor sports courts. Hence responses relating to these types of uses were disregarded. The type and frequency of use by organisations indicating 'very likely' use of the facility is summarised at Table 9 below. The type of uses most frequently mentioned were indicated dinners, award nights, meetings, socials, fund raisers and balls. Sunshine Coast Independent Living Service identified a range of likely events. Nambour Primary and High Schools indicated that a number of possible events may be held but no details were provided. Relatively few other activities/ events were nominated.

Table 9: Type/frequency of use by community organisations/ schools indicating 'very likely' use

ORGANISATION	ACTIVITY/ EVENT	NO OF HOURS/ DAYS REQUIRED	FREQUENCY	EST. NO OF GUESTS/ PATRONS
207 Squadron Aust Air Force Cadets	Annual Graduation Dinner	6 hours	Once/ year	250-300
	Dining in night Dinner	6 hours	Once/ year	100
Nambour & Districts Netball Assoc	Coaching/ umpiring clinics	4-8 hours weekends	2-4 per year	20
	Presentation evening	3 hours	1	160
Nambour State High	Unknown	Unknown	Unknown	Unknown
Nambour State School	College staff meetings	Unknown	Unknown	Staff approx 200 Students approx 1,300 Prep to Year 12
	College Awards nights	Unknown	Unknown	Staff approx 200 Students approx 1,300 Prep to Year 12
	College community events	Unknown	Unknown	Staff approx 200 Students approx 1,300 Prep to Year 12
	Guest speakers presenting to larger audiences	Unknown	Unknown	Staff approx 200 Students approx 1,300 Prep to Year 12
Sunshine Coast Independent Living Service	Dances/ balls	-	4 per year	100
	Fundraising	-	2 per year	100
	Evening social groups	-	25 per year	50
	Indoor bowls	-	4 per year	15
	Folk dancing	-	2 per year	20
	Seminars/ Staff training	-	2 per year	100+

Organisations that provided details of 'possible' event uses are summarised at Table 10 below.

Table 10: Type/ frequency of use by community organisations/ schools indicating 'possible' use

ORGANISATION	ACTIVITY/ EVENT	NO OF HOURS/ DAYS REQUIRED	FREQUENCY	EST. NO OF GUESTS/ PATRONS
Nambour Orchid Society	Orchid shows	3 days	2	500 over 2 days
	Meetings	4 hours	Monthly	40+
Neighbours Aid Community Stores	Volunteer Christmas Party	1	1	180
Sunshine Coast Churches Soccer Assn	Awards night	8	1	650-800
Sunshine Coast Jewish Community	Occasional Friday night usage	6-9pm	6 (if current venue not available)	30-40
Sunshine Coast Stamp Club	Club meetings	3 hours	Once/ month	15-20
	Annual fair	1 day	Once/ year	400
The Shack Community Centre	Fundraiser for community centre	2 days	2	100-200

4.4.2. ESSENTIAL FEATURES FOR COMMUNITY GROUP/ SCHOOL USE

Features identified by organisations as being essential in order to make use of the facility are outlined at Table 11. The most frequently mentioned features were:

- Kitchen/ catering facilities (8)
- Tables/ chairs (5)
- Toilets (4)
- Air conditioning (3)
- Parking (3)
- Good quality PA/ sound system (3)
- Seating for 200 (1), 300 (1), 800 (1)
- Disability access

Table 11: Essential features for community group/ school use

ORGANISATION	FEATURES
207 Squadron Australian Air Force Cadets	Kitchen facilities
	Chairs and tables
	Air conditioning
Nambour & Districts Netball Assoc	Kitchen facilities
	Toilet facilities
	Adequate car parking
Nambour State High School	Catering for large group
Nambour State School	All WH&S requirements met
	Chairs for all participants to be seated
	Clear and easy to use sound system
	Toilet facilities – enough toilets and close to venue
	Parking facilities or information about parking
Nambour Orchid Society	Storage
	Tables
Neighbours Aid Community Stores	Air conditioning
	Kitchen/ catering facilities
	Table & chairs
	Bar facilities
	Catering (tea and coffee facilities)
Sunshine Coast Churches Soccer Assoc	Sit down seating for 800 people (Caloundra Events Centre is not regarded as central enough for members)
	Kitchen capable of servicing large numbers
Sunshine Coast Independent Living Service	Disability access
	Disability toilet/ change area
	Permanent PA system
	Evening access
	Public toilet
	Disability accessible facilities
Sunshine Coast Jewish Community	Kitchen facility
	Flexible floor space area.
The Shack Community Centre	Seating enough for 200+ people
	Commercial kitchen
	Good PA system & data projector

4.4.3. PRICING EXPECTATIONS OF COMMUNITY GROUPS/ SCHOOLS

Pricing expectations of community organisations were quite modest. Where stated, these are summarised at Table 12.

Table 12: Pricing expectations of community groups/schools

ORGANISATION	FEE EXPECTATION
207 Squadron Australian Air Force Cadets	Would request community support from Council. Previously paid up to \$600 for venue.
Nambour Orchid Society	As a not for profit organisation with limited funds the price would have to be comparable with current prices at other venues.
Nambour State School	Don't know – reasonable and competitive rates though given that the high school and the primary school both have their own halls
Neighbours Aid Community Stores	\$400
Sunshine Coast Churches Soccer Assoc	\$2,000
Sunshine Coast Four Wheel Drive Club	\$100
Sunshine Coast Independent Living Service	As a not-for-profit community based organisation would need the rate to be as low as possible.
Sunshine Coast Jewish Community	Normally between \$20 and \$30 per hour
Sunshine Coast Stamp Club	Currently pay \$39 a month for our current venue and \$280 for annual fair
The Shack Community Centre	Being a fundraiser minimal costs would be preferable.

4.5. INTERNAL COUNCIL CONSULTATION

Discussions with Council officers raised a number of issues and concerns:

- There are numerous venues offering flat floor space on the Sunshine Coast
- The proposed Multi-Use Facility would compete with existing venues within the immediate catchment and there is a concern about competitive neutrality if the facility is developed
- Lack of accommodation in the Nambour area, distance from coastal accommodation and perception of Nambour are significant drawbacks
- It is important to retain the Garden Expo as an anchor event at the Showgrounds
- No potential new events were identified
- As the capacity to accommodate functions/ events at the Nambour Civic Centre has been lost, a Multi-Use Facility at the Showgrounds could accommodate some displaced users if demand warrants, however there is concern about the appropriateness of the Showgrounds if this eventuates. Lack of connectivity/ distance from the Showgrounds to the CBD means that businesses do not currently benefit from events. Following the Nambour Civic Centre redevelopment, there will be five auditoriums, seating from 50 to 350 people. This will provide choice for community groups, allowing them to book a venue that meets their needs.

(At the 17 September 2015 Ordinary Meeting, Sunshine Coast Council resolved to relinquish its lease at C-Square so a proposal by the complex owners could proceed. The Nambour Civic Centre at C-Square in Currie St will be transformed into a multi-screen cinema complex, eventually offering more than 200 screenings each week. It will however result in the loss of a current venue in Nambour that can cater for almost 800 people in theatre style and 550 banquet style).

4.6. NAMBOUR ALLIANCE

The Alliance was critical of the adopted master plan for the Showgrounds believing it to be too "present day" focussed. It feels that the scoping study needs to be visionary (not based upon short sighted individual user present day concerns alone) and yield an economically and socially strategic outcome for reasonably significant growth and the creation of unforeseen opportunities.

The Alliance noted that emerging trends and positioning of Nambour township is around "vintage, retro, heritage, older world charm" and believes that events that consolidate around this theme will be growth events. The Multi-Use Facility should be consistent with the broader vision for Nambour at a scale that is future-focussed for a population catchment in excess of 60,000.

Facility design needs to cater for the emergence of new and creative events in the future. A building in excess of around 800m² plus was seen as necessary with allowance for plenary and breakout rooms, conferences, exhibitions, trade shows, regional and national sporting functions, dinners, and corporate events. Design should cater for a dedicated kitchen, air conditioning, ability to open up and bring the outside in ie observation decks.

4.7. BENCHMARKING WITH OTHER SHOWGROUNDS

For benchmarking purposes, discussions were held with the managers of Mackay Showgrounds and Rockhampton Showgrounds – both of which have undergone substantial redevelopment in recent years.

One of the key points emphasised was the need for a commercial business model to be adopted to ensure the sustainability of the facility. Without this approach redevelopment is unlikely to be successful. Food and beverage is seen an important potential source of revenue.

Rockhampton City Council has managed the Showgrounds for the last decade. A flexible, 2000m² indoor floor space with commercial kitchen was developed at Rockhampton Showgrounds about five years ago. This facility is able to cater for up to 700 persons whereas the largest alternative venue in town is able to cater for only about 350. The facility has no contract caterer in place and receives only about 1-2 uses per month, most of which are school formals/ dinners (not events).

Mackay Showgrounds are managed by the Show Society. Approximately \$15m has been spent over the last 5 years on improvements such as drainage, power, new pavilion, refurbishments and new entrance. This includes a 4000m² flat floor area (about 50% under cover) which is used for motor vehicle auctions every Saturday (nets approx. \$2,000 per week) and markets every second Sunday (nets approx. \$1,200 per week). One of the new facilities at Mackay Showgrounds (Homestead) is hired out for Council/ business activities, product launches, meetings etc and is generating sufficient funds to contribute toward maintenance costs in other parts of the venue.



Strategic Leisure Group and TJM Architects

Mackay Showgrounds is situated in the heart of town, within walking distance of motels and is seen as an important part of the CBD. It was noted Nambour Showgrounds is disadvantaged by being located off the main highway and not within proximity of a range of motel accommodation.

It was also noted that few Showgrounds have new facilities and a number have been moved 'out of town' due to the value of land and/ or condition of grounds (eg Bundaberg, Maryborough and Toowoomba).

5. ASSESSMENT OF DEMAND

5.1. KEY ISSUES

A summary of key findings is as follows:

- Council's 2014 Performance and Community Venues Service Plan recommended that Lake Kawana Community Centre be positioned as Council's primary Sunshine Coast-wide community venue for a diverse range of activities, meetings and events
- There are five venues within a 10 minute drive of Nambour Showgrounds that are capable of hosting larger indoor functions, events, displays and meetings
- Suncoast Auditorium (owned by Suncoast Church) is situated in close proximity at Woombye. It is a contemporary venue with commercial kitchen, seating for 1,300 and sound/ lighting/ stage equipment and caters for school graduations, concerts, conferences, and banquets in addition to Church activities.
- There are twenty (20) other venues across the Sunshine Coast capable of hosting larger scale functions, events, displays and meetings.
- Sunshine Coast Destinations Ltd has advised that while there is a dearth of facilities on the Sunshine Coast for large scale business events/ dinners and absence of a large, flexible flat floor area (2,000m²+) Nambour is not seen as an appropriate location to service these needs and would likely attract low use if built. Event organisers/ patrons seek venues that are close to accommodation. Travel time to coastal accommodation would be a major deterrent to a new venue in Nambour.
- Sunshine Coast Council has undertaken a feasibility study for the development of an entertainment, convention and exhibition centre. This study identified Maroochy CBD as the preferred option for the facility and would include a flexible main arena with seating for between 1,000 – 4,500; flexible 3,000m² flat floor exhibition hall; commercial kitchen and satellite kitchens; 12 – 15 meeting rooms; and would be situated in close proximity to civic, retail and commercial uses. It's local catchment was described as being within 40 minutes' drive and regional catchment as 40 – 90 minutes' drive.
- Discussions with promoters and other Showgrounds reinforced the fact that Nambour is not seen as a drawcard location and the lack of accommodation and perception of Nambour is a major disadvantage to attracting events.
- The development of a Multi-Use Facility at Nambour Showgrounds would improve the functionality of major events at the venue (ie Garden Expo, and Caravan & Camping Expo), however the removal of the old Pavilion, more so than the new facility, would contribute to this improved functionality.
- Other events which make use of the existing old Pavilion would utilise the new facility
- While generally supportive of the development of the Multi-Use Facility, existing users identified relatively little likely use of the facility.
- Feedback from community groups/ schools identified some potential use for functions/ events but these groups are very price sensitive
- Nambour Alliance are supportive of a visionary building that is capable of catering for unforeseen new and creative event opportunities for Nambour that are consistent with the positioning of the township around the theme of vintage, retro, heritage, older world charm. They believe the facility should have a future focus that will cater for a growing catchment population (estimated at around 77,000 by 2031).
- There are concerns about the viability of the proposed facility. During, and following, the redevelopment of the Nambour Civic Centre there could be potential for some displaced events (not performance or theatre activities) to be catered for at the Showgrounds but there is concern about the appropriateness of the Showgrounds if this eventuates as it not proposed that the facility be positioned to meet the specific needs of the high end performing arts sector.

5.2. CONCLUSION

The demand analysis indicates that there is low demand for the Multi-Use Facility. Event hirers of the existing Main Pavilion at Nambour Showgrounds would make use of the new building, but little additional revenue or new events would be generated from these sources. While existing users of various parts of the Showgrounds expressed support for the development of the facility, they are unlikely to utilise it. Some dinners, functions or meetings could be catered for by the Multi-Use Facility but these are likely to be infrequent, very price sensitive, and uncertain.

The existence of alternative venues and lack of accommodation within the Nambour catchment are major constraints to the likely use of the facility. Moreover, if the Entertainment, Convention and Exhibition Centre is developed in Maroochydore in future it would, in all likelihood, seek to accommodate events that could potentially be held in the Multi-Use Facility at Nambour Showgrounds, and would have an obvious competitive advantage. Sunshine Coast Destination Ltd advised that Nambour is not seen as an appropriate location to cater for large scale business events/ dinners or provision of a large, flexible flat floor area.

While not evidenced by the demand analysis, it is possible that some usage of the facility could be created as a spin-off from promoting the broader use of the Nambour Showgrounds for other outdoor events. Should a dedicated marketing plan to promote Nambour be developed in the future (eg vintage, retro, heritage, older world charm – refer section 4.6) it is possible that any event(s) created could utilise the Multi-Use Facility and broader Nambour Showgrounds.

The main benefit of the development of a new Multi-Use Facility at Nambour Showgrounds would be improved functionality for existing major events (principally the Queensland Garden Expo). If the facility is developed, *overall utilisation is likely to be low and a substantial operating subsidy would be required.*

A lower capital and operating cost alternative may be to erect a covered, partially enclosed shed structure in the vicinity of the existing Main Pavilion.

6. CONCEPT PLANS

6.1. FACILITY MIX

In the event that a decision is made to proceed with the facility, a preliminary facility mix brief and concept sketches were prepared by TMJ Architects to illustrate the suggested main elements to be incorporated, conceptual two-level layout, positioning immediately to the south of the existing grandstand, and high level cost estimate. Preliminary sketches were discussed with Council and further refined to create a more detailed concept plan and indicative capital cost estimate.

The main components of the suggested facility mix are as follows:

GENERAL ELEMENTS

- Functional design – in sympathy with old pavilion or Nambour heritage (eg sugar town theme) subject to cost implications
- Suitable floor surface for range of uses (eg trade displays, event displays, dinners, social functions)
- Two levels to utilise sloping embankment
- Floor loading for heavy equipment/ vehicles on upper level
- Air conditioned, but design to be functional without
- Loading bay(s) at upper level
- Disability access
- Parking bays on upper level
- Design so as to enable lower level to be developed at a later stage
- Specific Elements

SPECIFIC ELEMENTS

- 900m² flat floor area
- Covered deck with viewing area to main arena
- Kitchen and servery
- Toilets
- Storage area for tables and chairs (up to 500)
- Provision for office (12m²) and large meeting room seating up to 35 on upper level
- Cash handling (10m²) and adjacent event management office (12m²) on lower level
- Relocation of Show Society offices (100m²) on lower level including front counter, 2 x offices, board room and kitchen
- General storage area

6.2. INDICATIVE CAPITAL COST

The indicate capital cost of the facility is \$4.81m +GST. This includes demolition of the existing Main Pavilion, but excludes air-conditioning of the main floor area in the new building. If air-conditioning of this space is included the additional cost is estimated at \$315,000 +GST, making a total indicative capital cost of \$5.12m +GST.

The concept plans and indicative capital cost estimates allow for the staging of the upper and lower levels of the building. A detailed breakdown of indicative capital costs and assumptions is attached at Appendix 1. Architectural concept plans are attached at Appendix 2.

7. MANAGEMENT

Sunshine Coast Council currently has a range of management models for facilities under its control. Nambour Showgrounds are part of Council's Community Facilities & Planning Branch, which also includes the Caloundra Indoor Stadium. Council's Major Venues Unit is responsible for the management of Sunshine Coast Stadium, Nambour Civic Centre (will cease in 2015), Lake Kawana Community Centre and six community halls/ centres. Caloundra Events Centre reports to Council via a Board of Management.

From benchmarking with other Showgrounds undertaken as part of this study, the importance of adopting a commercial business model to ensure the sustainability of the facility was emphasised.

The Multi-Use Facility (if developed) would be managed by Nambour Showgrounds staff as part of their whole of site responsibilities. Current management arrangements at Nambour Showgrounds do not include specialised staff in marketing, event generation, or attracting new events. Usage of the facility would be reliant on enquiries from potential hirers rather than active generation of events/ activities for the Multi-Use Facility or broader Showgrounds. Engagement of specialist marketing/ event acquisition staff may not be viable for the Showgrounds as a single venue. It is understood that the Major Venues Unit incorporates staff with responsibility for marketing the venues under its control.

If the facility is developed, in order to create a more commercial approach to securing functions/ events Council could:

1. Consider transferring management responsibility for the venue to the Major Venues Unit
2. Engage a specialist staff member(s) responsible for securing events/ functions for venues under the control of both the Community Facilities & Planning Branch or Major Venues Unit
3. Review the management structure of all Council venues to determine the most appropriate arrangements that would maximise commercial opportunities

The 2013 Nambour Showgrounds Master Plan recommended that Nambour Showgrounds be managed as part of a broader stable of Council owned facilities and that it be transitioned to a Major Venues Unit within Sunshine Coast Council. As noted in the Master Plan this would enable:

- Consistent, stable direction for all Council-owned facilities
- Competition with other Council owned assets to be avoided
- Access to specialist marketing and event promotion expertise to achieve the vision for the Showgrounds
- Site staff to have clear reporting relationships being part of, and responsible to, the broader hierarchy
- Potential economies of scale savings through the sharing of resources across multiple facilities
- Council to retain the base performance data of facilities to assist in informed decision making
- Ongoing commitment to community uses that do not generate significant income but maintain the social benefits of the venue
- The Showgrounds to be managed in accordance with Council standards, policies and procedures
- Cyclical maintenance to be addressed to an appropriate level
- Leveraging between Council owned facilities to attract additional events.

The 2013 Master Plan noted that in transitioning to a Major Venues Unit "...it will be important for this Unit to have an event management professional whose responsibility would be to seek and secure existing events, and collaborate within Council and other agencies (eg Sunshine Coast Destination Ltd) to create new events for the Showgrounds which have potential local and regional economic benefits and which take advantage of the outdoor display areas and existing and proposed infrastructure."

8. OPERATING PROJECTIONS

If the Multi-Use Facility is developed, the calculation of indicative operational cost estimates assumes the following:

1. Management by existing Nambour Showgrounds staff
2. Low level of utilisation as identified from the demand analysis
3. Fees in line with existing Council venues (ie Nambour Civic Centre)
4. No in-house catering

Hire fees for the existing Main Pavilion are quite low in recognition of user groups' capacity to pay. Current hire fees are as follows:

Main Pavilion	Commercial	Not for Profit
Upper or lower level per day (includes electricity)	\$345 per day	\$202 per day
Upper or lower level per hour (includes electricity)	\$44.50 per hour	\$26 per hour
Collectorama Only - Upper or lower level per day (includes electricity)	\$270 per day	

A special rate for grounds hire, which includes the use of the Main Pavilion, is applied to the Queensland Garden Expo and Sunshine Coast Agricultural Show.

Hirer	2014 Hire Fees
Queensland Garden Expo	\$5,682
Sunshine Coast Agricultural Show	\$7,917

In addition to the above hire fees, commercial hirers pay an additional development levy per patron of \$1.05. Not-for-profit hirers pay a levy of \$0.35c per head.

Hirer	2014 Development Levy
Queensland Garden Expo	\$17,440
Sunshine Coast Agricultural Show	\$22,766

One existing hirer (Sunshine Coast Antique Car Club) pays an "All of Grounds" fee for their event which includes access to the upper and lower levels of the Main Pavilion. This fee is currently set at \$2,249 for not-for-profit groups.

Hire fees for Nambour Civic Centre are substantially more commercially orientated.

Nambour Civic Centre	Community (not-for-profit) [Per Hour]	Regular Hirers [Per Hour]	Commercial [Per Hour]
Main Hall (capacity 770 seated/ 450 banquet)	\$90.00	\$125.00	\$288.00
Foyer (capacity 60-80 seated/ approx 300 cocktail)	\$20.00	\$24.00	\$32.00

Duty Manager fees at Nambour Civic Centre are set at \$50 per hour and cleaning fees at \$50 per hour. Nambour Civic Centre does not have in-house caterers and prefers hirers to use their recommended caterers.

With this in mind the following hire fees were applied:

Multi-Use Facility	Commercial [Per Hour]	Regular Hirer [Per Hour]	Not for Profit [Per Hour]
Main hall (function/ event)	\$ 250.00	\$ 125.00	\$ 90.00
Main hall (meeting only)	\$ 100.00	\$ 75.00	\$ 50.00
Meeting room only	\$ 50.00	\$ 30.00	\$ 25.00
Cleaning	\$ 50.00	\$ 50.00	\$ 50.00
Duty Manager [^]	\$ 40.00	\$ 40.00	\$ 40.00

[^] Duty manager fees not levied for existing Pavilion Hirers

Indicative operating projections and assumptions are outlined at Table 13.

Table 13: Indicative operating projections

OPERATING FORECAST	
Income	
Additional revenue (existing major events) ¹	\$2,890.00
Functions/ events (via demand analysis) ²	\$3,140.00
Function/ events (latent demand) ³	\$3,250.00
Meetings (main hall) ⁴	\$3,200.00
Small meeting room ⁵	\$920.00
Total Income	\$13,400.00
Expenditure	
Cleaning ⁶	n/c
Preventative & reactive maintenance ⁷	\$47,950.00
Utilities (excl air-conditioning) ⁸	\$12,000.00
Annualised lifecycle costs ⁹	\$32,130.00
Administration expenses (postage, stationery, printing etc) ¹⁰	n/c
Employee costs ¹¹	\$2,000.00
Marketing ¹²	\$5,000.00
Plant hire & equipment ¹³	n/c
Security ¹⁴	n/c
Pest control ¹⁵	n/c
Total Expenditure	\$99,080.00
Operating Deficit	\$85,680.00

Notes

1. Assume Queensland Garden Expo total hire fee increased by 10% due to higher quality floor space during event and freeing up of former Main Pavilion area for other uses. Sunshine Coast Agricultural Show annual rent increased by 20% due to provision of new office space and higher quality floor space during event.
2. Potential users that indicated 'very likely' use from the demand analysis only. Excludes activities that are inappropriate for the design of the facility (eg indoor court sports); activities that exceed the capacity of the venue; and activities for which insufficient information was provided.
3. Allowance for five unidentified functions/ events for which latent demand may exist.
4. Includes large group meetings identified in the demand analysis (up to 180 people)
5. Includes small group meetings identified in the demand analysis
6. Cleaning costs would be reimbursed by hirers as an on-cost
7. Figure derived from QS industry benchmark data. Does not include venue-specific costs

8. *Notional allowance only based on 20% of Nambour Civic Centre budget.*
9. *Figure derived from QS industry benchmark data.*
10. *Costs built into existing Nambour Showgrounds budget*
11. *No allowance for additional staff or apportionment of existing staff time to Multi-Use Facility. Allowance for increased cost of after hours supervision of events.*
12. *Notional allowance for additional cost of promoting the new facility.*
13. *Plant hire and equipment would be charged to hirers as an on-cost*
14. *Costs built into existing Nambour Showgrounds budget*
15. *Costs built into existing Nambour Showgrounds budget*

APPENDIX I:

INDICATIVE CAPITAL COST ESTIMATES



Cost Plan Summary

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan	
Building: Nambour showgrounds			
Code	Description	Rate	Total \$
	BASIS OF COST PLAN		0
PW	DEMOLITION & PREPARATORY WORKS	28.83	73,832
SB	SUBSTRUCTURE	181.73	465,418
CL	COLUMNS	50.00	128,050
UF	UPPER FLOORS	122.22	312,995
SC	STAIRS	23.12	59,200
RF	ROOF	177.46	454,475
EW	EXTERNAL WALL & WINDOWS	124.94	319,961
ED	EXTERNAL DOORS	26.55	68,000
NW	INTERNAL WALLS & INTERNAL SCREENS	42.92	109,921
ND	INTERNAL DOORS	15.30	39,180
WF	WALL FINISHES	38.35	98,212
FF	FLOOR FINISHES	50.50	129,322
CF	CEILING FINISHES	23.10	59,170
FT	FITMENTS, FITTINGS & FIXTURES	95.21	243,831
HS	HYDRAULIC SERVICES	95.17	243,728
AC	MECHANICAL SERVICES	45.04	115,337
LP	ELECTRIC LIGHT & POWER	104.56	267,787
TS	LIFT	30.75	78,750
FP	FIRE PROTECTION	46.12	118,125
XS	EXTERNAL SERVICES	15.91	40,750
EW	EXTERNAL WORKS	56.33	144,264
PR	PRELIMINARIES, OVERHEADS AND PROFIT (12.5%)	174.26	446,289
	TOTAL CONSTRUCTION COST EXCLUDING ON COSTS AND CONTINGENCIES	1,568.37	4,016,597
	DESIGN CONTINGENCY (5%)	78.42	200,830
	CONSTRUCTION CONTINGENCY (5%)	82.34	210,871
	TOTAL CONSTRUCTION COST EXCLUDING ON COSTS	1,729.13	4,428,298
	CONSULTANT FEES (6.5%)	112.39	287,839
	LOCAL FEES AND CHARGES (2%)	36.83	94,323
	TOTAL CONSTRUCTION COST EXCL GST	1,878.35	4,810,460
	GST		481,046
	TOTAL CONSTRUCTION COST INCLUDING GST	2,066.19	5,291,506



Cost Plan Summary

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan	
Building: Nambour showgrounds			
Code	Description	Rate	Total \$
	Gross Floor Area (GFA): 2,561m2		
	\$/m2 (construction only)	1,568.37	
	\$/m2 (construction excluding on costs but including contingencies)	1,729.13	
	\$/m2 (construction including on costs and contingencies and GST)	2,066.19	

Item 8.4.2 Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds
 Attachment 1 Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
1 BASIS OF COST PLAN					
<u>Basis of Cost Plan:</u>					
1.1	APK's Cost Plan is based on Nambour Showground Drawings SK1-SK7 received via email on the 19/06/2015				
1.2	APK's Cost Plan is based on revised Nambour Showground Drawings SK1-SK7 received via email on the 24/06/2015				
1.3	Telephone conversations between APK and Strategic Leisure Group				
<u>Assumptions / Methodology</u>					
1.4	APK has measured most items from the initial set of drawings received on the 19/06/2015.				
1.5	APK has used the revised set of drawings to measure the Internal walls on the Ground floor area, and some of the Internal walls on the Upper Floor				
1.6	The revised drawings have also been used to estimate the FF&E requirements of the different functional areas				
1.7	APK has assumed the excavation & fill requirements based on the elevations				
<u>Exclusions</u>					
1.8	Works to the bioretention area				
1.9	OSD tank				
1.10	Substations				
1.11	Removal of Contaminated waste from Site				
1.12	Excavation in Rock				
1.13	CCTV / surveillance equipment				
1.14	Projectors and screens to the meeting rooms				
BASIS OF COST PLAN					0

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
2 DEMOLITION & PREPARATORY WORKS					
<u>Site preparation</u>					
2.1	Allow for any miscellaneous preparation works, such as clearing any trees, shrubs etc	1	item	3,000.00	3,000
<u>Demolition</u>					
2.2	Allow to demolish the existing building. APK has been advised the building area is approx 700m2	700	m2	65.00	45,500
2.3	Allow to temporarily cap off existing services etc	1	item	4,500.00	4,500
<u>Bulk Earthworks</u>					
2.4	Allow for bulk excavation to create undercroft area. Excavation estimated using drwg SK6	1,302	m3	16.00	20,832
DEMOLITION & PREPARATORY WORKS				73,832	

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
3 SUBSTRUCTURE					
<u>Engineering fill</u>					
3.1	Allow for approx 1m of engineered fill below the portion of the Upper Floor slab which is on grd	346	m3	95.00	32,870
<u>Slab on Ground</u>					
3.2	Allowance for Ground Floor slab on ground and substructure, including a DGB under the slab and an allowance edge thickenings, footings, piles etc that may be required.	1,053	m2	212.00	223,236
3.3	Allowance for the Upper Floor slab on ground and substructure, including a DGB under the slab and an allowance edge thickenings, footings, piles etc that may be required.	346	m2	192.00	66,432
<u>Retaining Wall</u>					
3.4	Allow for a retaining wall to the perimeter of the raised area. Rate allows for a wall approx 1m high on a strip footing with an agg line at the base	374	m2	370.00	138,380
<u>Lift Shaft</u>					
3.5	Allow for the Lift shaft base	1	item	4,500.00	4,500
SUBSTRUCTURE				465,418	

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan		
Building: Nambour showgrounds				
Description	Quantity	Unit	Rate	Total
4 COLUMNS				
Columns				
4.1 Allow for columns.	2,561	m2	50.00	128,050
COLUMNS				128,050

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
5 UPPER FLOORS					
<u>Suspended slab</u>					
5.1	Allow for a 200mm thick reinforced concrete slab	1,061	m2	220.00	233,420
5.2	E/O for any beams, thickenings etc that are required	1,061	m2	75.00	79,575
UPPER FLOORS					312,995

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
6 STAIRS					
	<u>STAIR no.1</u>				
6.1	Stair no.1 approx 1m wide, comprising 1 intermediate flight. Rate allows for all formwork, stringers etc and reinforcement, nosings etc	4.0	m/Rise	3,500.00	14,000
	<u>STAIR no.2</u>				
6.2	Stair no.2 approx 1m wide, comprising 1 intermediate flight. Rate allows for all formwork, stringers etc and reinforcement, nosings etc	4.0	m/Rise	3,500.00	14,000
	<u>STAIR no.3</u>				
6.3	Stair no.3 approx 1.3m wide, comprising 1 intermediate flight. Rate allows for all formwork, stringers etc and reinforcement, nosings etc	4.0	m/Rise	4,000.00	16,000
	<u>STAIR no.4</u>				
6.4	Stair no.4 approx 1.2m wide, comprising 1 intermediate flight. Rate allows for all formwork, stringers etc and reinforcement, nosings etc	4.0	m/Rise	3,800.00	15,200
	STAIRS				59,200

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
7 ROOF					
<u>Roof Structure</u>					
7.1	Allow for a roof support structure suitable for metal deck roofing. Rate allows for all purlins, rafters, beams etc as required	1,629	m2	175.00	285,075
<u>Metal Deck Roofing</u>					
7.2	Allow for a colorbond metal deck roof including insulation, sarking etc	1,629	m2	75.00	122,175
<u>Roof Drainage</u>					
7.3	Allow for roof drainage, including all gutters, downpipes etc	1,629	m2	25.00	40,725
<u>Fall arrest System</u>					
7.4	Allow for a fall arrest system		1 item	6,500	6,500
ROOF					454,475

Item 8.4.2 Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds
 Attachment 1 Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
8 EXTERNAL WALL & WINDOWS					
STAGE 1					
<u>Brickwork</u>					
8.1	Brick veneer wall - allow for face brickwork with insulation, metal stud framing and painted plasterboard/villaboard. Painting priced in Wall finishes	238	m2	235.00	55,930
<u>Blockwork</u>					
8.2	Allow for 140mm thick blockworkwork with insulation, metal stud framing and painted plasterboard. Painting priced in Wall finishes	79	m2	160.00	12,640
8.3	Allow for 190mm thick blockwork to the Undercroft store with a render and paint finish. Reder and Paint priced in Wall finishes	79	m2	175.00	13,825
<u>Metal Sheet Cladding</u>					
8.4	Allow for Colorbond sheeting fixed to a stud frame. Allow for insulation, and painted plasterboard/villaboard as the internal wall lining . Painting priced in Wall finishes	572	m2	150.00	85,800
<u>Windows</u>					
8.5	Allow for aluminium framed windows to the Ground and Upper floors	129	m2	500.00	64,500
<u>Clerestory Windows / Louvres</u>					
8.6	Allow for operable louvres & Clerestory Windows above the pavilion	29	m2	650.00	18,850
8.7	Allow for additional structural framing for the clerestory windows	29	m2	150.00	4,350
<u>Sunshades</u>					
8.8	Allow for sunscreens in front of 30% of the windows	39	m2	350.00	13,545
<u>Sundries</u>					
8.9	Allow for sundries, such as decorative features etc	1	item	13,441.25	13,441
Stage 1 subtotal					282,881
STAGE 2					
<u>Lightweight Stud Wall</u>					
8.10	Allow for Stud walls comprising of 115mm steel studs with 13mm Plasterboard on one side and 9mm thick CFC lining to the other side with insulation. Rate allows for painting both sides	70	m2	194.00	13,580
<u>Windows</u>					
8.11	Allow for windows to the Undercroft offices facing the oval	47	m2	500.00	23,500
Stage 2 subtotal					37,080
EXTERNAL WALL & WINDOWS					319,961

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan		
Building: Nambour showgrounds				
Description	Quantity	Unit	Rate	Total
9 EXTERNAL DOORS				
STAGE 1				
<u>Glazed Door</u>				
9.1	Allow for a Glazed Swing door, approx 2.5m wide x 2.5m high, equal leaf pair	5 no.	4,500.00	22,500
9.2	Allow for a Glazed Swing door with highlight above at the entry, equal leaf pair, approx 2.5m wide x 3.85m high, equal leaf pair	2 no.	7,000.00	14,000
<u>Solid Core door</u>				
9.3	Single leaf solid core door including hardware, frame and finish	3 no.	1,500.00	4,500
9.4	Double leaf solid core door including hardware, frame and finish	1 no.	2,500.00	2,500
<u>Roller Shutter</u>				
9.5	Manually operated roller shutter 4m wide to the Store room on the Grd floor	2 no.	6,600.00	13,200
9.6	Electronically operated roller shutter 4m wide to the loading dock	1 no.	8,300.00	8,300
Stage 1 subtotal				65,000
STAGE 2				
<u>Solid Core door</u>				
9.7	Single leaf solid core door including hardware, frame and finish	2 No.	1,500.00	3,000
Stage 2 subtotal				3,000
EXTERNAL DOORS				68,000

Item 8.4.2 Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds
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Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
10 INTERNAL WALLS & INTERNAL SCREENS					
STAGE 1					
<u>Lightweight partition</u>					
10.1	Note - APK has allowed for approximately 50% of the internal wall linings to be Plasterboard, and the other 50% to 9mm thick Villaboard				
10.2	Allow for Stud partition walls comprising of 92mm steel studs with 13mm Plasterboard/9mm thick villaboard lining to both sides	281	m2	115.00	32,315
10.3	Allow for Stud partition walls comprising of 115mm steel studs with 13mm Plasterboard/9mm thick villaboard lining to both sides	93	m2	125.00	11,625
10.4	E/O allowance to sound proof 20% of the internal walls	75	m2	40.00	2,992
10.5	E/O allowance to for 9mm thick compressed CFC sheeting to 20% of the internal walls on one side only	75	m2	30.00	2,244
<u>Blockwork & Lift Shaft</u>					
10.6	Allow for 190mm core filled blockwork	115	m2	175.00	20,125
<u>Operable walls</u>					
10.7	Operable wall to meeting rooms	15.9	m2	1,200.00	19,080
Stage 1 subtotal					88,381
STAGE 2					
<u>Lightweight partition</u>					
10.8	Allow for Stud partition walls comprising of 92mm steel studs with 13mm Plasterboard lining to both sides . Rate also allows for acoustic insulation	160	m2	117.00	18,720
<u>Blockwork</u>					
10.9	Allow for 190mm core filled blockwork with Pb fixed to top hats	12	m2	235.00	2,820
INTERNAL WALLS & INTERNAL SCREENS					109,921

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan		
Building: Nambour showgrounds				
Description	Quantity	Unit	Rate	Total
11 INTERNAL DOORS				
STAGE 1				
<u>Solid Core Doors</u>				
11.1	Single leaf solid core door including hardware, frame and finish	9 no.	1,000.00	9,000
11.2	Double leaf solid core door including hardware, frame and finish	6 no.	1,900.00	11,400
<u>Roller Shutter</u>				
11.3	Manual Roller shutter to the Store Room, 4m wide each	2 no.	6,000.00	12,000
Stage 1 Subtotal				32,400
STAGE 2				
<u>Hollow Core Doors</u>				
11.4	Single leaf hollow core door including hardware, frame and finish	4 no.	820.00	3,280
<u>Solid Core Doors</u>				
11.5	Single leaf solid core door including hardware, frame and finish to the Cash room.	1 no.	1,600.00	1,600
11.6	Double leaf solid core door including hardware, frame and finish	1 no.	1,900.00	1,900
Stage 2 Subtotal				6,780
INTERNAL DOORS				39,180

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
12 WALL FINISHES					
STAGE 1					
<u>Paint</u>					
12.1	Allow to paint both sides of the 13mm plasterboard / 9mm Villaboard stud walls and the internal face of external walls	1,758	m2	12.00	21,096
<u>Render and Paint</u>					
12.2	Allow to render paint the exposed face of the Retaining wall in the undercroft area and the blockwork in the undercroft area	548	m2	60.00	32,880
<u>Tiling</u>					
12.3	Allow for ceramic wall tiles to all WCs, amenities rooms, kitchen. Measure allows for tiling 2m high	206	m2	105.00	21,630
12.4	Extra over allowance to waterproof approx 20% of the walls which are tiled	41	m2	65.00	2,678
<u>Timber Cladding</u>					
12.5	Allow for timber cladding such similar to Spotted gum Veneer with concealed fixings to approx 50m2	50	m2	286.00	14,300
Stage 1 Subtotal					92,584
STAGE 2					
<u>Paint</u>					
12.6	Allow to paint both sides of the stud walls	469	m2	12.00	5,628
Stage 2 Subtotal					5,628
WALL FINISHES					98,212

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
13 FLOOR FINISHES					
13.1	Note - all rates below allow for floor preparation unless stated otherwise				
	STAGE 1				
	Carpet				
13.2	Allow for carpet to the Pavilion, Store, Entry area, Meeting Room and Office	1,043	m2	55.00	57,365
	Tiling				
13.3	Allow to tiled finish to the kitchen & toilet areas	140	m2	95.00	13,300
	Concrete slab				
13.4	Allow for a basic trowel finish to the Undercroft store	134	m2	5.50	737
13.5	Allow for a architectural surface finish to the concrete in the undercroft area	883	m2	35.00	30,905
13.6	Allow for a architectural surface finish to the concrete in the undercroft area	191	m2	35.00	6,685
	Other				
13.7	Allow for skirtings	1	item	9,045.00	9,045
	Stage 1 subtotal				118,037
	STAGE 2				
	Carpet				
13.8	Allow for carpet to the Undercroft offices	187	m2	55.00	10,285
13.9	Allow for skirtings	1	item	1,000.00	1,000
	Stage 2 subtotal				11,285
	FLOOR FINISHES				129,322

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
14 CEILING FINISHES					
STAGE 1					
Suspended Ceilings					
14.1	Allow for a painted Suspended plasterboard ceiling.	265	m2	100.00	26,500
14.2	E/O for villaboard in lieu of plasterboard to the toilet areas	98	m2	15.00	1,470
Sundries					
14.3	Allow for shadowlines and cornices	1	item	8,500.00	8,500
14.4	Allow for sundries, such as bulkheads etc	1	item	2,500.00	2,500
Stage 1 subtotal					38,970
STAGE 2					
Suspended Ceilings					
14.5	Allow for a painted Suspended plasterboard ceiling to the offices in the undercroft area.	187	m2	100.00	18,700
14.6	Allow for sundries, such as shadowlines, cornices and bulkheads	1	item	1,500.00	1,500
Stage 2 subtotal					20,200
CEILING FINISHES					59,170

Item 8.4.2 Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds
 Attachment 1 Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
15 FITMENTS, FITTINGS & FIXTURES					
<u>Pavillion</u>					
15.1	Allow for miscellaneous furniture in the Pavillion	1	item	9,000.00	9,000
<u>Kitchen</u>					
15.2	Allow for a kitchen including the following items:				
15.3	Under Counter Dishwasher, approx 600w x 660d x 870h	1	item	3,900.00	3,900
15.4	Coffee machine, equivalent to Boema Deluxe	1	item	5,000.00	5,000
15.5	Coffee Grinder	1	item	800.00	800
15.6	Pressure Toaster, 6 slice with smooth plate	1	item	700.00	700
15.7	1300W Microwave	1	item	1,600.00	1,600
15.8	Under Counter Ice machine, similar to Brema CB425A, approx dimensions 500w x 580d x 800h	1	item	2,500.00	2,500
15.9	170L Freezer	1	item	850.00	850
15.10	Full height fridge with glass door, 660L	1	item	1,500.00	1,500
15.11	Prep Fridge 1100w x 900d x 1350h	1	item	6,400.00	6,400
15.12	Cook top + Oven	1	item	5,000.00	5,000
15.13	Stainless Steel bench approx 3m long including a sink / hand wash basin fixed to the wall; with stainless steel wall cladding fixed to wall	1	item	16,000.00	16,000
15.14	Cake Display 1200mm wide	1	item	3,400.00	3,400
15.15	Milkshake mixer	1	item	300.00	300
15.16	Shelving	1	item	5,000.00	5,000
15.17	Cafe Service / Servery Counter	3.4	m	3,800.00	12,920
Kitchen equipment subtotal					65,870
15.18	Allow for a Grease arrestor	1	item	6,500.00	6,500
15.19	Allow for a Cool room	1	item	12,000.00	12,000
<u>Male Toilets (next to Pavillion)</u>					
15.20	Compact laminate vanity; allow for Vanity bench top 450mm wide with 200mm high fascia, top prepared to receive basins, all laminate finished and supported on and including metal brackets	4.20	m	550.00	2,310
15.21	Mirror fixed to the wall above the vanity. Allow for a mirror 1m high	5.00	no.	190.00	950
15.22	Allow for Coat hooks fixed to the walls	2	no.	35.00	70
15.23	Toilet Roll Holders	2	no.	250.00	500
15.24	Dryer	2	no.	800.00	1,600
15.25	WC - allow for a vitreous china cistern and pan with plastic lid and seat				Incl in Hydraulics
15.26	Soap dispensers	5	no.	220.00	1,100
15.27	Laminate Toilet Cubicles	2	no.	1,500.00	3,000
<u>Female Toilets (next to Pavillion)</u>					
15.28	Compact laminate vanity; allow for Vanity bench top 450mm wide with 200mm high fascia, top prepared to receive basins, all laminate finished and supported on and including metal brackets	5.90	m	550.00	3,245
15.29	Mirror fixed to the wall above the vanity. Allow for a mirror 1m high	7.00	no.	190.00	1,330

Item 8.4.2 Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds
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Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
15 FITMENTS, FITTINGS & FIXTURES				<i>(Continued)</i>	
15.30	Allow for Coat hooks fixed to the walls	8	no.	35.00	280
15.31	Toilet Roll Holders	8	no.	250.00	2,000
15.32	Dryer	3	no.	800.00	2,400
15.33	WC - allow for a vitreous china cistern and pan with plastic lid and seat				Incl in Hydraulics
15.34	Soap dispensers	7	no.	220.00	1,540
15.35	Laminate Toilet Cubicles	8	no.	1,500.00	12,000
	<u>Male Toilets (next to Offices)</u>				
15.36	Compact laminate vanity; allow for Vanity bench top 450mm wide with 200mm high fascia, top prepared to receive basins, all laminate finished and supported on and including metal brackets	1.00	item	600.00	600
15.37	Mirror fixed to the wall above the vanity. Allow for a mirror 1m high	1.00	no.	190.00	190
15.38	Allow for Coat hooks fixed to the walls	2	no.	35.00	70
15.39	Toilet Roll Holders	2	no.	250.00	500
15.40	Dryer	2	no.	800.00	1,600
15.41	WC - allow for a vitreous china cistern and pan with plastic lid and seat				Incl in Hydraulics
15.42	Soap dispensers	1	no.	220.00	220
15.43	Laminate Toilet Cubicles	2	no.	1,500.00	3,000
	<u>Female Toilets (next to Offices)</u>				
15.44	Compact laminate vanity; allow for Vanity bench top 450mm wide with 200mm high fascia, top prepared to receive basins, all laminate finished and supported on and including metal brackets	1.00	item	600.00	600
15.45	Mirror fixed to the wall above the vanity. Allow for a mirror 1m high	1.00	no.	190.00	190
15.46	Allow for Coat hooks fixed to the walls	2	no.	35.00	70
15.47	Toilet Roll Holders	2	no.	250.00	500
15.48	Dryer	1	no.	800.00	800
15.49	WC - allow for a vitreous china cistern and pan with plastic lid and seat				Incl in Hydraulics
15.50	Soap dispensers	1	no.	220.00	220
15.51	Laminate Toilet Cubicles	2	no.	1,500.00	3,000
	<u>Accessible Toilets x 2</u>				
15.52	Compact laminate vanity; allow for Vanity bench top 450mm wide with 200mm high fascia, top prepared to receive basins, all laminate finished and supported on and including metal brackets	2.00	item	600.00	1,200
15.53	Mirror fixed to the wall above the vanity. Allow for a mirror 1m high	2.00	no.	190.00	380
15.54	Allow for Coat hooks fixed to the walls	2	no.	35.00	70
15.55	Toilet Roll Holders	2	no.	250.00	500
15.56	Dryer	2	no.	450.00	900
15.57	Grab rails	2	item	500.00	1,000
15.58	WC - allow for a vitreous china cistern and pan with plastic lid and seat				
15.59	Soap dispensers	2	no.	220.00	440

Item 8.4.2 Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds
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Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
15 FITMENTS, FITTINGS & FIXTURES				<i>(Continued)</i>	
<u>Storage Rooms</u>					
15.60	Allow for shelves and other miscellaneous furniture to the storage room adjacent to the pavilion	45	m2	75.00	3,375
15.61	Allow for shelves and other miscellaneous furniture to the storage room in the Undercroft area	129	m2	50.00	6,450
<u>Meeting Rooms</u>					
15.62	Desk / Meeting room table	1	no.	2,500.00	2,500
15.63	Chairs	36	no.	300.00	10,800
15.64	Credenza	1	no.	600.00	600
15.65	Kitchenette, including a fridge, microwave, sink and cupboard (sink is included as part of Hydraulic services)	2	no.	4,500.00	9,000
15.66	Whiteboards	2	no.	500.00	1,000
<u>Offices</u>					
15.67	Allow for L shaped desks	3	no.	1,400.00	4,200
15.68	Allow for 1 ergonomic chair per workstation	3	no.	350.00	1,050
15.69	Mobile pedestals - allow for 1 per workstation	3	no.	160.00	480
15.70	Full height cupboard	2	no.	1,000.00	2,000
<u>Sundries</u>					
15.71	Signage	1	item	5,000.00	5,000
15.72	Allow for other miscellaneous FF&E	1	item	9,410.00	9,410
Stage 1 subtotal					197,610
STAGE 2					
<u>Offices x 4</u>					
15.73	Allow for L shaped desks	4	no.	1,400.00	5,600
15.74	Allow for 1 ergonomic chair per workstation	4	no.	350.00	1,400
15.75	Mobile pedestals - allow for 1 per workstation	4	no.	160.00	640
15.76	Full height cupboard	4	no.	1,000.00	4,000
<u>Show Office</u>					
15.77	Kitchenette, including a fridge, microwave, sink and cupboard (sink is included as part of Hydraulic services)	1	no.	4,500.00	4,500
15.78	Miscellaneous furniture, such as chairs etc	1	item	4,680.00	4,680
<u>Store</u>					
15.79	Allow for shelves	1	item	3,000.00	3,000
<u>Board Room</u>					
15.80	Board Room Table	3	no.	2,200.00	6,600
15.81	Chairs	20	no.	300.00	6,000
15.82	Credenza	1	no.	600.00	600
15.83	Kitchenette, including a fridge, microwave, sink and cupboard (sink is included as part of Hydraulic services)	1	no.	6,500.00	6,500
15.84	Whiteboards	1	no.	500.00	500

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan		
Building: Nambour showgrounds				
Description	Quantity	Unit	Rate	Total
15 FITMENTS, FITTINGS & FIXTURES				<i>(Continued)</i>
Sundries				
15.85 Allow for other miscellaneous FF&E	1	item	2,201.00	2,201
Stage 2 subtotal				46,221
FITMENTS, FITTINGS & FIXTURES				243,831

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
16 HYDRAULIC SERVICES					
<u>STAGE 1</u>					
16.1	Allowance for Hydraulics services. Rate allows for rough in of services to the Ground floor	2,561	m2	90.49	231,752
16.2	BWICS		Item		3,476
<u>STAGE 2</u>					
16.3	Allow for the installation of the kitchen sinks in stage 2. Kitchen Joinery priced with the FF&E		1 item	8,500.00	8,500
HYDRAULIC SERVICES					243,728

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
17 MECHANICAL SERVICES					
STAGE 1					
17.1	8m wide Big Ass fans	2	no.	10,500.00	21,000
17.2	Allowance for Mechanical services. The rate allows for ventilation to the internal spaces on the Upper floor (excluding the Pavillion, which has the 2 fans)	344	m2	45.00	15,480
17.3	Extra over for air-conditioning to meeting rooms and offices on the Upper floor	60	m2	270.00	16,200
17.4	BWICS	1	Item		3,960
STAGE 2					
17.5	Allow for ventilation to the undercroft offices	187	m2	35.00	6,545
17.6	Extra over for air-conditioning to meeting rooms and offices on the Grd floor	169	m2	270.00	45,630
17.7	BWICS	1	Item		6,522
Optional Air-conditioning to Pavillion - \$315k					
17.8	Optional Air-conditioning to Pavillion	900	m2	250.00	0
17.9	Allow for plant room	75	m2	700.00	0
17.10	allow for associated preliminaries	0		277,500.00	0
17.11	Rounding				0
MECHANICAL SERVICES					115,337

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
18 ELECTRIC LIGHT & POWER					
STAGE 1					
18.1	Allowance for Electrical Services, including light and power, distribution boards and minimal AV to both the Upper floor and Ground Floor	2,561	m2	94.75	242,643
18.2	CCTV / surveillance equipment		item		EXCL
18.3	Extra over allowance for Projectors and screens to the meeting rooms		item		EXCL
18.4	BWICS		Item		3,640
STAGE 2					
18.5	Allowance for additional Electrical Services for the Undercroft offices, including light and power, distribution boards and minimal AV	187	m2	115.00	21,505
ELECTRIC LIGHT & POWER					267,787

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan		
Building: Nambour showgrounds				
Description	Quantity	Unit	Rate	Total
19 LIFT				
STAGE 1				
19.1 Passenger lift		Item		75,000
19.2 BWICS		Item		3,750
LIFT				78,750

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
20 FIRE PROTECTION					
20.1	Allowance for Fire hydrants, fire hose, smoke detectors and EWIS	2,561	m2	45.00	115,244
20.2	BWICS		Item		2,881
	FIRE PROTECTION				118,125

Item 8.4.2 Scoping Study and Facility Design for a Multi – Use Facility at Nambour Showgrounds
 Attachment 1 Scoping Study & Facility Design for a Multi-Use Facility at Nambour Showgrounds

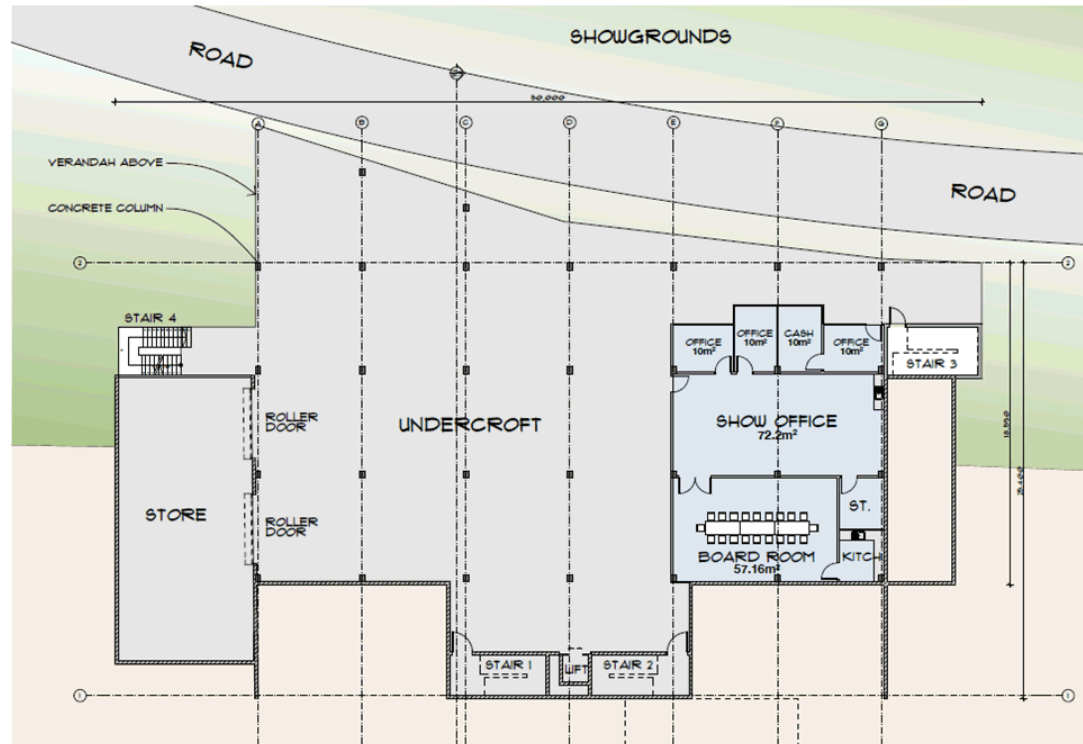
Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan				
Building: Nambour showgrounds						
Description	Quantity	Unit	Rate	Total		
21 EXTERNAL SERVICES						
<u>Electrical Power & Communications Supply</u>						
21.1	Note: APK is assuming the same trench will be used for both the electrical and comms cables					
21.2	Allow to provide electricity	1	item	7,500.00	7,500	
<u>Security</u>						
21.3	Allow for surveillance equipment throughout the site, including to the car park area				EXCLUDED	
<u>Water Supply</u>						
21.4	Allow to install a copper pipe in trench	50	m	100.00	5,000	
21.5	Allow to connect water supply	1	no.	1,250.00	1,250	
<u>Sewage</u>						
21.6	Allow to connect into existing sewage system. Rate allows for approx 10m of pipe in trench and connection into the existing infrastructure	1	item	5,000.00	5,000	
<u>Stormwater</u>						
21.7	Allow to connect into existing stormwater system. Rate allows for approx 10m of pipe in trench and connection into the existing infrastructure	1	item	5,000.00	5,000	
<u>Rainwater Recycling</u>						
21.8	Allow for rainwater recycling including storage tanks and reticulation	1	item	17,000.00	17,000	
EXTERNAL SERVICES					40,750	

Project: Strategic Leisure Group		Details: 06.24.2015 Nambour Showgrounds Cost Plan			
Building: Nambour showgrounds					
Description	Quantity	Unit	Rate	Total	
22 EXTERNAL WORKS					
<u>Car Park</u>					
22.1	Note: APK is assuming that there is no need for an OSD tank because of the adjacent detention area				
22.2	Allow for an concrete paving to parking, drop off and loading on a basecourse	593	m2	110.00	65,178
22.3	Allow for stormwater drainage to the carpark. Rate allows for pits, storwater drains and RCP pipes	593	m2	15.00	8,888
22.4	Allow for concrete kerb and gutter	208	m	65.00	13,520
22.5	Allow for linemarkings		item		5,000
22.6	Allow for disabled parking signs	2	no.	150.00	300
<u>Soft Landscaping</u>					
22.7	Allowance for Soft Landscaping		Item		15,000
<u>Public Signage</u>					
22.8	Allow for public signage	1	item	10,000.00	10,000
<u>Miscellaneous</u>					
22.9	Allow for sundry external works items	1	item	11,788.63	11,789
22.10	Face doube brick wall to bin area 2m high including footings and capping	11	m	695.00	7,840
22.11	Concrete steps, suspended slab and brick walls at Load Dock including galv. steel edging to slab	1	item	6,750.00	6,750
EXTERNAL WORKS					144,264

APPENDIX 2:

CONCEPT PLANS

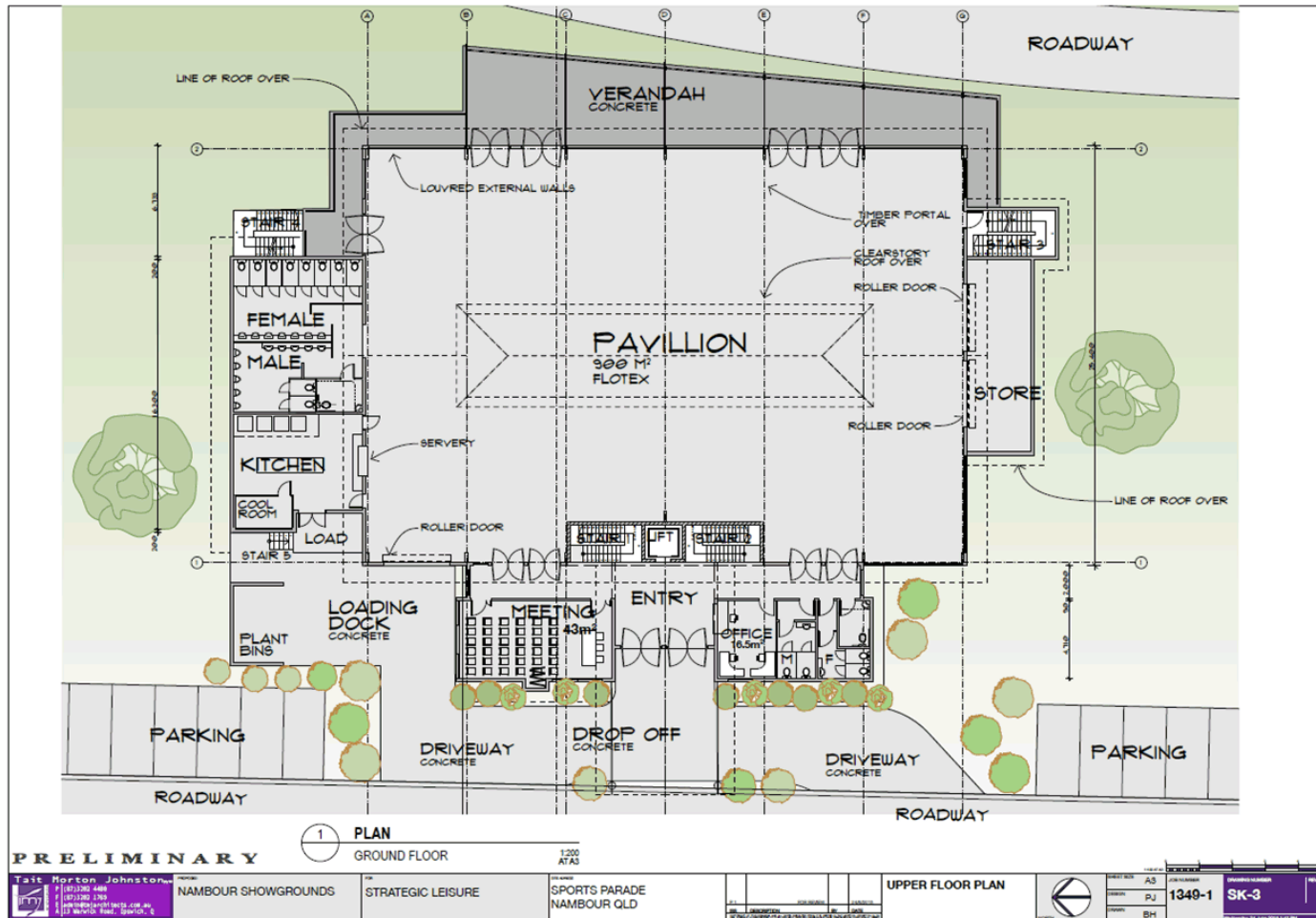


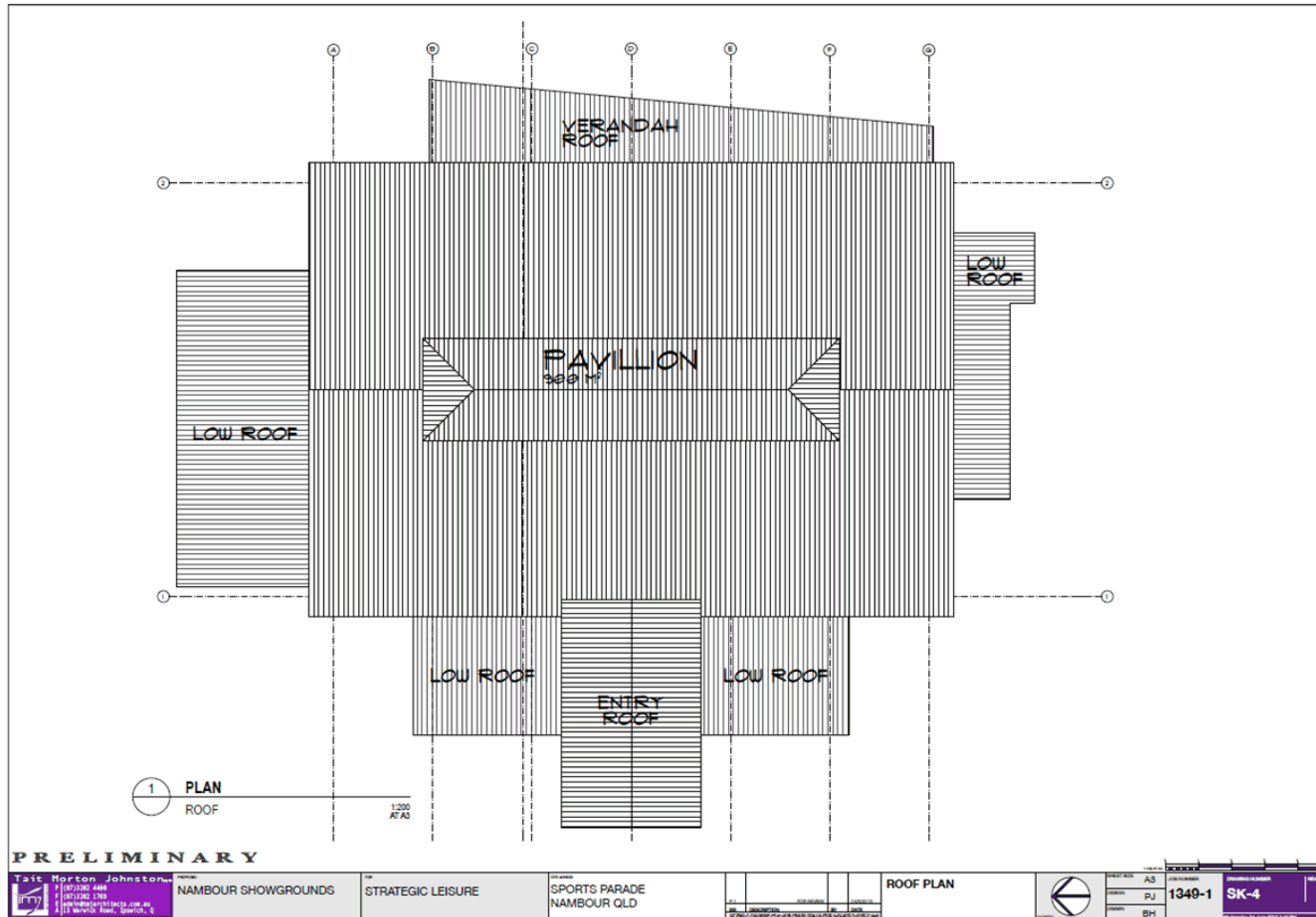


1 PLAN
UNDERCROFT
1:200
A7A3

PRELIMINARY

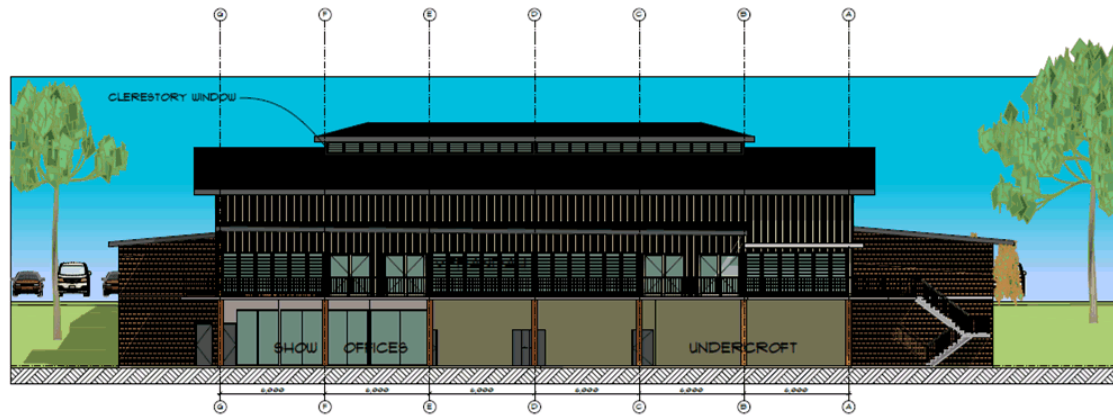
<p>Tait Morton Johnstone 137 320 4888 137 320 2389 137 320 4888 137 320 4888</p>	<p>PROJECT NAME: NAMBOUR SHOWGROUNDS</p>	<p>PROJECT TYPE: STRATEGIC LEISURE</p>	<p>PROJECT LOCATION: SPORTS PARADE NAMBOUR QLD</p>	<p>DATE: 13/05/2016</p>	<p>SCALE: 1:200</p>	<p>GROUND FLOOR PLAN</p>		<p>DESIGNER: AS</p>	<p>PROJECT NUMBER: 1349-1</p>	<p>SKETCH NUMBER: SK-2</p>
	<p>DATE: 13/05/2016</p>	<p>SCALE: 1:200</p>	<p>GROUND FLOOR PLAN</p>		<p>DESIGNER: AS</p>	<p>PROJECT NUMBER: 1349-1</p>	<p>SKETCH NUMBER: SK-2</p>			







1 PLAN
ROAD ELEVATION
1:200
A7/B



2 PLAN
OVAL ELEVATION
1:200
A7/B

PRELIMINARY

Tait Worton Johnston
 18713401 4488
 18713402 3789
 18713403 3789
 18713404 3789
 18713405 3789

NAMBOUR SHOWGROUNDS

STRATEGIC LEISURE

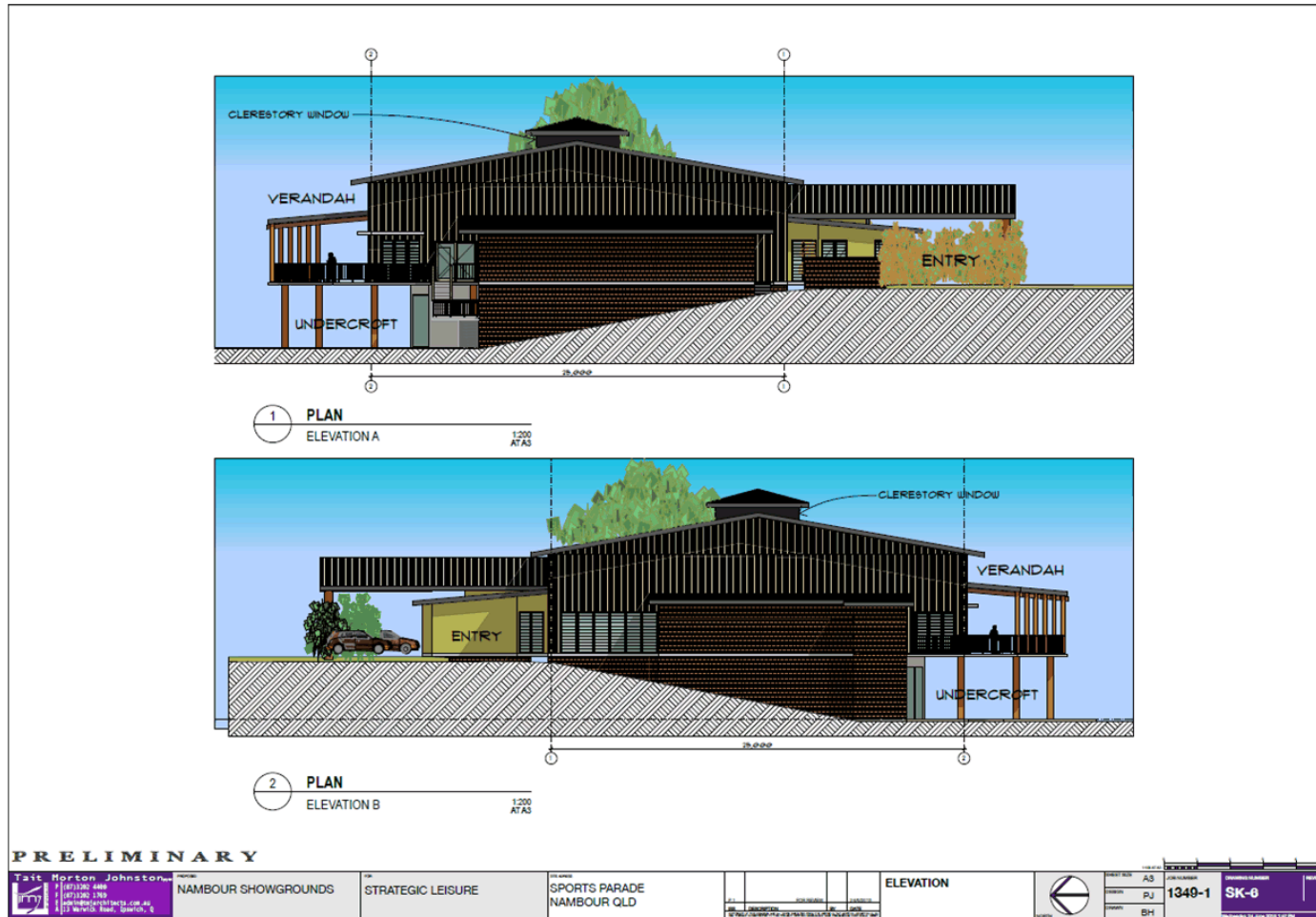
SPORTS PARADE
 NAMBOUR QLD

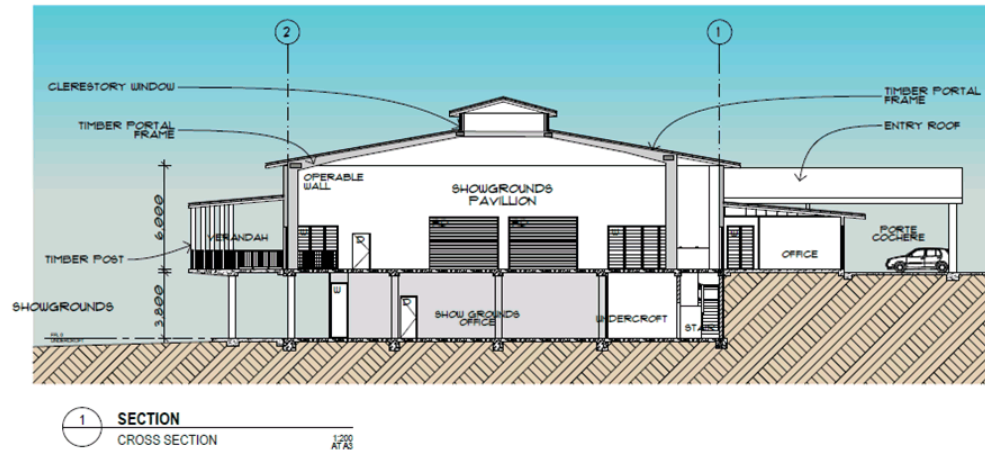
DATE	DESCRIPTION

ELEVATIONS

Scale: 1:200
 North Arrow

PROJECT NO: A3
 DRAWING NO: PJ
 SHEET NO: 1349-1 SK-5
 DATE: 13/05/2016





PRELIMINARY

<p>Tait Norton Johnstone 7 (07) 3262 4466 1 (07) 3262 2769 111 South Street, Nambour, QLD 4559</p>	PROJECT NAMBOUR SHOWGROUNDS	CLIENT STRATEGIC LEISURE	LOCATION SPORTS PARADE NAMBOUR QLD	DRAWING TITLE SECTION	SHEET NO. A3	PROJECT NO. 1340-1	DRAWING NO. SK-7
	DATE 13/05/2016	DRAWN BY PU	CHECKED BY BH	SCALE 1:200	PROJECT MANAGER A3	PROJECT NO. 1340-1	DRAWING NO. SK-7

MAP I:

VENUES WITHIN 10 MINUTE DRIVE OF NAMBOUR
SHOWGROUNDS AND ACROSS SUNSHINE COAST
REGION

Venues 200+ banquet seating and/ or large flat floor

