

**DETAILED PLANNING
AREA PLAN**

**CURRIMUNDI
DISTRICT RETAIL
CENTRE**

SEPTEMBER 2001

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TABLE OF CONTENTS

1.0 INTENT2

2.0 CONTEXT.....2

3.0 COMPOSITION2

4.0 DEVELOPMENT CRITERIA2

 4.1 Compliance with Planning Scheme2

 4.1.1 Performance Objective.....2

 4.1.2 Performance Criteria2

 4.2 Building Scale3

 4.2.1 Performance Objective.....3

 4.2.2 Performance Criteria3

 4.3 Building Setbacks and Landscaping3

 4.3.1 Performance Objective.....3

 4.3.2 Performance Criteria3

5.0 URBAN DESIGN PERFORMANCE CRITERIA.....4

 5.1 Desirable Character.....4

 5.2 Design Philosophy4

 5.3 Building Form4

 5.3.1 Siting and Envelopes.....4

 5.3.2 Architectural Theme5

 5.5 Access and Landscape5

6.0 PRECINCTS FOR SITE DEVELOPMENT PLANS6

 6.1 Precinct 1.....6

 6.1.1 Intent6

 6.1.2 Land Uses.....6

 6.1.3 Site Development Plan Design Parameters.....7

 6.2 Precinct 2.....7

 6.2.1 Intent7

 6.2.2 Land Uses.....7

 6.2.3 Site Development Plan Design Parameters.....8

 6.3 Precincts 3 and 48

 6.3.1 Intent8

 6.3.2 Land Uses.....8

 6.3.3 Site Development Plan Design Parameters.....9

 6.4 Precinct 5.....9

 6.4.1 Intent9

 6.4.2 Land Uses.....9

 6.4.3 Site Development Plan Design Parameters.....10

 6.5 Precinct 6.....10

 6.5.1 Intent10

 6.5.2 Land Uses.....10

 6.5.3 Site Development Plan Design Parameters.....10

 6.6 Precinct 7.....11

 6.6.1 Intent11

 6.6.2 Land Uses.....11

 6.6.3 Site Development Plan Design Parameters.....11

7.0 SITE DEVELOPMENT PLAN SOLUTIONS11

FIGURE 1 – DPA PLAN14

1.0 INTENT

- 1.0.1 This Detailed Planning Area (DPA) Plan is intended to fulfil the Master Planned Community Development Process provisions of Development Control Plan 1 - Kawana Waters (DCP 1) as they relate to Detailed Planning Area 5 ("DPA 5"). The land is an approximately 5.2 hectare parcel on the north-western corner of Nicklin Way and Bellara Drive, Currimundi that is designated under the DCP as "District Retail Centre".
- 1.0.2 As stated in the DCP, the District Retail Centre is intended to provide for a commercial centre providing neighbourhood to district catchment level retail, office, entertainment, community, recreational and other ancillary facilities. It is envisaged as accommodating a centre to serve several neighbourhoods with a total population of up to 35 000 persons.

2.0 CONTEXT

- 2.0.1 This DPA Plan is facilitated by DCP 1. It complies with, and must be viewed in conjunction with, the DCP and the following documents -
- (a) Caloundra City Planning Scheme;
 - (b) Planning Scheme Policies;
 - (c) The Transport Infrastructure Agreement; and
 - (d) The Development Agreement.

3.0 COMPOSITION

- 3.0.1 This DPA Plan comprises the following elements -
- (a) A DPA Plan (Figure 1) that shows the nature, form, extent and location of envisaged development, connections to roads and pedestrian/cyclist ways and divides the site into precincts for which Site Development Plans are intended to be prepared; and
 - (b) Written documentation setting out Development Criteria, Urban Design Performance Criteria and Site Development Plan Design Parameters for suitable development of the site generally and within the precincts.

4.0 DEVELOPMENT CRITERIA

4.1 COMPLIANCE WITH PLANNING SCHEME

4.1.1 *Performance Objective*

To ensure that development in the District Retail Centre complies with the Planning Scheme.

4.1.2 *Performance Criteria*

Development in DPA 5 is to satisfy the following development criteria -

- (a) Development requirements and criteria in the Planning Scheme, particularly -
 - (i) Section 2.5(3) – as applicable to development in the Local Business Zone;
 - (ii) Part 3 – General Requirements of Development – as applicable;
 - (iii) Section 4.18 – Shopping and Commercial Development; and

- (iv) Part 6 – Subdivision of Land.
- (b) No buildings are to be greater than three storeys in height.
- (c) Landscaping is to be carried out generally in accordance with the Landscape Concept Plan (DD02).
- (d) Potential noise sources are to be treated to comply with the Environmental Protection Act 1994.

4.2 BUILDING SCALE

4.2.1 *Performance Objective*

To ensure the scale of buildings and structures are consistent with the intended role of the District Retail Centre as a commercial centre providing neighbourhood to district level retail, office, entertainment, community, recreational and ancillary facilities, but to have regard for the scale of neighbouring residential development.

4.2.2 *Performance Criteria*

Development in DPA 5 is to satisfy the following development criteria -

- (a) No buildings are to be higher than three storeys.
- (b) Buildings in Precinct 5 are not to be higher than two storeys.

4.3 BUILDING SETBACKS AND LANDSCAPING

4.3.1 *Performance Objective*

To ensure building setbacks are adequate to provide landscaped areas to enhance streetscape character and protect the visual amenity of the area.

4.3.2 *Performance Criteria*

Development in DPA 5 is to satisfy the following development criteria –

- (a) Setbacks are to reduce impressions of building bulk, permit the passage of light and air and facilitate adequate sightlines for vehicles.
- (b) Development is to incorporate setbacks and landscaped areas to road frontages and boundaries adjoining residential areas that are appropriate to the scale and function of the respective buildings and to the nature of development on the adjoining land.
- (c) Setbacks around vehicular entry points are to be adequate to ensure sufficient sightlines for vehicular movements of the type envisaged at those entry points.
- (d) Landscaping solutions are to particularly focus on major road frontages and vehicle and pedestrian entry points.

5.0 URBAN DESIGN PERFORMANCE CRITERIA

5.1 DESIRABLE CHARACTER

5.1.1 The District Retail Centre is to be developed as an integrated district level commercial centre that provides a pedestrian-friendly environment, a clear and interactive community focus, public spaces and high quality urban design.

5.2 DESIGN PHILOSOPHY

5.2.1 The Philosophy of the commercial centre design has the following aims -

- (i) To develop an Architectural Statement that –
 - (a) is an attractive landmark for the District Retail Centre;
 - (b) is intimate and user-friendly; and
 - (c) acknowledges the site's role as a neighbourhood to district level centre.
- (ii) To adopt sound retail planning principles to enhance amenity and commercial viability.

5.3 BUILDING FORM

5.3.1 *Siting and Envelopes*

The siting and envelope of all buildings is to be based on the following criteria -

- (a) Maximising the relationship of shopfront and pedestrian linkages to –
 - (i) Bellara Drive and Nicklin Way;
 - (ii) carpark precincts; and
 - (iii) the adjoining residential area and its pedestrian and open space networks.
- (b) Positioning the larger scaled form (supermarket) towards the rear of the site, with the smaller scaled elements (specialty shops) forming the visual streetscape. The siting and envelopes of the buildings in the peripheral precincts should facilitate sightlines to the shopping centre and create a sense of openness and 'breathing space' around the building envelope.
- (c) Avoiding unreasonable amenity conflicts with neighbouring residential areas by establishing landscape buffering along street frontages and residential boundaries.
- (d) Providing a building configuration that suits the operational requirements of a supermarket and assists the flexibility of tenancy breakup and leasing opportunities for the specialty shops.
- (e) Creating building envelopes that, in a plan and elevated sense, present aesthetically pleasing facades to all sides with a backwall that is not blank.
- (f) Siting and envelope planning is to enable the overall site to function as a total entity to create an intimate and user-friendly centre.

5.3.2 *Architectural Theme*

The buildings are to comply with the following criteria –

- (a) The design of the district retail centre is to embody traits of the surrounding residential areas so that the centre becomes an extension of the residential area.
- (c) The built form of the shopping centre is to incorporate the following architectural elements –
 - (i) Pitched roof forms with overhangs to shade walls, and no flat roofs or deep parapets and fascias.
 - (ii) Where appropriate to the scale of the building, reduction in the scale and height of walls to facilitate a domestic/residential image.
- (d) The shopping centre is to achieve the following elements in its entrance features –
 - (i) Reinforce its 'Marketplace' image by establishing focal points for the centre.
 - (ii) Create an attractive (memorable) landmark, themed on the "Lifesaver Tower" which has a synergy with the traditional seaside character of Caloundra.
 - (iii) Provide a welcoming axis for pedestrian flow between important nodes of the shopping centre site.
 - (iv) Establish a focus towards the community plaza area. The functional design of the community plaza area will be dependent upon future market research to gauge customer acceptance and preference for proposed usages. The community plaza area could incorporate facilities such as play areas, seating zones, telephones and a community notice board for the benefit of customers and employees. Interesting use of semi translucent roof cover, pavement patterns, subtle change of level and landscape will provide an intimate relaxed environment of generous size, height, light and ambience.

5.5 ACCESS AND LANDSCAPE

5.5.1 The design of the shopping centre should comply with the following criteria –

- (a) The carpark should have an easy and visible external road access with legible and efficient internal traffic circulation.
- (b) Large areas of open paved carpark should be avoided, in favour of smaller parking precincts, separated by pedestrian accessways, landscape and built form.
- (c) The carparking layout should generally allow for driveways and parking aisles to run 90° to the main building facade.
- (d) Landscaped pedestrian and bikeway spines should link the building with all carparking areas and external footpaths where appropriate to provide for a convenient and safe pedestrian circulation network and maximise sightlines to shopfronts.
- (e) On grade carparking should focus on the main facade and entrance to minimise walking distances for customers.
- (f) There should be segregation of service vehicle access and loading to ensure safety of circulation for customer and their vehicles.
- (g) Taxi and short-term setdown bays for aged and disabled should be provided adjacent to the main entrance.
- (h) Carparking locations which offer a safe and minimum distance of travel to shopfronts should be provided for disabled persons and parents with prams.

- (i) A segregated staff parking facility should be provided in close and safe proximity to the supermarket staff door and specialty shopfronts.
- (j) Adequate bike rack provisions should be located in close proximity to shopfronts.
- (k) The loading dock, refuse and service vehicle manoeuvring areas should be hidden and buffered from the carpark, external roads and neighbouring precinct and residential areas.
- (l) Landscape areas should be provided within the carpark precincts and combined with planting along road frontages and residential boundaries to enhance the visual dominance of a sub-tropical image in the streetscape character, minimise adverse visual impacts and provide shade to the carpark.

6.0 PRECINCTS FOR SITE DEVELOPMENT PLANS

6.0.1 The six Precincts into which the site is divided are shown in Figure 1.

6.1 PRECINCT 1

6.1.1 Intent

This precinct is intended to be developed for a shopping centre that provides neighbourhood to district level retail and ancillary facilities. The centre will be in an open, marketplace form, anchored by a substantial supermarket and incorporating specialty shops. The centre should not exceed 5600 m² of gross floor area.

6.1.2 Land Uses

- (a) The nature of land uses suited to this precinct are generally as would be expected to be found in a neighbourhood to district level shopping centre.
- (b) The Site Development Plan for this precinct should comprise the following Table of Development --

PRECINCT 1

Column 1 Permitted Uses	Column 2 Permitted Subject to Conditions	Column 3 Consent Required	Column 4 Prohibited Uses
Shopping Centre Cottage Crafts & Sales Indoor Entertainment	Function Room	Public Purpose Public Utility	Any purpose other than those referred to in Columns 1, 2 & 3

- (c) For the purposes of this Precinct of DPA 5, the terms defined herein have the meanings assigned to them by the Caloundra City Planning Scheme, or as otherwise stated below --
 - Shopping Centre excludes a discount department store and more than one supermarket, but includes other uses as defined in the Planning Scheme under the term Shopping Centre;
 - Indoor Entertainment excludes a cinema or theatre.
- (d) Development in this precinct should be carried out only in accordance with an approved Site Development Plan.

6.1.3 Site Development Plan Design Parameters

Development facilitated by a Site Development Plan should satisfy the following parameters –

- (a) The shopping centre should generally comprise a single planning unit of retail and commercial activities anchored by a supermarket.
- (b) The positioning of the supermarket and specialty shops should create a substantially sized pedestrian plaza in the vicinity of the supermarket entry.
- (c) Servicing areas, including loading docks, should be suitably located and/or treated to minimise impacts on neighbouring residential properties. A significant element is a substantial landscaped buffer along the western boundary adjoining parkland and pedestrian and cycle ways.
- (d) The parking area should incorporate a satisfactory hierarchy of aisles, the principal aisles of which provide access to the other site precincts.
- (e) Access to major servicing areas from entry driveways should be generally independent of public parking and circulation aisles and suitable solutions should be found for minimising the mix of service vehicle and patron traffic.
- (f) Pedestrian prioritised accessways should link residential and proximate commercial areas with the main shopping centre buildings.
- (g) A combination of urban design measures and landscaping should address the visual impact of the parking areas. Any solution should include shade trees in the car park.
- (h) Signage within the site shall not dominate the Nicklin Way streetscape and shall be appropriately designed and co-ordinated so as not to detract from the visual amenity of the locality.

6.2 PRECINCT 2

6.2.1 Intent

This precinct is intended to be developed for predominantly retail activities that complement the shopping centre but which would not be readily accommodated in it because of floorspace requirements, a need for direct vehicular access or the like. Development should not exceed 1300 m² of gross floor area.

6.2.2 Land Uses

- (a) The precinct is to be developed for uses such as showrooms, shops that function as showrooms and a range of other uses to which a showroom-like building could be readily adapted may be acceptable in certain circumstances.
- (c) The Site Development Plan for this precinct should comprise the following Table of Development –

PRECINCT 2

Column 1 Permitted Uses	Column 2 Permitted Subject to Conditions	Column 3 Consent Required	Column 4 Prohibited Uses
Shop Service Industry Showroom Cottage Crafts & Sales	Indoor Entertainment Veterinary Surgery	Funeral Parlour Public Purpose Public Utility	Any purpose other than those referred to in Columns 1, 2 & 3

- (c) For the purposes of this Precinct of DPA 5, the terms defined herein have the meanings assigned to them by the Caloundra City Planning Scheme, or as otherwise stated below –
- Indoor Entertainment excludes a cinema or theatre;
 - The aggregate gross floor area of Shop, Service Industry and Cottage Crafts and Sales premises is not to exceed 100m²;
 - The aggregate gross floor area of Indoor Entertainment, Veterinary Surgery and Funeral Parlour is not to exceed 500m²;
- (d) Development in this precinct should be carried out only in accordance with an approved Site Development Plan.

6.2.3 Site Development Plan Design Parameters

Development facilitated by a Site Development Plan should satisfy the following parameters –

- (a) Buildings should have a significant presence in the Nicklin Way streetscape.
- (b) Buildings should be predominantly of single storey construction.
- (c) Service vehicle facilities, such as loading bays and refuse collection facilities, should be accommodated wholly within the precinct.

6.3 PRECINCTS 3 AND 4

6.3.1 Intent

These precincts are intended to provide food and related services to the public. Development in Precincts 3 and 4 should not exceed an aggregate gross floor area of 700m².

6.3.2 Land Uses

- (a) These precincts are to be developed for uses such as food outlets and restaurants. A range of other uses may be acceptable in certain circumstances in that they are capable of providing, or complementing, food services.
- (b) The Site Development Plan for each of these precincts should comprise the following Table of Development –

PRECINCTS 3 AND 4

Column 1 Permitted Uses	Column 2 Permitted Subject to Conditions	Column 3 Consent Required	Column 4 Prohibited Uses
Food Outlet Restaurant	Function Room Indoor Entertainment	Public Purpose Public Utility	Any purpose other than those referred to in Columns 1, 2 & 3

- (c) For the purposes of these Precincts of DPA 5, the terms defined herein have the meanings assigned to them by the Caloundra City Planning Scheme, or as otherwise stated below –
 - The aggregate gross floor area of Shop and Service Industry is not to exceed 300m².

- (d) Development in these precincts should be carried out only in accordance with an approved Site Development Plan.

6.3.3 *Site Development Plan Design Parameters*

Development facilitated by a Site Development Plan should satisfy the following parameters –

- (a) Buildings should present as prominent elements in the Nicklin Way streetscape.
- (b) Buildings should be predominantly of single storey construction.
- (c) Service vehicle facilities should be accommodated wholly within the precinct.
- (d) Drive-through take-away food facilities are acceptable, subject to satisfactory resolution of traffic safety and efficiency issues.
- (e) Signage within the site shall not dominate the Nicklin Way streetscape and shall be appropriately designed and co-ordinated so as not to detract from the visual amenity of the locality.

6.4 **PRECINCT 5**

6.4.1 *Intent*

This precinct is intended to be developed for commercial and related services, generally in a single building. Development in this precinct should not exceed 450 m² of gross floor area.

6.4.2 *Land Uses*

- (a) This precinct is to be developed for uses such as commercial premises and shops. A range of other uses may be acceptable in certain circumstances in that they are capable of complementing the predominant commercial activities or having similar attributes and space demands as commercial premises.
- (b) The Site Development Plan for this precinct should comprise the following Table of Development –

PRECINCT 5

Column 1 Permitted Uses	Column 2 Permitted Subject to Conditions	Column 3 Consent Required	Column 4 Prohibited Uses
Commercial Premises Shop Veterinary Surgery	Service Industry Cottage Crafts & Sales	Public Purpose Public Utility	Any purpose other than those referred to in Columns 1, 2 & 3

- (c) For the purposes of this Precinct of DPA 5, the terms defined herein have the meanings assigned to them by the Caloundra City Planning Scheme, or as otherwise stated below –
 - The aggregate gross floor area of Shop, Service Industry and Cottage Crafts and Sales premises is not to exceed 300m².
- (d) Development in this precinct should be carried out only in accordance with an approved Site Development Plan.

6.4.3 *Site Development Plan Design Parameters*

Development facilitated by a Site Development Plan should occur in a building that is predominantly of single storey construction.

6.5 PRECINCT 6

6.5.1 *Intent*

This precinct is intended to be developed for health care and related facilities, including surgeries for doctors, dentists and medical specialists, and associated commercial and service activities, such as a pharmacist. Development is generally envisaged as being in a single building. Development in this precinct should not exceed 600 m² of gross floor area.

6.5.2 *Land Uses*

- (a) This precinct is to be developed for uses logically associated with health care premises, such as a medical or health care professional practice, pharmacy and the like.
- (b) The Site Development Plan for this precinct should comprise the following Table of Development –

PRECINCT 6

Column 1 Permitted Uses	Column 2 Permitted Subject to Conditions	Column 3 Consent Required	Column 4 Prohibited Uses
Commercial Premises (allied with health care premises) Health Care Premises Shop (allied with health care premises)	Caretakers Residence	Public Purpose Public Utility	Any purpose other than those referred to in Columns 1, 2 & 3

- (c) Development in this precinct should be carried out only in accordance with an approved Site Development Plan.

6.5.3 *Site Development Plan Design Parameters*

Development facilitated by a Site Development Plan should satisfy the following parameters –

- (a) Buildings should be predominantly of single storey construction and should respect the residential characteristics of neighbouring houses.
- (b) Buildings should be set back at least 6.0 metres from the western boundary.
- (c) Attention should be paid to detailed design along the western boundary to ensure respect for the amenity of adjoining residents. Care should be taken in such matters as designing openings and siting and treating machinery such as air conditioning. Solutions may relate to sill heights and screening structures.

6.6 PRECINCT 7

6.6.1 Intent

This precinct is intended to be developed for public purposes that serve the communal needs of the local population, such as community halls, libraries and the like.

6.6.2 Land Uses

- (a) The Site Development Plan for this precinct should comprise the following Table of Development –

PRECINCT 7

Column 1 Permitted Uses	Column 2 Permitted Subject to Conditions	Column 3 Consent Required	Column 4 Prohibited Uses
	Public purpose		Any purpose other than those referred to in Columns 1, 2 & 3

- (b) For the purposes of this Precinct of DPA 5, the terms defined herein have the meanings assigned to them by the Caloundra City Planning Scheme, or as otherwise stated below –

- Public Purpose limited to a community facility in accordance with the intent of the Development Control Plan for Kawana Waters.

- (c) Development in this precinct should be carried out only in accordance with an approved Site Development Plan.

6.6.3 Site Development Plan Design Parameters

Development facilitated by a Site Development Plan should satisfy the following parameters –

- Buildings should be predominantly of single storey construction and should respect the residential characteristics of neighbouring houses.
- Buildings should be set back at least 6.0 metres from the western boundary.
- Attention should be paid to detailed design along the western boundary to ensure respect for the amenity of adjoining residents. Care should be taken in such matters as designing openings and siting and treating machinery such as air conditioning. Solutions may relate to sill heights and screening structures.

7.0 SITE DEVELOPMENT PLAN SOLUTIONS

- 7.0.1 A Site Development Plan prepared for a precinct in DPA 5 will be considered to comply with all the requirements in the Detailed Planning Area Plan if it –

- satisfies the Intent for the respective Precinct;
- incorporates the land uses listed as appropriate in the respective precinct;
- satisfies the Site Development Design Parameters of the respective Precinct;
- satisfies the Urban Design Performance Criteria for the respective Precinct; and
- satisfies the Design Criteria.

REV.	DATE	DETAILS	BY
A	2/5/01	PRECINCT 3 ADDED	
B	2/5/01	PRECINCT 7 ADDED	
C	01.04.01	PRECINCT 7 REMOVED	
D	16.04.01	PLUS PERMITS ADDED TO SITE LAYOUTS AND ADDED	
E	26.04.01	ARRANGEMENTS TO REDEVELOPMENT SCHEME	
F	13.04.01	ADD PRECINCT 8	
G	27.04.01	ARRANGEMENTS LAYOUTS	
H	26.04.01	ARRANGEMENTS LAYOUTS	
I	26.04.01	ARRANGEMENTS LAYOUTS	



LEGEND

	INDICATIVE BUILDING ENVELOPE
	PRECINCT BOUNDARY & No.
	LANDSCAPING
	VEHICULAR DRIVEWAY LINKAGES
	PEDESTRIAN ACCESSWAYS
	PARKING

DEVELOPMENT SCHEDULE:

PRECINCT No.	TOTAL USE AREA	CARPARKING REQUIREMENT	CARS REQUIRED	CARS PROVIDED
1.	5 625 sqm	1/20sqm < 500sqm + 1/15sqm > 500sqm	365	367
2.	1 300 sqm	1/30sqm	44	44
3.	286 sqm (With Drive Thru)	1/15sqm + Queuing	20	23
4.	350 sqm	1/15sqm	25	48
5.	550 sqm	1/30sqm	15	15
6.	600sqm	1/20sqm	30	30
8.	30sqm	1/30sqm	1	2
TOTAL DEVELOPMENT	8 650 sqm	TOTAL CARS REQUIRED	500	538

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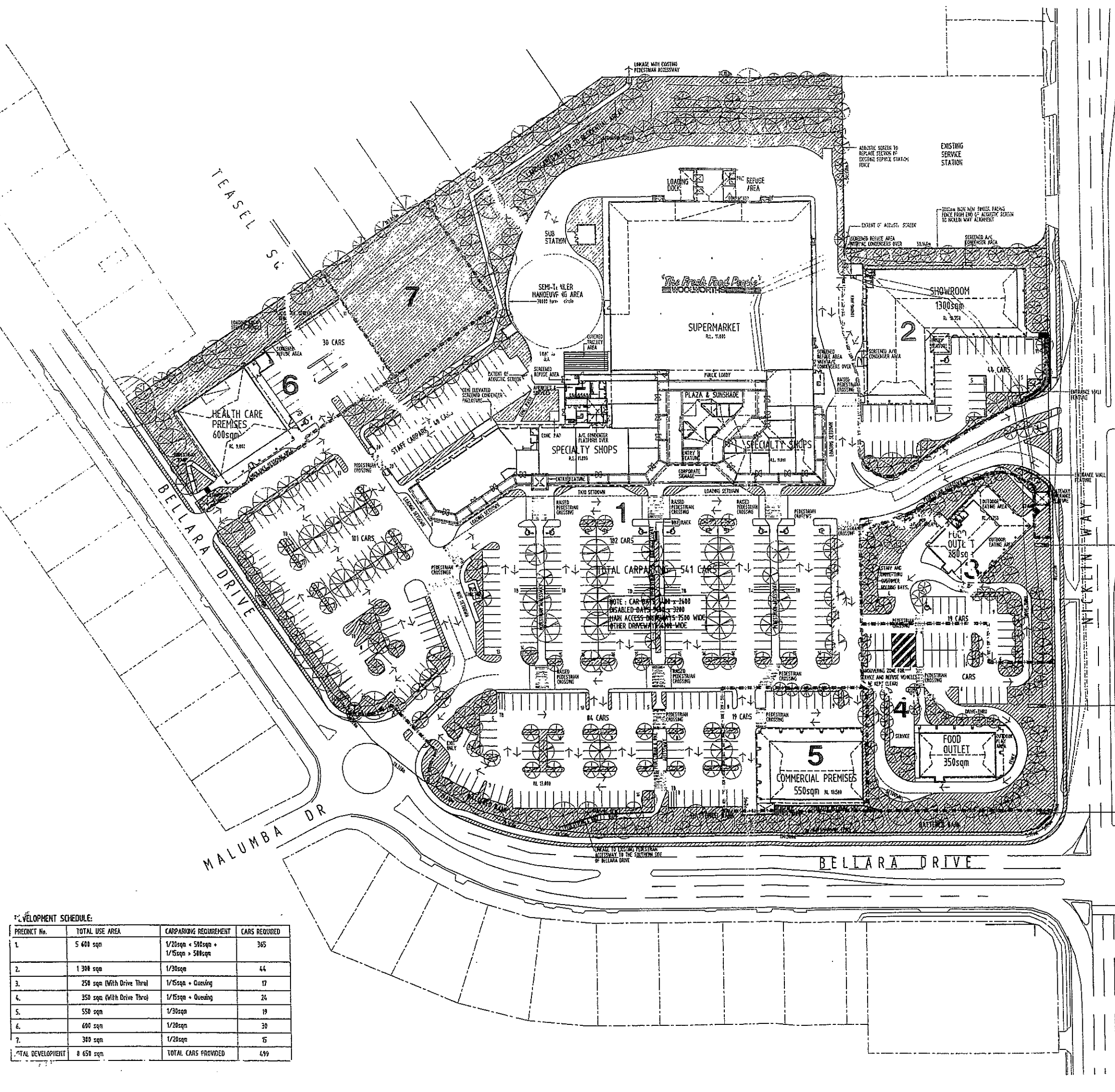


project description
FIGURE 1
DPA Plan

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drawn: M/T/r/b/m	checked: / /
verified: 5583-001	project number: 5583
sheet number: DD 01	revision: H

Report Sheet Size: A1 (841 x 1189)

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REV.	DATE	DETAILS	BY
A	30.11.99	INCLUSION OF PRECINCT 4	
B	07.01.99	ADJUSTMENT OF PRECINCT 4	
C	01.02.99	CLOSE MEDIAN/ACCESS NOTE	
D	10.04.00	GENERAL AMENDMENTS	
E	28.04.00	PRECINCT 7 - AMENDED	
F	31.05.00	MUTATION AMENDED FOOD OUTLET CONC. PATIO/PAD INCLUDED	
G	07.08.03	PRECINCT 7 REVISED CHANGES TO DEVELOPMENT SCHEDULE CHANGES TO PRECINCT 3 PARKING LAYOUT	

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THOMSON ADSETT ARCHITECTS

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project description
SITE DEVELOPMENT PLAN (SDP)
 Precincts 1,2,3,4,5,6 & 7

date	11/08/98
scale	1:500
drawn	n/j/and/h/jm
checked	/
verified	/
project number	5583
sheet number	DD 03
revision	G







DEVELOPMENT SCHEDULE:

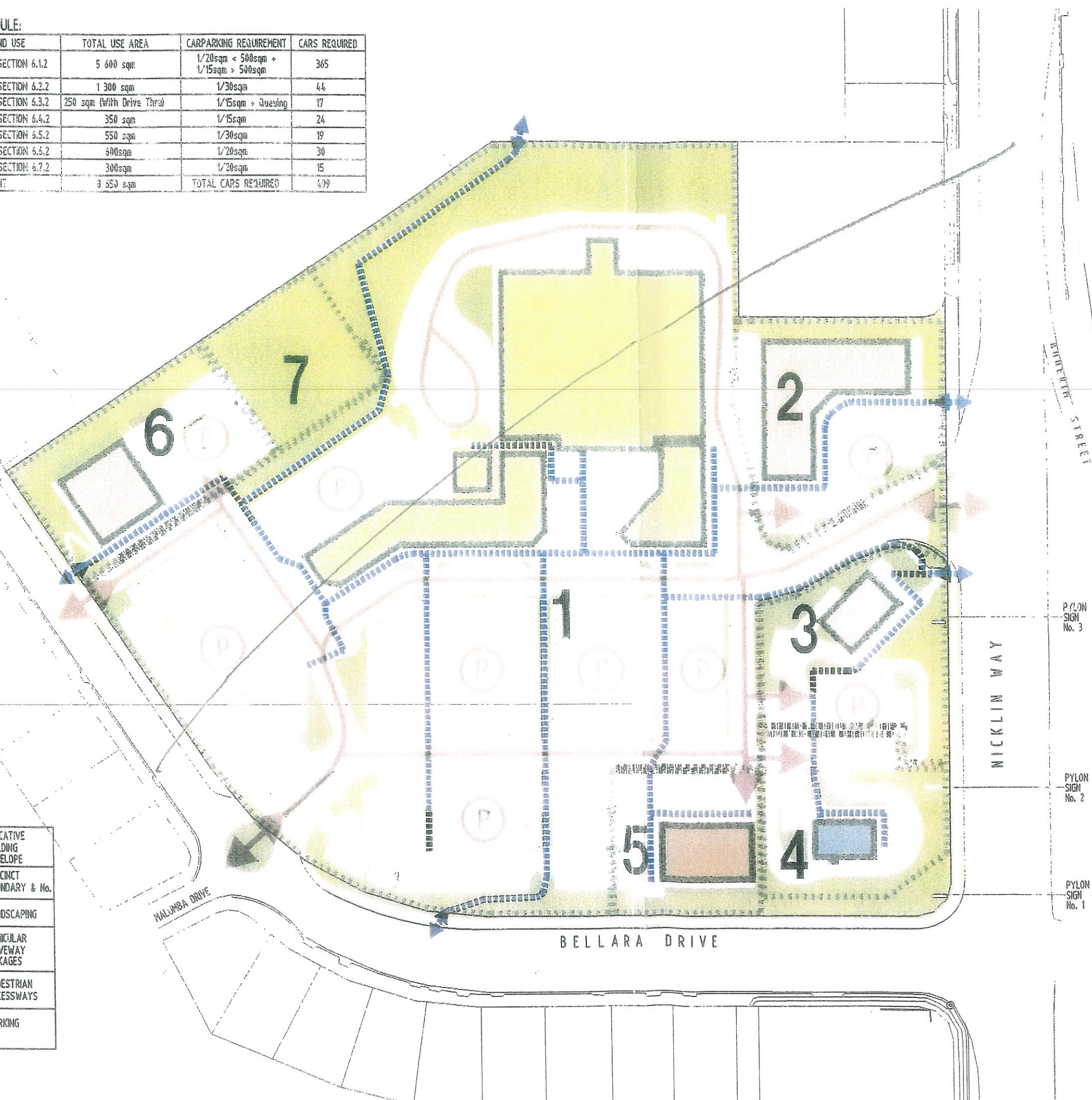
PRECINCT No.	TOTAL USE AREA	CARPARKING REQUIREMENT	CARS REQUIRED
1	5 600 sqm	1/20sqm = 510sqm + 1/15sqm = 588sqm	365
2	1 300 sqm	1/30sqm	44
3	250 sqm (With Drive Thru)	1/15sqm + Queuing	17
4	350 sqm (With Drive Thru)	1/15sqm + Queuing	24
5	550 sqm	1/30sqm	19
6	600 sqm	1/20sqm	30
7	300 sqm	1/20sqm	15
TOTAL DEVELOPMENT	8 650 sqm	TOTAL CARS PROVIDED	499

DEVELOPMENT SCHEDULE:

PRECINCT No.	LAND USE	TOTAL USE AREA	CARPARKING REQUIREMENT	CARS REQUIRED
1.	REFER SECTION 6.1.2	5 600 sqm	1/20sqm < 500sqm + 1/15sqm > 500sqm	365
2.	REFER SECTION 6.2.2	1 300 sqm	1/30sqm	44
3.	REFER SECTION 6.3.2	250 sqm (With Drive Thru)	1/15sqm + Queuing	17
4.	REFER SECTION 6.4.2	350 sqm	1/15sqm	24
5.	REFER SECTION 6.5.2	550 sqm	1/30sqm	19
6.	REFER SECTION 6.5.2	600sqm	1/20sqm	30
7.	REFER SECTION 6.7.2	300sqm	1/20sqm	15
TOTAL DEVELOPMENT:		8 550 sqm	TOTAL CARS REQUIRED	499

LEGEND

	INDICATIVE BUILDING ENVELOPE
	PRECINCT BOUNDARY & No.
	LANDSCAPING
	VEHICULAR DRIVEWAY LINKAGES
	PEDESTRIAN ACCESSWAYS
	PARKING



REV.	DATE	BY	CHKD.	DESCRIPTION
1	2/5/11	DD	DD	PRECINCT 1 ADDED
2	2/5/11	DD	DD	PRECINCT 7 ADDED
3	02/20/11	DD	DD	PRECINCT 7 LAYOUT

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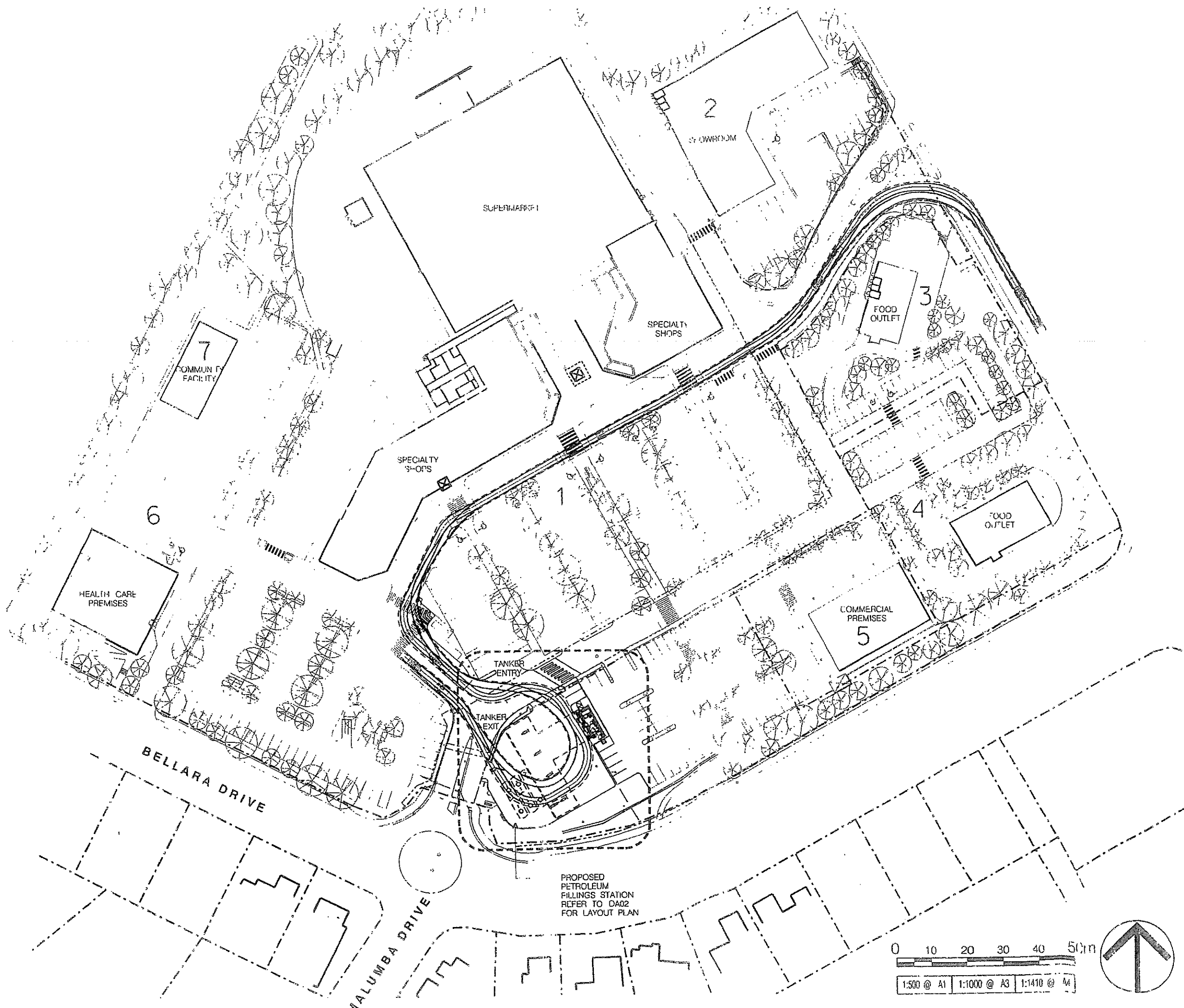
THOMSON ADSETT ARCHITECTS
 12 Fleet Lane
 South Brisbane
 PO Box 3348
 South Brisbane Q 4101
 Phone (07) 3840 9999
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 Email: thad@thadgroup.com.au

ARCHITECTS
 Brisbane Sydney Melbourne Perth Adelaide
 Sunshine Coast Rockhampton Mackay Cairns
 Gold Coast Wollongong Hobart Darwin

FIGURE 1
 DPA Plan

date: 2/5/11
 scale: 1:500
 drawn: dd/vw/blm
 checked: //
 verified: 5583-001
 project number: 5583
 sheet number: DD 01
 revision: C

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P1	TANKER PATH AMENDED SURVEY OVERLAP PRELIMINARY	22.06.01	GAP
P		15.06.01	GAP
No.	AMENDMENT	DATE	DRN



WOOLWORTHS LIMITED
 A.B.N 88 004 678 675
 20 26 Scrivenor Street
 Warwick Farm NSW 2170
 Australia
 Telephone (612) 8778 2653
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- NOTES**
- PROPOSED DIMENSIONS SHALL BE USED IN PREFERENCE TO EXISTING DIMENSIONS.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
 - THIS DRAWING IS NOT TO BE REPRODUCED WITHOUT FIRST OBTAINING THE CONSULTANT'S WRITTEN PERMISSION.
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 - FOR ALL DIMENSIONS REFER TO THIS DRAWING. DIMENSIONS MUST BE IN METERS UNLESS OTHERWISE SPECIFIED.

SCOTT CARVER PTY LTD
 ARCHITECTS INTERIOR DESIGNERS
 TOWN PLANNERS URBAN DESIGNERS
 77 BERRY STREET, NORTH SYDNEY, N.S.W. 2060
 FACSIMILE 022255 4317 TELEPHONE 022255 3798
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CONSULTANT'S PROJECT NO: **00125**

PROJECT
PROPOSED PETROLEUM FILLING STATION CURRIMUNDI SUNSHINE COAST QUEENSLAND

DESIGNED BY GAP **CHECKED**

DATE JUN '01 **DATE OF THIS DRAWING** 22 JUN 2001

SCALE REFER TO SCALE BAR **GRAPHIC SCALE** A3

STATUS
PRELIMINARY

PROJECT NO: **DA00 P1**

