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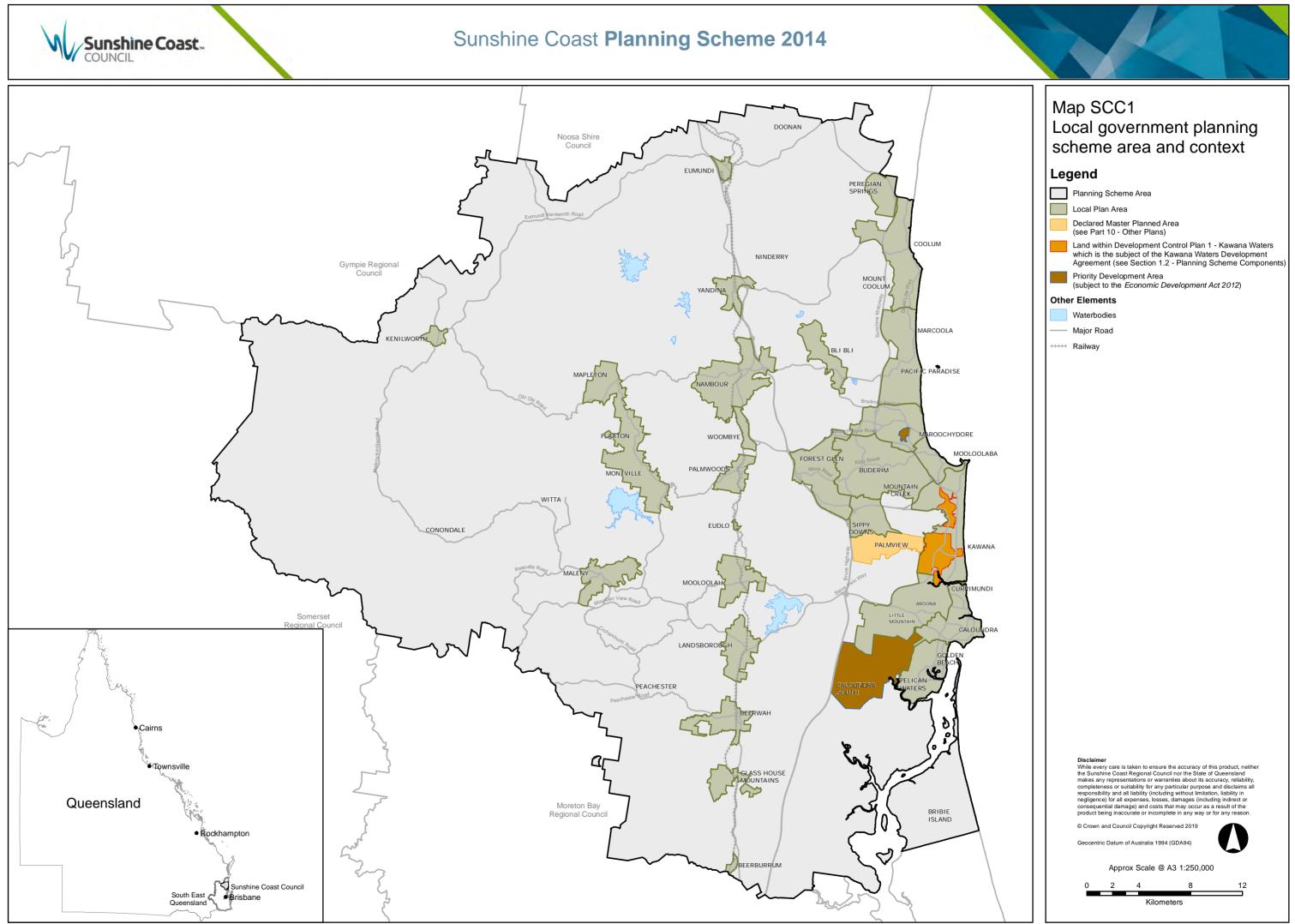
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Part 1



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1.2 Planning scheme components

- (1) The planning scheme, in respect of:-
 - (a) the planning scheme area, other than that part of the planning scheme area referred to in paragraph (b) below, comprises the following components:-
 - (i) about the planning scheme (this part);
 - (ii) state planning provisions (Part 2);
 - (iii) the strategic framework (Part 3);
 - (iv) the local government infrastructure plan (Part 4);
 - (v) tables of assessment (Part 5);
 - (vi) the zones and, where applicable zone precincts specified in **Table 1.2.1 (Zones** and zone precincts) below (Part 6);

Table 1.2.1 Zones and zone precincts

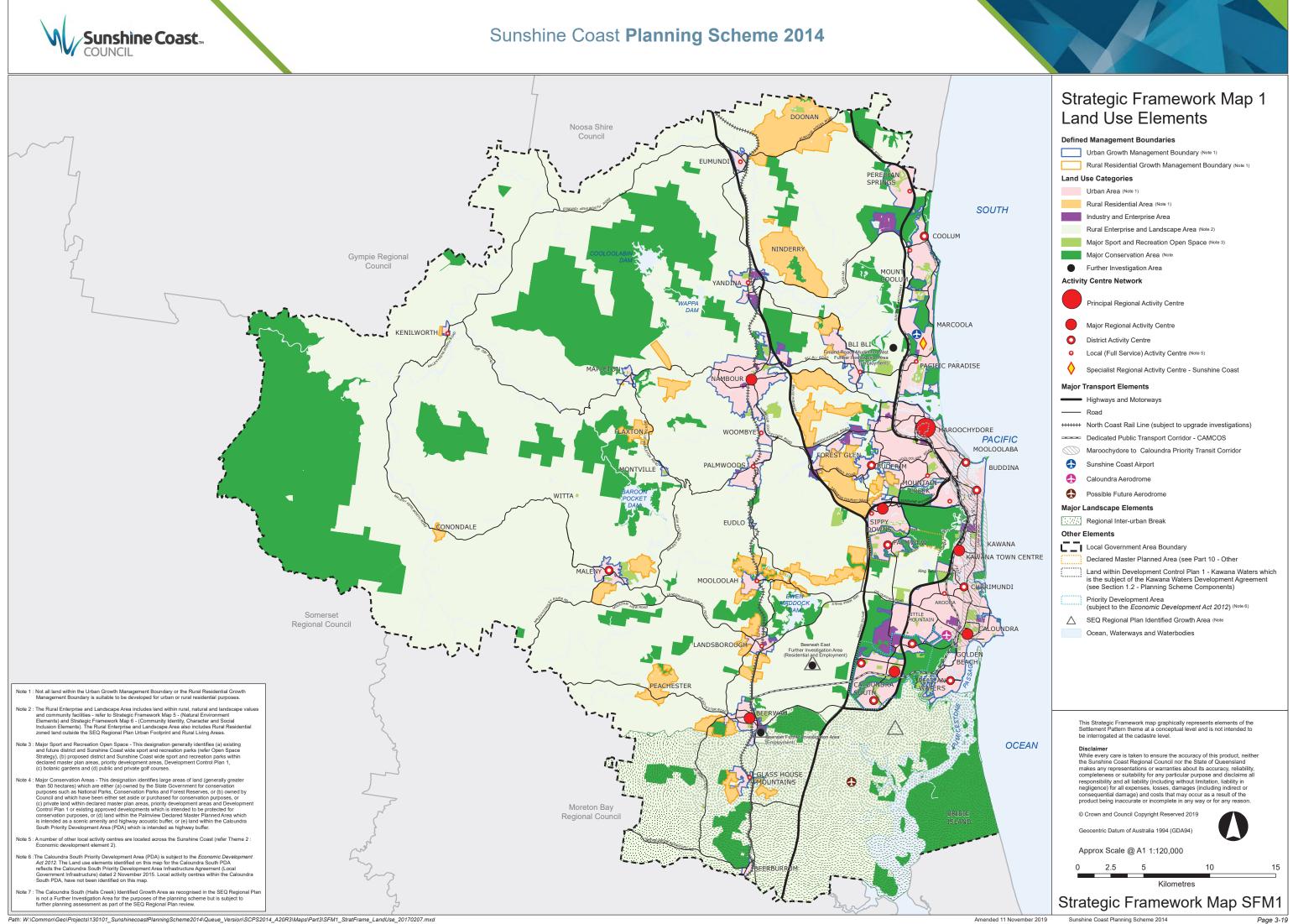
	s and zone precincts			
	dential zones category			
(a)	Low density residential zone, including:-			
	(i) Precinct LDR 1 (Protected Housing Area)			
(b)	Medium density residential zone			
(c)	High density residential zone			
(d)	Tourist accommodation zone			
	re zones category			
(e)	Principal centre zone			
(f)	Major centre zone			
(g)	District centre zone			
(h)	Local centre zone			
	stry zones category			
(i)	Low impact industry zone			
(j)	Medium impact industry zone			
(k)	High impact industry zone			
(I)	Waterfront and marine industry zone			
	eation zones category			
(m)	Sport and recreation zone			
(n)	Open space zone			
	ronmental zones category			
(0)	Environmental management and conservation zone			
	r zones category			
(p)	Community facilities zone			
(q)	Emerging community zone			
(r)	Limited development (landscape residential) zone			
(s)	Rural zone, including:-			
	(i) Precinct RUR1 (Meridan Plains Extractive Resource Area)			
(t)	Rural residential zone			
(u)	Specialised centre zone			
(v)	Tourism zone including:-			
	(i) Precinct TOU1 (Australia Zoo)			
	(ii) Precinct TOU2 (Aussie World)			
	(iii) Precinct TOU3 (Big Pineapple)			

Part 1

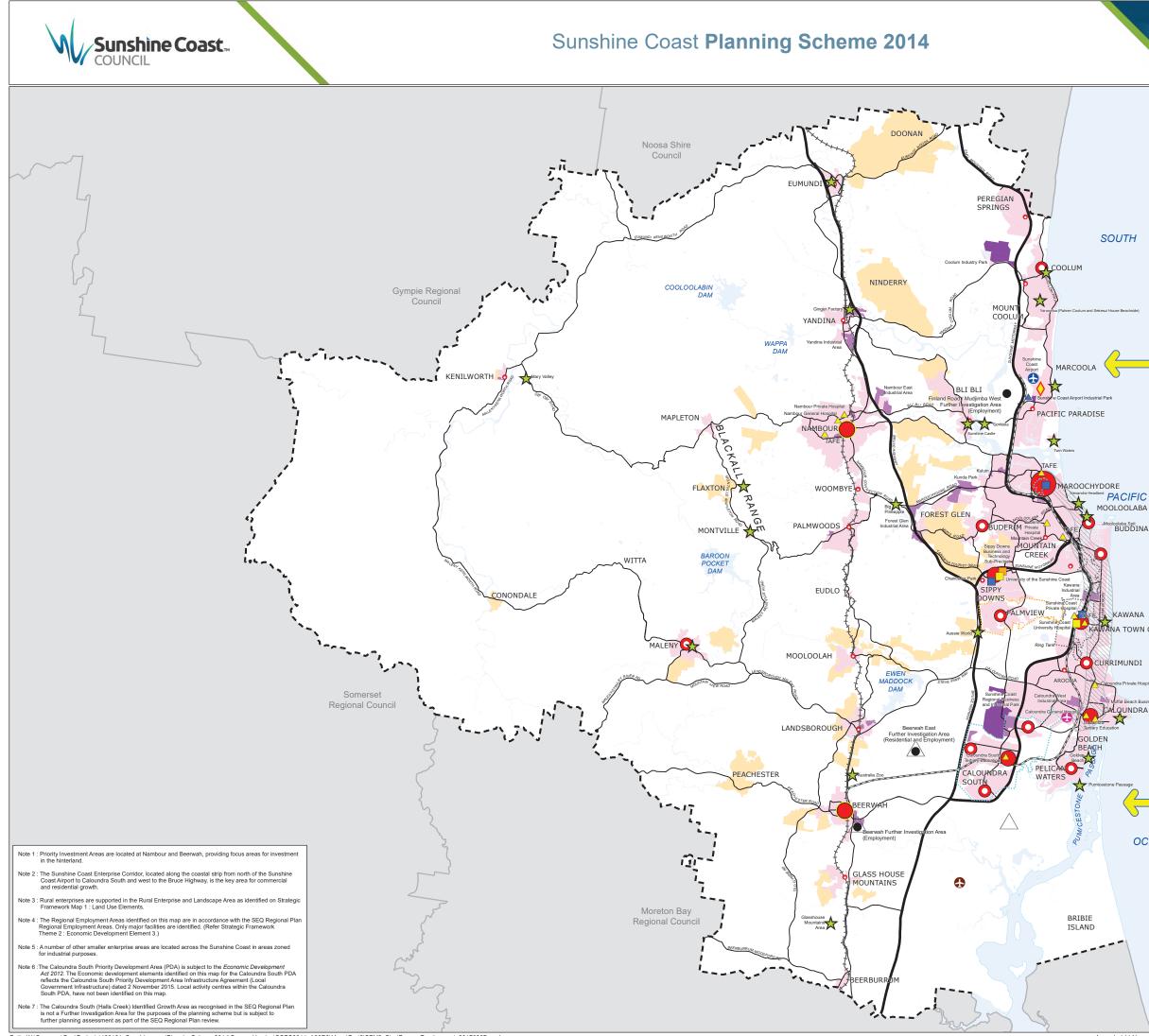
Table 1.2.2 Local plans and local plan precincts

	I plans and local plan precincts
(a)	Beerburrum local plan
	·
(b)	Beerwah local plan
(c)	Blackall Range local plan
(d)	Bli Bli local plan
(e)	Buderim local plan, including:-
(5)	(i) Precinct BUD LPP-1 (Gloucester Road South)
(f)	Caloundra local plan, including:-
	(i) Precinct CAL LPP-1 (Caloundra Central)
	a. Sub-precinct CAL LPSP-1a (Destination Centre)
	b. Sub-precinct CAL LPSP-1b (Community and Creative Hub)
	c. Sub-precinct CAL LPSP-1c (Gateway)
	d. Sub-precinct CAL LPSP-1d (Central Park Urban Village)
	e. Sub-precinct CAL LPSP-1e (Caloundra Hospitality Area)
	(ii) Precinct CAL LPP-2 (Kings Beach Hospitality Area)
	 (iii) Precinct CAL LPP-3 (Moffat Beach/Shelly Beach/Dicky Beach) (iv) Precinct CAL LPP-4 (Caloundra Aerodrome)
(a)	(iv) Precinct CAL LPP-4 (Caloundra Aerodrome) Caloundra West local plan, including:-
(g)	(i) Precinct CAW LPP-1 (Homestead Drive)
(h)	Coolum local plan, including:-
(1)	(i) Precinct COL LPP-1 (Palmer Coolum Resort and The Coolum Residences)
(i)	Eudlo local plan
(i) (j)	Eumundi local plan, including:-
0)	(i) Precinct EUM LPP-1 (Eumundi Butter Factory)
(k)	Forest Glen / Kunda Park / Tanawha local plan
(I)	Glass House Mountains local plan
(n) (m)	Golden Beach / Pelican Waters local plan
(m) (n)	Kawana Waters local plan, including:-
(1)	(i) Precinct KAW LPP-1 (South of Point Cartwright Drive)
	(ii) Precinct KAW LPP-2 (North of Point Cartwright Drive)
	(iii) Precinct KAW LPP-3 (Nicklin Way North Minyama)
	(iv) Precinct KAW LPP-4 (Buddina Urban Village)
	(v) Precinct KAW LPP-5 (Nicklin Way Warana)
	(vi) Precinct KAW LPP-6 (Regatta Boulevard Wurtulla)
(o)	Kenilworth local plan
(p)	Landsborough local plan, including:-
,	(i) Precinct LAN LPP-1 (Landsborough Town West)
	(ii) Precinct LAN LPP-2 (Landsborough Town East)
(q)	Maleny local plan, including:-
	(i) Precinct MAL LPP-1 (Maleny Community Precinct)
	(ii) Precinct MAL LPP-2 (Maleny West)
	(iii) Precinct MAL LPP-3 (Walkers Creek)
	(iv) Precinct MAP LPP-4 (Maleny North)
(r)	Maroochy North Shore local plan, including:-
	(i) Precinct MNS LPP-1 (Sunshine Coast Airport)
	(ii) Precinct MNS LPP-2 (Town of Seaside)
	(iii) Precinct MNS LPP-3 (Marcoola Tourist Accommodation)
(s)	Maroochydore / Kuluin local plan, including:-
	(i) Precinct MAR LPP-1 (City Core)
	(ii) Precinct MAR LPP-2 (Aerodrome Road)
	(iii) Precinct MAR LPP-3 (Maroochy Boulevard/Dalton Drive)
	(iv) Precinct MAR LPP-4 (Wharf Street)
	(v) Precinct MAR LPP-5 (Maud Street/Sugar Road)

Part 1

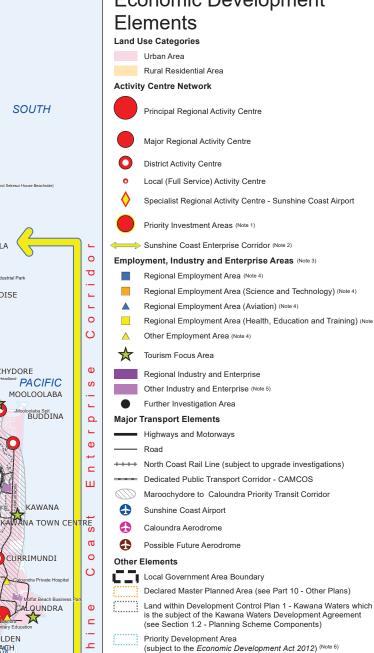


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Strategic Framework Map 2 **Economic Development**



SEQ Regional Plan Identified Growth Area (Note 7

Ocean, Waterways and Waterbodies

This Strategic Framework map graphically represents elements of the Economic Development theme at a conceptual level and is not intended to be interrogated at the cadastre level.

Disclaime

OCEAN

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Approx Scale @ A1 1:120,000



Strategic Framework Map SFM2

Amended 11 November 2019

SOUTH

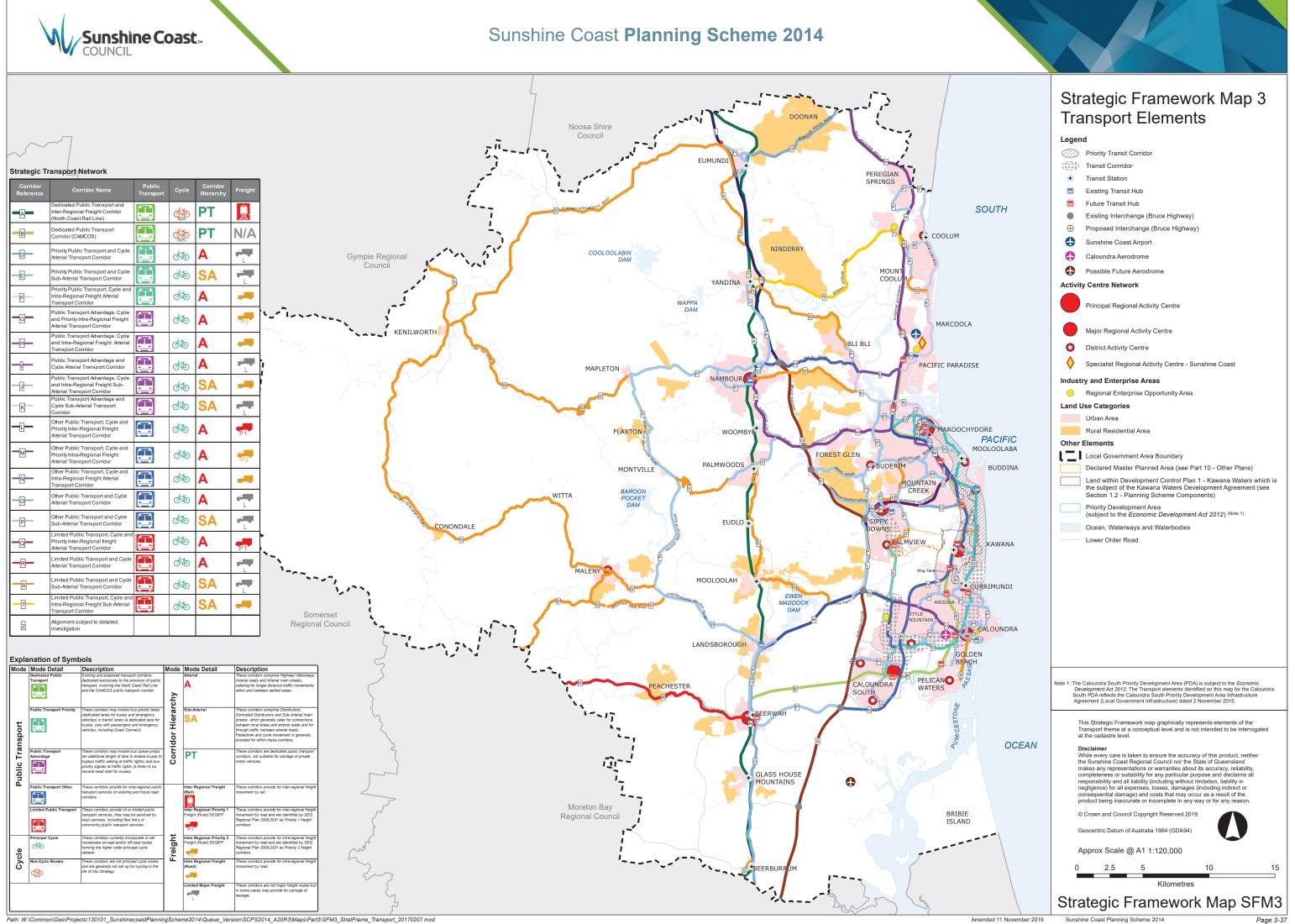
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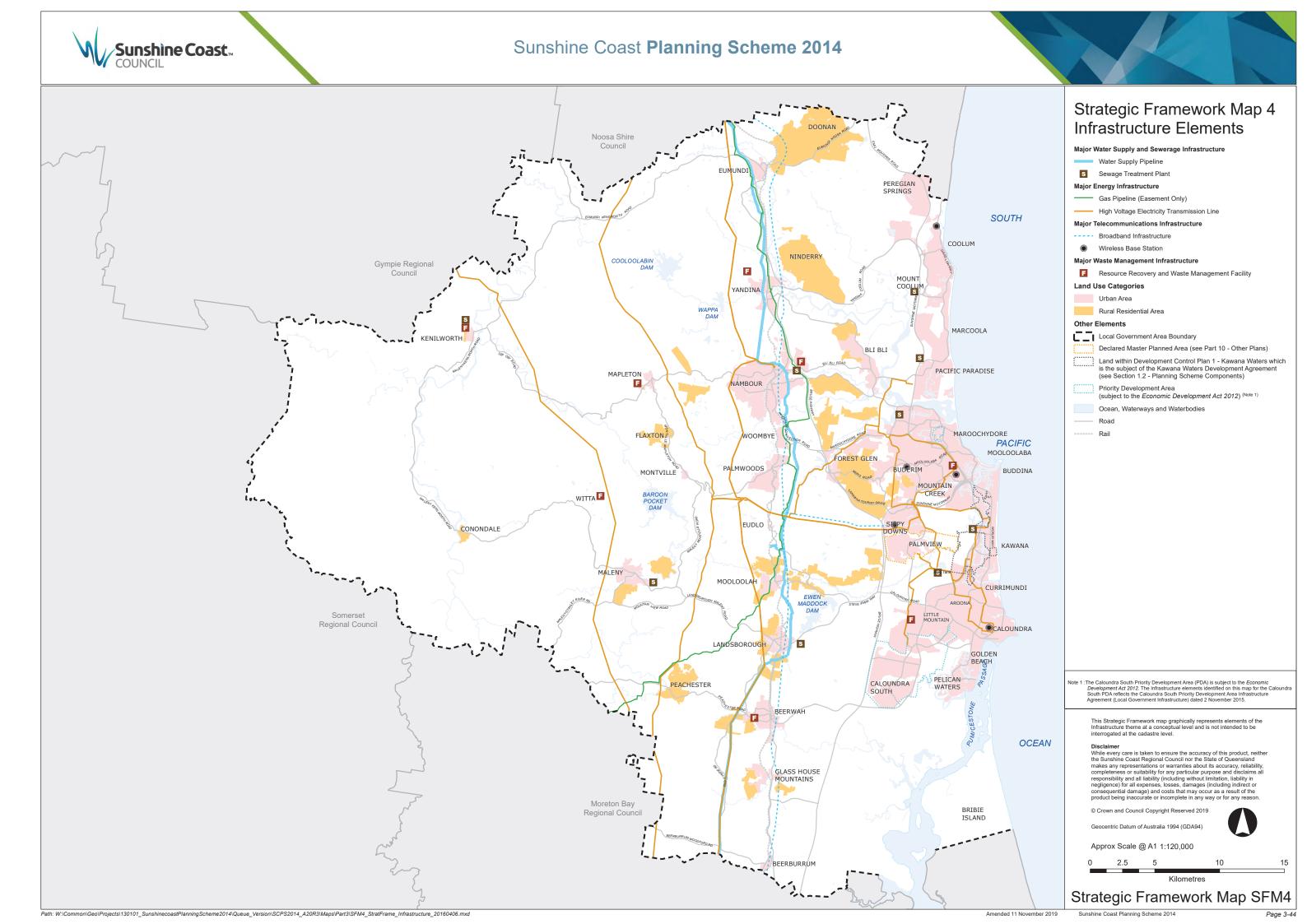
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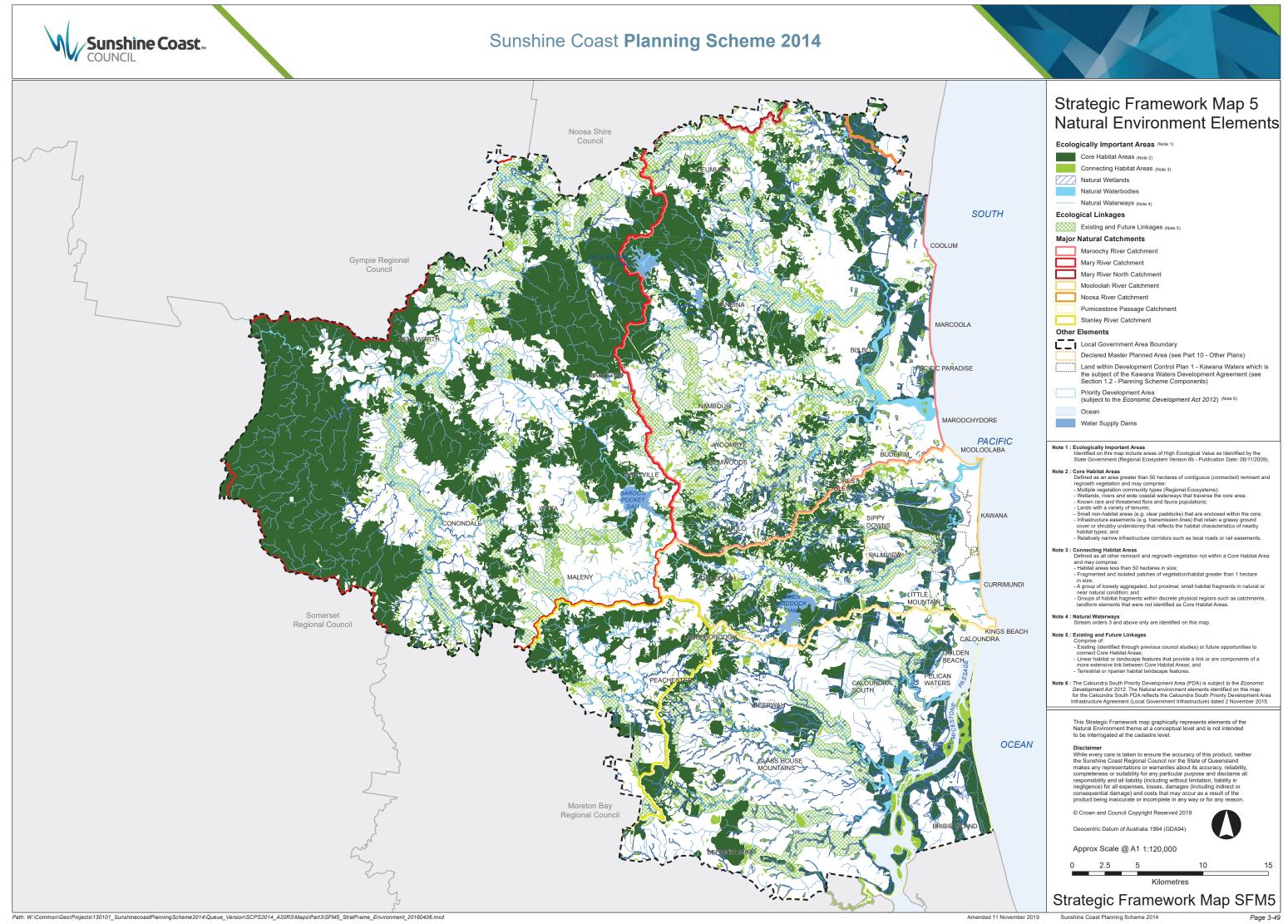
Sunshine Coast Planning Scheme 2014

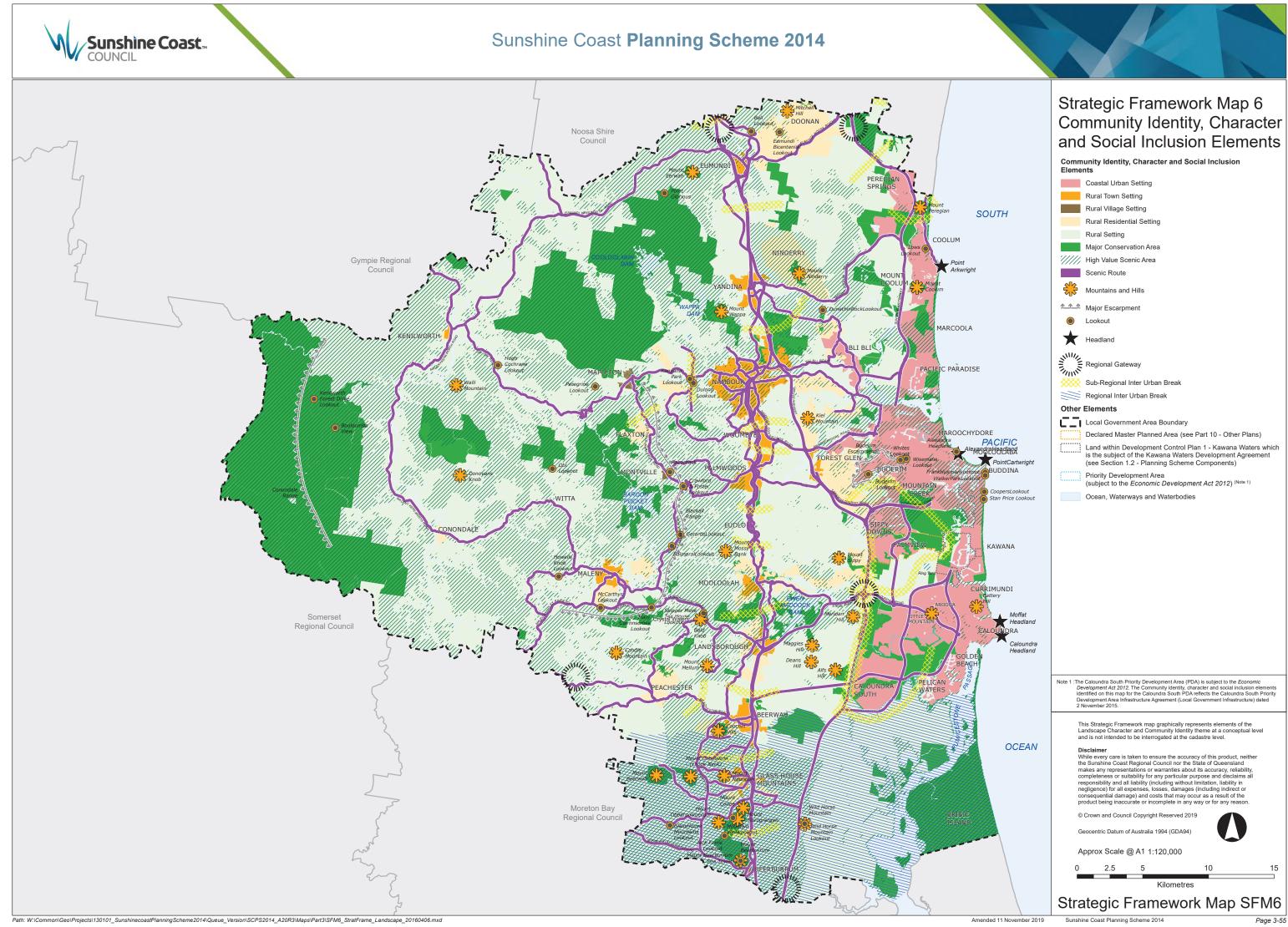
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	LOCAL	CENTRE ZONE	
Defined use	Category of development and category of assessment	Assessment benchmarks and requirements for acce	for assessable development pted development
		 Applicable local plan code 	Prescribed other development codes
Place of worship	Code assessment	 Local centre zone code Applicable local plan code 	Community activities code Prescribed other development codes
Sport and recreation act	ivities		·
Club	Accepted development if:- (a) in an existing building; and (b) not exceeding a gross floor area of 300m ² .	• Transport and parking code	
	Code assessment if:- (a) not in an existing building; and (b) not exceeding a gross floor area of 300m ² .	 Local centre zone code Applicable local plan code Business uses and centre design code 	 Sport and recreation uses code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme	
Outdoor sport and recreation	Code assessment if for a prescribed rooftop use.	 Local centre zone code Applicable local plan code Business uses and centre design code 	 Sport and recreation uses code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme	
Indoor sport and recreation	Accepted development if in an existing building. Code assessment if not otherwise specified.	 Transport and parking code Local centre zone code Applicable local plan code Business uses and centre design code 	 Sport and recreation uses code Prescribed other development codes
Park	Accepted development		
Other activities			
Parking station	Code assessment	 Local centre zone code Applicable local plan code 	 Business uses and centre design code Prescribed other development codes
Utility installation	Accepted development if for a <i>local utility</i> . Impact assessment if not otherwise specified.	 No requirements applicable The planning scheme 	
Other defined uses			
All other uses defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	
Undefined uses			
Any use not defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	

	LOW IMPAC	T INDUSTRY ZONE
Defined use	Category of development and category of assessment	Assessment benchmarks for assessment development and requirements for accepted development
Residential activities	uccocomont	
Caretaker's accommodation	Accepted development if in an existing building. Code assessment if not otherwise specified.	 Caretaker's accommodation code Low impact industry zone code Applicable local plan code Caretaker's accommodation code Nuisance code Transport and parkin code
Business activities		
Agricultural supplies store	Accepted development if in an existing building. Code assessment if not otherwise specified.	 Transport and parking code Low impact industry zone code Applicable local plan code Business uses and cent design code Prescribed oth development codes
Car wash	Code assessment	Low impact industry zone code Applicable local plan code Code Code
Food and drink outlet	Code assessment if having a gross leasable floor area not exceeding 100m ² . Impact assessment if not otherwise specified. if	 Low impact industry zone code Applicable local plan code The planning scheme Business uses and cent design code Prescribed oth development codes
Hardware and trade supplies	Accepted development if:- (a) in an existing building; and (b) the primary purpose of the use is for trade supplies.	 Transport and parking Industry uses code code
	Code assessment if:- (a) not in an existing building; and (b) the primary purpose of the use is for trade supplies.	 Low impact industry industry industry uses code Applicable local plan code Applicable local plan development codes
	Impact assessment if not otherwise specified.	The planning scheme
Service station	Code assessment	 Low impact industry zone code Applicable local plan code Service station code Prescribed oth development codes
Theatre	Code assessment if for a film studio or music recording studio.	 Low impact industry zone code Applicable local plan code Business uses and cent design code Prescribed oth development codes
Veterinary services	Impact assessment if not otherwise specified. Code assessment	The planning scheme Low impact industry • Business uses and cent
• • • • •		 zone code Applicable local plan Prescribed oth development codes
Industrial activities	l	
Bulk landscape supplies	Code assessment	 Low impact industry zone code Applicable local plan code Industry uses code Prescribed oth development codes
Low impact industry	Accepted development if:-	Industry uses code Transport and parkir code

Table 5.5.9 Low impact industry zone

	LOW IMPAC	T INDUSTRY ZONE
Defined use	Category of development and category of assessment	Assessment benchmarks for assessment development and requirements for accepted development
	 (a) in an existing building; or (b) on a lot:- (i) not exceeding 2,000m²; and (ii) not adjoining a major road. Code assessment if not 	Low impact industry • Industry uses code
	otherwise specified.	zone code • Prescribed other • Applicable local plan development codes code
Research and technology industry	Accepted development if in an existing building.	Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	 Low impact industry - Industry uses code Applicable local plan code Applicable local plan code
Service industry	Accepted development if:- (a) in an existing building; or (b) on a lot:- (i) not exceeding 2,000m ² ; and (ii) not adjoining a major road.	 Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	 Low impact industry - Industry uses code Applicable local plan code Applicable local plan code
Transport depot	Accepted development if in an existing building. Code assessment if not otherwise specified.	Industry uses code Transport and parking code Low impact industry zone code Applicable local plan Transport and parking code Transport and parking code Prescribed other development codes
Warehouse	Accepted development if:- (a) for caravan and boat storage; or (b) in an existing building; or (c) on a lot:- (i) not exceeding 2,000m ² ; and (ii) not adjoining a major road.	code Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	 Low impact industry zone code Applicable local plan code Industry uses code Prescribed other development codes
Community activities Community use	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> . Impact assessment if	No requirements applicable The planning scheme
Crematorium	not otherwise specified. Code assessment	 Low impact industry zone code Applicable local plan code Community activities code Prescribed other development codes
Emergency services	Code assessment	Low impact industry zone code Community activities code Prescribed other

LOW IMPACT INDUSTRY ZONE				
Defined use	Category of development and category of assessment	Assessment benchmarks for assessment development and requirements for accepted development		
		Applicable local plan development codes code		
Place of worship	Code assessment	 Low impact industry zone code Applicable local plan code Community activities code Prescribed other development codes 		
Sport and recreation act				
Indoor sport and recreation	Code assessment	 Low impact industry some code Applicable local plan code Applicable local plan development codes 		
Park	Accepted development	No requirements applicable		
Other activities				
Substation	Code assessment	 Low impact industry Utility code Zone code Prescribed other Applicable local plan development codes code 		
Telecommunications facility	Code assessment	 Low impact industry • Telecommunications zone code Applicable local plan code Prescribed development codes 		
Utility installation	Accepted development if for a <i>local utility</i> .	No requirements applicable		
	Impact assessment if not otherwise specified.	The planning scheme		
Other defined uses				
All other uses defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme		
	Undefined uses			
Any use not defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme		

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		CT INDUSTRY ZONE
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
Residential activities		
Caretaker's accommodation	Accepted development if in an existing building. Code assessment if not otherwise specified.	 Caretaker's accommodation code Medium impact industry zone code Applicable local plan code Caretaker's Nuisance code Transport and parking code
		accommodation code
Business activities Car wash	Code assessment	 Medium impact industry zone code Applicable local plan Business uses and centre design code Prescribed other
Food and drink outlet	Code assessment if having a gross leasable floor area not exceeding 100m ² . Impact assessment if not otherwise specified.	code development codes • Medium impact industry zone code • Business uses and centre design code • Applicable local plan code • Prescribed other development codes • The planning scheme • Code
Hardware and trade supplies	 Accepted development if:- (a) in an existing building; and (b) the primary purpose of the use is for trade supplies. 	Transport and parking Industry uses code code
	Code assessment if:- (a) not in an existing building; and (b) the primary purpose of the use is for trade supplies.	 Medium impact industry zone code Applicable local plan code Industry uses code Prescribed development codes
	Impact assessment if not otherwise specified.	The planning scheme
Service station	Code assessment	 Medium impact industry zone code Applicable local plan code Service station code <i>Prescribed</i> other development codes
Veterinary services	Code assessment	 Medium impact industry zone code Applicable local plan code Business uses and centre design code Prescribed development codes
Industrial activities		
Bulk landscape supplies	Code assessment	 Medium impact industry zone code Applicable local plan code Industry uses code Prescribed other development codes
Low impact industry	Accepted development if:- (a) in an existing building; or (b) on a lot:- (i) not exceeding 2,000m ² ; and (ii) not adjoining a major road.	 Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	 Medium impact industry zone code Applicable local plan code Industry uses code Prescribed development codes
Medium impact	Accepted development	Industry uses code Transport and parking

Table 5.5.10 Medium impact industry zone

	MEDIUM IMPA	ACT INDUSTRY ZONE
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
industry	if in an existing building.	code
	Code assessment if not otherwise specified.	Medium impact industry zone code Applicable local plan adde
Research and	Accepted development	code Industry uses code • Transport and parking
technology industry	if in an existing building.	code
	Code assessment if not otherwise specified.	 Medium impact industry solution Industry uses code Industry uses code Prescribed other development codes code
Service industry	Accepted development if in an existing building.	Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	 Medium impact industry zone code Applicable local plan code Industry uses code Prescribed development codes
Transport depot	Accepted development if in an existing building.	Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	 Medium impact industry zone code Applicable local plan code Industry uses code Prescribed development codes
Warehouse	Accepted development if:- (a) for caravan and boat storage; or (b) in an existing building; or (c) on a lot:- (i) not exceeding 2,000m ² ; and (ii) not adjoining a major road.	Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	 Medium impact industry zone code Applicable local plan code Industry uses code Prescribed other development codes
Community activities		code
Community use	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	No requirements applicable
	Impact assessment if not otherwise specified.	The planning scheme
Crematorium	Code assessment	 Medium impact industry zone code Applicable local plan code Community activities code Prescribed other development codes
Emergency services	Code assessment	 Medium impact industry zone code Applicable local plan code Community activities code Prescribed other development codes
Sport and recreation act		
Park	Accepted development	No requirements applicable
Other activities		
Substation	Code assessment	 Medium impact industry vertication of the second sec

MEDIUM IMPACT INDUSTRY ZONE			
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
Telecommunications facility	Code assessment	 Medium impact industry zone code Applicable local plan code Telecommunications facility code Prescribed development codes 	
Utility installation	Accepted development if for a <i>local utility</i> .	No requirements applicable	
	Impact assessment if not otherwise specified.	The planning scheme	
Other defined uses			
All other uses defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	
Undefined uses			
Any use not defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	

	HIGH IMPACT INDUSTRY ZONE		
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
Residential activities			
Caretaker's	Accepted development	Caretaker's	
accommodation	if in an existing building.	accommodation code	
	Code assessment if not	High impact industry Nuisance code	
	otherwise specified.	zone code • Transport and parking • Applicable local plan code	
		code	
		Caretaker's	
Duciness estivities		accommodation code	
Business activities Food and drink outlet	Code assessment if	High impact industry Business uses and centre	
	having a gross leasable	zone code design code	
	floor area not exceeding	Applicable local plan Prescribed other	
	100m ² .	code development codes	
	Impact assessment if not otherwise specified.	The planning scheme	
Service station	Code assessment	High impact industry Service station code	
		zone code • Prescribed other	
		Applicable local plan development codes code	
Industrial activities		coue	
High impact industry	Code assessment	High impact industry Industry uses code	
		zone code • Prescribed other	
		Applicable local plan development codes	
Medium impact	Accepted development	code Industry uses code Transport and parking	
industry	if in an existing building.	code	
	Code assessment if not	High impact industry Industry uses code	
	otherwise specified.	zone code • Prescribed other • Applicable local plan development codes	
		code	
Transport depot	Accepted development if in an existing building.	Industry uses code Transport and parking code	
	Code assessment if not	High impact industry Industry uses code	
	otherwise specified.	zone code • Prescribed other • Applicable local plan development codes	
		code	
Community activities	•		
Crematorium	Code assessment	High impact industry Community activities code	
		zone code • Prescribed other • Applicable local plan development codes	
		Applicable local plan development codes code	
Emergency services	Code assessment	High impact industry Community activities code	
		zone code • Prescribed other	
		Applicable local plan development codes code	
Sport and recreation act	ivities		
Park	Accepted development	No requirements applicable	
Other activities			
Substation	Code assessment	High impact industry Utility code	
		zone code • Prescribed other • Applicable local plan development codes code	
Telecommunications	Code assessment	High impact industry • Telecommunications	
facility		zone code facility code	
		Applicable local plan <i>Prescribed other</i> code <i>development codes</i>	
Utility installation	Accepted development	No requirements	
	if for a <i>local utility</i> . Code assessment if:-	applicable	
	· · ogo accoccmont it.	 High impact industry Utility code 	

Table 5.5.11High impact industry zone

HIGH IMPACT INDUSTRY ZONE			
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
	 (a) not for a <i>local</i> <i>utility</i>; (b) located on <i>Council</i> owned or controlled land; and (c) undertaken by or on behalf of the <i>Council</i>. 	zone code • Prescribed other • Applicable local plan development codes code	
	Impact assessment if not otherwise specified.	The planning scheme	
Other defined uses			
All other uses defined in Schedule 1 (Definitions)	Impact assessment • The planning scheme		
Undefined uses			
Any use not defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	

	WATERFRONT AND	MARINE INDUSTRY ZONE	
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable developme and requirements for accepted development	
Residential activities			
Caretaker's accommodation	Code assessment	 Waterfront and marine industry zone code Applicable local plan code Caretaker's accommodation code 	 Nuisance code Sustainable design code Transport and parking code
Business activities		accommodation code	
Food and drink outlet	Code assessment if not involving a drive-through facility or a high volume convenience restaurant. Impact assessment if	 Waterfront and marine industry zone code Applicable local plan code The planning scheme 	 Business uses and centre design code Prescribed other development codes
Service station	not otherwise specified. Code assessment if for the fuelling of marine craft. Impact assessment if	 Waterfront and marine industry zone code Applicable local plan code The planning scheme 	 Service station code Prescribed other development codes
	not otherwise specified.	• The planning scheme	
Industrial activities			
Marine industry	Accepted development if in an existing building. Code assessment if not	Industry uses codeWaterfront and marine	Transport and parking code Industry uses code
	otherwise specified.	industry zone codeApplicable local plan code	Prescribed other development codes
Medium impact industry	Accepted development if:- (a) in an existing building; and (b) involving seafood processing.	Industry uses code	 Transport and parking code
	Code assessment if:- (a) not in an existing building; and (b) involving seafood processing.	 Waterfront and marine industry zone code Applicable local plan code 	Industry uses code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme	
Community activity grou		ſ	
Community use	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	 No requirements applicable 	
	Impact assessment if not otherwise specified.	The planning scheme	
Emergency services	Code assessment	 Waterfront and marine industry zone code Applicable local plan code 	Community activities code Prescribed other development codes
Sport and recreation act	ivities		
Park	Accepted development	No requirements applicable	
Other activities			
Port services	Code assessment	 Waterfront and marine industry zone code Applicable local plan code 	Prescribed other development codes

Table 5.5.12 Waterfront and marine industry zone

WATERFRONT AND MARINE INDUSTRY ZONE			
Defined use	Category of development and category of assessment Assessment benchmarks for assessable development and requirements for accepted development		
Telecommunications facility	Code assessment if other than a freestanding tower.	 Waterfront and marine industry zone code Applicable local plan code Telecommunications facility code Business uses and centre design code if involving studios or offices for broadcasting Prescribed other development codes 	
	Impact assessment if • The planning scheme not otherwise specified.		
Utility installation	Accepted development if for a <i>local utility</i> .	No requirements applicable	
	Impact assessment if • The planning scheme not otherwise specified.		
Other defined uses			
All other uses defined in Schedule 1 (Definitions)	Impact assessment • The planning scheme		
Undefined uses			
Any use not defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	

SPORT AND RECREATION ZONE		
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
Residential activities		
Caretaker's accommodation	Code assessment	 Sport and recreation zone code Applicable local plan code Caretaker's accommodation code Nuisance code Sustainable design code Transport and parking code
Short-term accommodation	Code assessment if:- (a) located on:- (i) Council owned or controlled land; or (ii) Lot 3 on RP41427 located at 325- 367 David Low Way, Bli Bli; and (b) conducted in association with a sport and recreation use on the same <i>site</i> .	 Sport and recreation zone code Applicable local plan code Prescribed other development codes
	Impact assessment if	The planning scheme
Tourist park	not otherwise specified. Code assessment if:- (a) for a caravan park or camping ground; and (b) conducted in association with a showground use on the same site.	 Sport and recreation zone code Applicable local plan code Relocatable home park and tourist park code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
Business activities	1 '	
Food and drink outlet	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; (b) conducted in association with an open space or sport and recreation use on the same <i>site</i> ; and (c) having a <i>gross</i> <i>leasable floor area</i> not exceeding 100m ² .	• Transport and parking code
	Impact assessment if not otherwise specified.	The planning scheme
Market	Accepted development if:- (a) conducted by a not- for-profit organisation; and (b) located on <i>Council</i> owned or controlled land.	No requirements applicable

Table 5.5.13 Sport and recreation zone

SPORT AND RECREATION ZONE		
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
	 Accepted development if conducted:- (a) conducted by a not- for-profit organisation; (b) not on Council owned or controlled land; and (c) conducted in association with and subordinate to an outdoor sport and recreation use on the same site. 	Market code
	Code assessment if not otherwise specified.	 Sport and recreation zone code Applicable local plan code Market code Safety and security code Transport and parking code Waste management code
Community activities		
Community use	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	No requirements applicable
	Accepted development	• Transport and parking
	if in an existing building. Code assessment if not otherwise specified.	code • Sport and recreation zone code • Community activities code • Applicable local plan code • Prescribed other development codes
Emergency services	Code assessment	 Sport and recreation zone code Applicable local plan code Community activities code Prescribed other development codes
Sport and recreation act		
Club	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	No requirements applicable
	Accepted development if:- (a) in an existing building; and (b) not exceeding a gross floor area of 300m ² .	Transport and parking code
	Code assessment if not otherwise specified.	 Sport and recreation some code Applicable local plan code Sport and recreation uses code Prescribed other development codes
Indoor sport and recreation	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	No requirements applicable

SPORT AND RECREATION ZONE			
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
	Accepted development if in an existing building.	Transport and parking code	
	Code assessment if not otherwise specified.	 Sport and recreation Sport and recreation uses zone code Applicable local plan Prescribed other 	
		code development codes	
Major sport, recreation and entertainment facility	Code assessment if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	 Sport and recreation zone code Applicable local plan code Sport and recreation uses code Applicable local plan development codes 	
	Impact assessment if not otherwise specified.	The planning scheme	
Outdoor sport and recreation	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	No requirements applicable	
	Code assessment if not otherwise specified.	 Sport and recreation zone code Applicable local plan code Sport and recreation uses code Prescribed other development codes 	
Park	Accepted development	No requirements applicable	
Other activities			
Utility installation	Accepted development if for a <i>local utility</i> . Impact assessment if	No requirements applicable The planning scheme	
	not otherwise specified.		
Other defined uses			
All other uses defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	
Undefined uses			
Any use not defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	

LIMITED DEVELOPMENT (LANDSCAPE RESIDENTIAL) ZONE			
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
Residential activities			
Dwelling house	Accepted development	Dwelling house code	
Business activities			
Home based business	Accepted development if:- (a) for a home office; or (b) involving a home based child care service licensed under the Child Care Act 2002.	No requirements applicable	
	Accepted development if for an activity other than a high impact home based business activity. Impact assessment if for a high impact home	Home based business codeThe planning scheme	
	based business activity.		
Community activities			
Community use	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	No requirements applicable	
	Impact assessment if not otherwise specified.	The planning scheme	
Sport and recreation acti			
Park	Accepted development	No requirements applicable	
Rural activities			
Animal husbandry	Accepted development if:- (a) involving the grazing of livestock only; and (b) located outside the Urban growth management boundary.	Rural uses code	
	Impact assessment if not otherwise specified.	The planning scheme	
Other activities			
Utility installation	Accepted development if for a <i>local utility</i> . Impact assessment if not otherwise specified.	No requirements applicableThe planning scheme	
Other defined uses	not otherwise specified.		
All other uses defined in Schedule 1 (Definitions) Undefined uses	Impact assessment	The planning scheme	
Any use not defined in Schedule 1 (Definitions)	Impact assessment	The planning scheme	

Table 5.5.18 Limited development (landscape residential) zone

RURAL ZONE			
Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
Residential activities	•		
Dwelling house	Accepted development	Dwelling house code	
Nature-based tourism	Code assessment if for a camping ground or not more than 8 holiday cabins.	 Rural zone code Applicable local plan code Nature and rural based tourism code Prescribed other development codes 	
	Impact assessment if not otherwise specified.	The planning scheme	
Short-term	Code assessment if for	Rural zone code Nature and rural based	
accommodation	a farm stay or not more than 8 holiday cabins.	Applicable local plan tourism code Prescribed other development codes	
	Impact assessment if not otherwise specified.	The planning scheme	
Business activities			
Home based business	Accepted development	No requirements	
	 if:- (a) for a home office; or (b) involving a home based child care service licensed under the Child Care Act 2002. 	applicable	
	Accepted development if not otherwise specified.	Home based business code	
Market	Accepted development if:- (a) conducted by a not- for-profit organisation; and (b) located on <i>Council</i> owned or controlled land.	No requirements applicable	
	Impact assessment if not otherwise specified.	The planning scheme	
Sales office	Accepted development if for a prize home.	Sales office code	
	Impact assessment if not otherwise specified.	The planning scheme	
Shop	Code assessment if:- (a) for an art and craft centre; and (b) not exceeding a gross floor area of 300m ² .	 Rural zone code Applicable local plan code Business uses and centre design code Prescribed other development codes 	
	Impact assessment if not otherwise specified.	The planning scheme	
Industry activities			
Extractive industry	Code assessment if located in Precinct RUR1 (Meridan Plains Extractive Resource Area).	Rural zone code Extractive industry code Prescribed other development codes	
	Impact assessment if not otherwise specified.	The planning scheme	
Transport depot	Accepted development if involving the storage of not more than 2 vehicles.	Rural industries code	
	Impact assessment if not otherwise specified.	The planning scheme	

Table 5.5.19 Rural zone

5.7 Categories of development and categories of assessment - building work

The following table identifies the category of development and category of assessment for building work regulated under the planning scheme.

Note-this table only applies to building work that does not involve a material change of use.

Table 5.7.1 **Building work**

	BUILDING WORK – ALL ZONES				
Development	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development			
Building work	 Accepted development ³ if:- (a) involving <i>minor building work</i>; or (b) associated with a use that is made accepted development by another table of assessment. 	No requirements applicable			
	Accepted development ⁴ if the applicable use code identifies acceptable outcomes applicable to accepted development.	 The use code applicable to the use for which the building work is to be undertaken Transport and parking code 			
	Code assessment if not otherwise specified above.	 The use code applicable to the use for which the building work is to be undertaken The local plan code applicable to the <i>site</i> on which the building work is to be undertaken 			
		Transport and parking code			

Editor's note—building work that is accepted development under the planning scheme may be assessable development under the *Building Regulation 2006* or other State legislation. Editor's note—building work that is accepted development subject to requirements under the planning scheme may be assessable

development under the Building Regulation 2006 or other State legislation.

5.8 Categories of development and categories of assessment – operational work

The following table identifies the category of development and category of assessment for operational work.

Table 5.8.1Operational work

OPERATIONAL WORK – ALL ZONES				
Development	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development		
Operational work – engineering work and				
Operational work involving engineering work and/or landscape work associated with a material change of use.	Accepted development if the associated change of use is accepted development.	 No requirements applicable 		
	Accepted development if the associated change of use is accepted development.	 The code or codes applicable to the material change of use for which the operational work is to be undertaken. 		
	Code assessment if the associated change of use is assessable development.	 Landscape code Stormwater management code Transport and parking code Works, services and infrastructure code 		
Operational work involving engineering work and/or landscape work associated with reconfiguring a lot.	Code assessment	Landscape code Reconfiguring a lot code Stormwater management code Transport and parking code Works, services and infrastructure code		
Operational work involving engineering work not associated with a material change of use or reconfiguring a lot.	Accepted development if:- (a) on <i>Council</i> owned or controlled land; and (b) undertaken by or on behalf of the <i>Council</i> .	No requirements applicable		
	Accepted development if associated with a dwelling house.	Dwelling house code		
	Code assessment if not otherwise specified.	 Landscape code Stormwater management code Transport and parking code Works, services and infrastructure code 		
Operational work –filling or excavation				
Operational work involving <i>filling or</i> <i>excavation</i> (other than the placement of topsoil) associated with a material change of use or reconfiguring a lot.	 Accepted development if:- (a) involving cumulative filling or excavation of not more than 50m³ of material; OR (b) in an identified drainage deficient area ⁵; and (c) involving filling undertaken in accordance with a current drainage deficient area flood information certificate issued by the Council; OR (d) on Council owned or controlled land and undertaken by or on behalf of the Council; and (e) the associated change of use is accepted development. 	No requirements applicable		
	Accepted development if the associated change of use is	• The code or codes applicable to the material change of use		

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⁵ Editor's note—drainage deficient areas are identified on Figure 8.2.7 (Drainage deficient areas) of the Flood hazard overlay code.

5.9 Categories of development and categories of assessment – local plans

The following tables identify the circumstances in which a local plan changes the category of development and category of assessment for development and the applicable requirements for accepted development and assessment benchmarks for assessable development.

5.9.1 Blackall Range local plan

Table 5.9.1 Blackall Range local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in **Table 5.5.8 (Local centre zone)**. This table must be read in conjunction with **Table 5.5.8**.

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
LOCAL CENTRE ZONE		
Business activities		
Any use included in the business activity group	Impact assessment if:- (a) not in an existing building; and (b) having a gross leasable floor area exceeding 500m ² .	The planning scheme
Industrial activities		
Any use included in the industrial activity group	Impact assessment if:- (a) not in an existing building; and (b) having a gross leasable floor area exceeding 500m ² .	The planning scheme

5.9.2 Buderim local plan

Table 5.9.2 Buderim local plan: reconfiguring a lot

Note—this table identifies variations to the category of development and category of assessment for reconfiguring a lot specified in **Table 5.6.1 (Reconfiguring a lot)**. This table must be read in conjunction with **Table 5.6.1**.

Development	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
LOW DENSITY RESIDENT	LOW DENSITY RESIDENTIAL ZONE – PRECINCT BUD LPP-1 (GLOUCESTER ROAD SOUTH)		
Reconfiguring a lot			
Reconfiguring a lot	Impact assessment if	The planning scheme	
	creating one or more		
	additional lots.		

5.9.3 Caloundra local plan

Table 5.9.3 Caloundra local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in Table 5.5.2 (Medium density residential zone), Table 5.5.6 (Major centre zone) and Table 5.5.16 (Community facilities zone). This table must be read in conjunction with Table 5.5.2, Table 5.5.6 and Table 5.5.16.

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
VILLAGE)	DENTIAL ZONE – SUB	-PRECINCT CAL LPSP-1D (CENTRAL PARK URBAN
Business activities		
Office	Code assessment if located:- (a) on Lots 34, 35, 36, 37, 38 or 39 on RP56889 at 35, 37, 39, 41, 43 and 45 Bowman Road; and (b) at the ground floor of a mixed use development.	 Medium density residential zone code Caloundra local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
Health care services	Code assessment if located:- (a) on Lots 34, 35, 36, 37, 38 or 39 on RP56889 at 35, 37, 39, 41, 43 and 45 Bowman Road; and (b) at the ground floor of a <i>mixed</i> use development.	 Medium density residential zone code Caloundra local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
MAJOR CENTRE ZONE - S	SUB-PRECINCT CAL LPS	SP-1E (CALOUNDRA HOSPITALITY AREA)
Nightclub entertainment facility		 Major centre zone code Caloundra local plan code Business uses and centre design code Prescribed other development codes
COMMUNITY FACILITIES 2		CAL LPSP-1B (COMMUNITY AND CREATIVE HUB)
Residential activities	A	
Dwelling house	Accepted development if on a lot currently occupied by a dwelling house. Impact assessment if not otherwise specified.	Dwelling house code The planning scheme
Other defined uses		
All other uses defined in Schedule 1 (Definitions)	Impact assessment if:- (a) located on properties fronting Omrah Avenue; and (b) not on <i>Council</i> owned or controlled land.	The planning scheme

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
COMMUNITY FACILITIES	ZONE - PRECINCT CAL L	PP-4 (CALOUNDRA AERODROME)
Residential activities		
Caretaker's accommodation	Accepted development if in an existing building.	Caretaker's accommodation code
	Code assessment if not otherwise specified.	 Community facilities Nuisance code Transport and parking Caloundra local plan code Caretaker's accommodation code
Business activities	_	
Food and drink outlet	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Code assessment if not associated with <i>air services</i> .	 Community facilities Business uses and centre design code Caloundra local plan code Prescribed other development codes.
Office	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Code assessment if not associated with air services.	Community facilities Zone code Caloundra local plan code Caloundra code Caloundra local plan Code Code
Low impact industry	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with air services.	No requirements applicable
	Accepted development if:- (a) not associated with air services; and (b) in an existing building.	Industry uses code Transport and parking code
	Code assessment if not associated with air services.	Community facilities Zone code Caloundra local plan code
Medium impact industry	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
	Accepted development if:- (a) not associated with air services; and (b) in an existing building.	 Industry uses code Transport and parking code
	Code assessment if not associated with air services.	Community facilities Zone code Caloundra local plan code Code Industry uses code <i>Prescribed other development codes.</i>
Research and technology industry	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Accepted development if:- (a) not associated with <i>air services</i> ; and (b) in an existing building.	Industry uses code Transport and parking code
	Code assessment if not associated with air services.	Community facilities Industry uses code Zone code Caloundra local plan code development codes.
Service industry	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Accepted development if:- (a) not associated with <i>air services</i> ; and (b) in an existing building.	Industry uses code • Transport and parking code
	Code assessment if not associated with air services.	 Community facilities zone code Caloundra local plan code Industry uses code Prescribed other development codes.
Community activities		
Community care centre	Impact assessment	The planning scheme
Educational establishment	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
-	Impact assessment if not otherwise specified.	The planning scheme
Sport and recreation activi	ties	
Club	Impact assessment	The planning scheme
Indoor sport and recreation	Impact assessment	The planning scheme
Outdoor sport and	Impact assessment	The planning scheme

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
Other activities		
Telecommunications facility	Code assessment	Community facilities Telecommunications facility code Caloundra local plan code Caloundra code development codes

5.9.4 Caloundra West local plan

Table 5.9.4.1 Caloundra West local plan: reconfiguring a lot

Note—this table identifies variations to the category of development and category of assessment for reconfiguring a lot specified in **Table 5.6.1 (Reconfiguring a lot)**. This table must be read in conjunction with **Table 5.6.1**.

Development	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
LOW DENSITY RESIDENT	LOW DENSITY RESIDENTIAL ZONE – PRECINCT CAW LPP-1 (HOMESTEAD DRIVE)		
Reconfiguring a lot			
Reconfiguring a lot	Impact assessment if	The planning scheme	
	creating one or more		
	additional lots.		

Table 5.9.4.2 Caloundra West local plan: operational work

Note—this table identifies variations to the category of development and category of assessment for operational work specified in **Table 5.8.1 (Operational work)**. This table must be read in conjunction with **Table 5.8.1**.

Development	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
SPORT AND RECREATION	I ZONE – LOT 200 SP189	338 (CORBOULD PARK RACECOURSE)
Operational work – placing	g an advertising device o	n premises
Placing an <i>advertising</i> <i>device</i> on premises	Code assessment if:- (a) a third party advertising device in the form of a billboard sign or pylon sign; (b) located on Lot 200 SP189338 (Corbould Park Racecourse); and (c) forming part of an integrated advertising strategy primarily aimed at promoting the program and providing directional guidance to the race course.	Advertising devices Caloundra West local plan code

5.9.5 Golden Beach/Pelican Waters local plan

Table 5.9.5.1 Golden Beach/Pelican Waters local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in **Table 5.5.17 (Emerging community zone)**. This table must be read in conjunction with **Table 5.5.17**.

Defined use	Category of development and category of	Assessment benchmarks for assessable development and requirements for accepted development
EMERGING COMMUNITY	assessment ZONE (PELICAN WATER	S GOLF COURSE)
Residential activities		,
Dual occupancy	Code assessment where on a site nominated as a dual occupancy site on an approved plan of development for reconfiguring a lot.	Emerging community zone code Golden Beach/Pelican Waters local plan code Oual occupancy code <i>Prescribed other development codes</i>
Multiple dwelling	Code assessment where on a site nominated as a <i>multiple dwelling site</i> on an approved plan of development for reconfiguring a lot.	 Emerging community zone code Golden Beach/Pelican Waters local plan code Multi-unit residential uses code Prescribed other development codes
Retirement facility	Code assessment where on a site nominated as a retirement facility site on an approved plan of development for reconfiguring a lot.	 Emerging community zone code Golden Beach/Pelican Waters local plan code Retirement facility and residential care facility code Prescribed other development codes
Rooming accommodation	Code assessment where on a site nominated as a rooming accommodation site on an approved plan of development for reconfiguring a lot.	 Emerging community zone code Golden Beach/Pelican Waters local plan code Multi-unit residential uses code Prescribed other development codes
Short term accommodation	0 0	 Emerging community zone code Golden Beach/Pelican Waters local plan code Multi-unit residential uses code Prescribed other development codes
Business activities		
Shop	Code assessment if:- (a) for a <i>corner store</i> ; and (b) on a <i>site</i> nominated as a shop (<i>corner</i> <i>store</i>) <i>site</i> on an approved plan of development for reconfiguring a lot.	 Emerging community zone code Golden Beach/Pelican Waters local plan code Business uses and centre design code Prescribed other development codes
Sport and recreation activ	vities	
Outdoor sport and recreation	Code assessment where involving a golf course.	 Emerging community zone code Golden Beach/Pelican Waters local plan code Sport and recreation uses code Prescribed other development codes
OPEN SPACE ZONE (LOT 603 SP221893)		
Business activities		

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Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
Food and drink outlet	Code assessment if:- (a) not incorporating a drive-through facility; and (b) not for a high volume convenience restaurant.	 Open space zone code Golden Beach/Pelican Waters local plan code Business uses and centre design code Prescribed other development codes
Shop	Code assessment if:- (a) for a corner store; and (b) in association with a food and drink outlet.	 Open space zone code Golden Beach/Pelican Waters local plan code Business uses and centre design code Prescribed other development codes

Table 5.9.5.2 Golden Beach/Pelican Waters local plan: reconfiguring a lot

Note—this table identifies variations to the category of development and category of assessment for reconfiguring a lot specified in **Table 5.6.1 (Reconfiguring a lot)**. This table must be read in conjunction with **Table 5.6.1**.

Development	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
EMERGING COMMUNIT	EMERGING COMMUNITY ZONE (PELICAN WATERS GOLF COURSE)		
Reconfiguring a lot	Reconfiguring a lot		
Reconfiguring a lot	Code assessment	Golden Beach/Pelican Waters local plan code	
		 Emerging community zone code 	
		 Reconfiguring a lot code 	
		 Prescribed other development codes 	

5.9.6 Kawana Waters local plan

Table 5.9.6 Kawana Waters local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in **Table 5.5.7** (**District centre zone**). This table must be read in conjunction with **Table 5.5.7**.

Defined use	Category of	Assessment benchmarks for assessable development	
	development and category of	and requirements for accepted development	
	assessment		
DISTRICT CENTRE ZONE - PRECINCT KAW LPP- 1 (SOUTH OF POINT CARTWRIGHT DRIVE) AND PRECINCT KAW LPP- 2 (NORTH OF POINT CARTWRIGHT DRIVE)			
Business activities			
Theatre	Impact assessment if for a cinema.	The planning scheme	
DISTRICT CENTRE ZONE -		(NICKLIN WAY NORTH, MINYAMA)	
Residential activities			
Community residence	Impact assessment	• Schedule 6, Part 2, Item 6, sections (b) - (e) of the	
		Regulation	
		The planning scheme	
Business activities			
Adult store	Impact assessment	The planning scheme	
Agricultural supplies store	Impact assessment	The planning scheme	
Bar	Impact assessment	The planning scheme	
Car wash	Impact assessment	The planning scheme	
Food and drink outlet	Impact assessment	The planning scheme	
Function facility	Impact assessment	The planning scheme	
Garden centre	Impact assessment	The planning scheme	
Hardware and trade supplies	Impact assessment	The planning scheme	
Hotel	Impact assessment	The planning scheme	
Market	Impact assessment	The planning scheme	
Service station	Impact assessment	The planning scheme	
Shop	Accepted development if for a pharmacy in an	Transport and parking code	
	existing building.		
	Code assessment if for a pharmacy not in an existing building.	 District centre zone code Kawana Waters local plan code Business uses and centre design code Prescribed other 	
		development codes	
	Impact assessment if not otherwise specified.	The planning scheme	
Shopping centre	Impact assessment	The planning scheme	
Theatre	Impact assessment	The planning scheme	
Veterinary services	Impact assessment	The planning scheme	
Industrial activities			
Service industry	Impact assessment	The planning scheme	
Community activities			
Place of worship	Impact assessment	The planning scheme	
Other activities			
Parking station	Impact assessment	The planning scheme	

5.9.7 Landsborough local plan

Table 5.9.7 Landsborough local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in **Table 5.5.21 (Specialised centre zone)**. This table must be read in conjunction with **Table 5.5.21**.

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development	
SPECIALISED CENTRE ZONE			
Business activities	Business activities		
Food and drink outlet	Impact assessment if incorporating a <i>drive-through facility</i> .	The planning scheme	

5.9.8 Maroochy North Shore local plan

Table 5.9.8.1 Maroochy North Shore local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in Table 5.5.1 (Low density residential zone), Table 5.5.2 (Medium density residential zone) and Table 5.5.16 (Community facilities zone). This table must be read in conjunction with Table 5.5.1, Table 5.5.2 and Table 5.5.16.

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
COMMUNITY FACILITIES	ZONE - PRECINCT MN	S LPP - 1 (SUNSHINE COAST AIRPORT)
Residential activities		
Short-term accommodation	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with air services.	No requirements applicable
	Code assessment if not associated with <i>air services</i> .	 Community facilities - Multi-unit residential uses code Maroochy North Shore local plan code Maroochy North Chore local plan code
Business activities		
Food and drink outlet	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Code assessment if not associated with <i>air services</i> .	 Community facilities zone code Maroochy North Shore Business uses and centre design code Prescribed other
Office	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	 local plan code development codes No requirements applicable
	Code assessment if not associated with air services.	 Community facilities zone code Maroochy North Shore local plan code Business uses and centre design code <i>Prescribed other development codes</i>
Service station	Code assessment	 Community facilities zone code Maroochy North Shore local plan code Service station code Prescribed other development codes
Shop	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Code assessment if:- (a) not exceeding 300m ² gross leasable floor area; and (b) not associated with air services. services.	 Community facilities zone code Maroochy North Shore local plan code Business uses and centre design code Prescribed other development codes

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Defined use	Category of development and category of	Assessment benchmarks for assessable development and requirements for accepted development
	assessment Impact assessment if not otherwise specified.	The planning scheme
Industrial activities		
Low impact industry	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Accepted development if:- (a) not associated with <i>air services</i> ; and (b) in an existing building.	Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	Community facilities Industry uses code Zone code Maroochy North Shore local plan code Community facilities Industry uses code <i>Prescribed other development codes</i>
Medium impact industry	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Accepted development if:- (a) not associated with <i>air services</i> ; and (b) in an existing building.	Industry uses code Transport and parking code
	Code assessment if not otherwise specified.	Community facilities Industry uses code <i>other</i> Maroochy North Shore local plan code
Research and technology industry	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Accepted development if:- (a) not associated with <i>air services</i> ; and (b) in an existing building.	Industry uses code Transport and parking code
	Code assessment if not otherwise specified	 Community facilities zone code Maroochy North Shore local plan code Industry uses code Prescribed other development codes
Service industry	Accepted development if:- (a) located on <i>Council</i> owned or controlled land; and (b) associated with <i>air services</i> .	No requirements applicable
	Accepted	Industry uses code Transport and parking code

Defined use	Category of	Assessment benchmarks for assessable development
Denned use	development and category of	and requirements for accepted development
	assessment	
	development if:-	
	(a) not associated with <i>air services</i> ;	
	and (b) in an existing building.	
	Code assessment if	Community facilities • Industry uses code
	not otherwise specified	zone code • Prescribed other • Maroochy North Shore development codes
Warehouse	Accepted	local plan code • No requirements
Thai chi cu co	development if:-	applicable
	(a) located on <i>Council</i> owned	
	or controlled land; and	
	(b) associated with air services.	
	Accepted development if:-	Industry uses code Transport and parking code
	(a) not associated	
	with <i>air</i> services;	
	and (b) in an existing building.	
	Code assessment if not otherwise	Community facilities Industry uses code zone code Prescribed other
	specified.	Maroochy North Shore development codes
		local plan code
Community activities Community care centre	Impact assessment	The planning scheme
Educational	Accepted	No requirements
establishment	development if:- (a) located on <i>Council</i> owned	applicable
	<i>Council</i> owned or controlled	
	land; and (b) associated with <i>air services</i> .	
	Impact assessment	The planning scheme
	if not otherwise	
Sport and recreation activ	specified.	
Club	Impact assessment	The planning scheme
Indoor sport and	Impact assessment	The planning scheme
recreation Outdoor sport and	Impact assessment	The planning scheme
recreation Other activities		
Parking station	Accepted	No requirements
	development if:-	applicable
	(a) located on <i>Council</i> owned	
	or controlled	
	land; and (b) associated with	
	air services. Code assessment if	Community facilities • Business uses and centre
	not otherwise	zone code design code
	specified.	Maroochy North Shore • Prescribed other local plan code • Prescribed other development codes
Telecommunications facility	Code assessment	Community facilities Telecommunications facility code
-		Maroochy North Shore • Prescribed other local plan code • Prescribed other development codes
LOW DENSITY RESIDEN	TIAL ZONE AND MEDIU	M DENSITY RESIDENTIAL ZONE – PRECINCT MNS LPP –
2 (TOWN OF SEASIDE) Any use	Accepted	No requirements applicable

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
	development if in accordance with subdivision permit no. 51480 (as modified by permit no. CCC03/0053) and the endorsed "Urban Code – Toward Community", for the Town of Seaside.	
	Impact assessment if not otherwise specified.	The planning scheme
MEDIUM IMPACT INDUST Business activities	TRY ZONE	
Outdoor sales	Code assessment if	Medium impact industry Business uses and centre
	for a car hire business.	zone code • Maroochy North Shore local plan code • <i>Described</i> • <i>Prescribed</i> <i>design code</i> • <i>Prescribed</i> <i>development codes</i>
	Impact assessment if not otherwise specified.	The planning scheme
Showroom	Accepted development if: (a) in an existing building; and (b) for a car hire business.	• Transport and parking code
	Code assessment if: (a) not in an existing building; and (b) for a car hire business.	 Medium impact industry zone Maroochy North Shore local plan code Business uses and centre design code Prescribed development codes
	Impact assessment if not otherwise specified.	The planning scheme

Table 5.9.8.2 Maroochy North Shore local plan: building work

Note—this table identifies variations to the category of development and category of assessment for building work specified in **Table 5.7.1 (Building work)**. This table must be read in conjunction with **Table 5.7.1**.

Development	Category of development and category of assessment TIAL ZONE AND MEDIUM	Assessment benchmarks for assessable development and requirements for accepted development DENSITY RESIDENTIAL ZONE – PRECINCT MNS LPP –
2 (TOWN OF SEASIDE)		
Building work	Accepted development if in accordance with subdivision permit no. 51480 (as modified by permit no. CCC03/0053) and the endorsed "Urban Code – Toward Community", for the Town of Seaside.	No requirements applicable
	Impact assessment if not otherwise specified.	The planning scheme

Table 5.9.8.3 Maroochy North Shore local plan: operational work

Note—this table identifies variations to the category of development and category of assessment for operational work specified in **Table 5.8.1 (Operational work)**. This table must be read in conjunction with **Table 5.8.1**.

Dovelonment	Catagory of	Accessment herebrarks for accessible development
Development	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
2 (TOWN OF SEASIDE)	AL ZONE AND MEDIUM	DENSITY RESIDENTIAL ZONE – PRECINCT MNS LPP –
Operational work – landsc	ape work	
Operational work involving landscape work associated with a material change of use	Accepted development if in accordance with subdivision permit no. 51480 (as modified by permit no. CCC03/0053) and the endorsed "Urban Code – Toward Community", for the Town of Seaside.	No requirements applicable
	Code assessment if	Landscape code
	not otherwise specified.	Maroochy North Shore local plan code
Operational work – engine	•	
Operational work – engine Operational work involving engineering work associated with a material change of use	Accepted development if associated with a dwelling house.	Dwelling house code AO7.1 and AO9 of Table 9.3.6.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development).
	Code assessment if not otherwise specified.	 Maroochy North Shore local plan code Stormwater management code Works, services and infrastructure code Transport and parking code (other than AO3.1 and AO3.2 of Table 9.4.8.3.1 Requirements for accepted development and performance outcomes and acceptable development).
Operational work involving engineering work not associated with a material change of use	Accepted development if associated with a dwelling house.	Dwelling house code AO7.1 and AO9 of Table 9.3.6.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development).
	Code assessment if not otherwise specified.	 Maroochy North Shore local plan code Stormwater management code Works, services and infrastructure code Works, services and content infrastructure code Maroochy North Shore code Transport and parking code (other than AO3.1 and AO3.2 of Table 9.4.8.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development).
Operational work – filling o		
Operationalworkinvolvingfillingorexcavation(other than theplacementoftopsoil)associated with a materialchange of use	Accepted development if involving cumulative filling or excavation of not more than 50m ³ of material.	No requirements applicable
	Accepted development if associated with a dwelling house.	Dwelling house code AO12 of Table 9.3.6.3.1 (Requirements for accepted development

Development	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
		outcomes and acceptable outcomes for assessable development).
	Code assessment if not otherwise specified.	 Maroochy North Shore •Works, services and infrastructure code Stormwater management code
Operationalworkinvolvingfillingorexcavation(other than theplacementoftopsoil)notassociated with a materialchangeof	Accepted development if involving cumulative filling or excavation of not more than 50m ³ of material.	No requirements applicable
	Accepted development if associated with a dwelling house.	Dwelling house code AO12 of Table 9.3.6.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development).
	Code assessment if not otherwise specified.	 Maroochy North Shore Works, services and infrastructure code Stormwater management code
Operational work – placing		
Operational work involving placing an <i>advertising device</i> on premises.	Accepted development if in accordance with subdivision permit no. 51480 (as modified by permit no. CCC03/0053) and the endorsed "Urban Code – Toward Community" for the Town of Seaside.	No requirements applicable
	Impact assessment if not otherwise specified.	The planning scheme

5.9.9 Maroochydore/Kuluin local plan

Table 5.9.9 Maroochydore/Kuluin local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in Table 5.5.1 (Low density residential zone), Table 5.5.3 (High density residential zone), Table 5.5.5 (Principal centre zone) and Table 5.5.14 (Open space zone). This table must be read in conjunction with Table 5.5.1, Table 5.5.3, Table 5.5.5 and Table 5.5.14.

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
PRINCIPAL CENTRE ZONE	- PRECINCT MAR LPP	- 2 (AERODROME ROAD)
Business activities	Import oppositions	The allowing a change
Nightclub entertainment facility	Impact assessment	The planning scheme
Shop	Impact assessment if for a department store.	The planning scheme
Shopping centre	Code assessment if not involving a department store. Impact assessment if involving a department store.	 Principal centre zone code Maroochydore/Kuluin local plan code Business uses and centre design code Prescribed other development codes
Showroom	Code assessment if each individual tenancy does not exceed a gross leasable floor area of 3,000m ² . Impact assessment if not otherwise	 Principal centre zone code Maroochydore/Kuluin local plan code The planning scheme Business uses and centre design code Prescribed other development codes
	specified.	
	- PRECINCT MAR LPP	- 3 (MAROOCHY BOULEVARD/DALTON DRIVE)
Business activities	Import opposition*	The planning ashered
Nightclub entertainment facility	Impact assessment	The planning scheme
Shop	Impact assessment if for a <i>department store</i> .	The planning scheme
Shopping centre	Code assessment if not involving a <i>department store</i> .	 Principal centre zone code Maroochydore/Kuluin local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if involving a <i>department</i> store.	The planning scheme
Showroom	Code assessment if each individual tenancy does not exceed a gross leasable floor area of 3,000m ² .	 Principal centre zone code Maroochydore/Kuluin local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
HIGH DENSITY RESIDENT	AL ZONE - PRECINCT M	IAR LPP - 4 (WHARF STREET)
Business activities		
Office	Code assessment	 High density residential zone code Maroochydore/Kuluin local plan code Business uses and centre design code

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Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
LOW DENSITY RESIDENT	AL ZONE - PRECINCT M	AR LPP - 5 (MAUD STREET/SUGAR ROAD)
Business activities		
Office	Code assessment if in an existing dwelling house.	 Low density residential zone code Maroochydore/Kuluin local plan code Business uses and centre design code Landscape code Nuisance code Transport and parking code
	Impact assessment if not otherwise specified.	The planning scheme
OPEN SPACE ZONE (LOT	6 SP239529)	
Other activities		
Major electricity infrastructure	Accepted development if for underground high voltage sub- transmission powerlines and associated transition structures.	No requirements applicable

5.9.10 Mooloolaba/Alexandra Headland local plan

Table 5.9.10 Mooloolaba/Alexandra Headland local plan: material change of use

Note – This table identifies variations to the category of development and category of assessment for a defined use specified in **Table 5.5.3 (High density residential zone)** and **Table 5.5.16 (Community facilities zone)** and. This table must be read in conjunction with **Table 5.5.3** and **Table 5.5.16**.

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
COMMUNITY FACILITIES	SZONE - PRECINCT MAH	LPP - 2 (MOOLOOLABA SPIT GOVERNMENT USES)
Business activities		
Food and drink outlet	Accepted development if in an existing building.	Transport and parking code
	Code assessment if not otherwise specified.	 Community facilities zone code Mooloolaba/Alexandra Headland local plan code Business uses and centre design code Prescribed other development codes
Shop	Accepted development if in an existing building.	Transport and parking code
	Code assessment if not otherwise specified.	 Community facilities zone code Mooloolaba/Alexandra Headland local plan code Business uses and centre design code Prescribed other development codes
ACTIVATION)	ITIAL ZONE - PRECINCT N	IAH LPP - 3 (MOOLOOLABA HEART STREET
Business activities		
Food and drink outlet	Accepted development if:- (a) in an existing building in a tenancy that has been approved for non- residential use; and (b) not incorporating a <i>drive-through</i> <i>facility</i> ;	Transport and parking code
	Code assessment if forming part of a mixed use building. Impact assessment if not otherwise specified.	 High density residential zone code Applicable local plan code The planning scheme Business uses and centre design code Prescribed other development codes
Shop	Accepted development if:- (a) in an existing building in a tenancy that has been approved for non- residential use; and (b) not exceeding a gross leasable floor area of 300m ² . Code assessment if:-	Transport and parking code High density residential • Business uses and centre
	 (a) located at the ground storey of a mixed use building; and (b) not exceeding a gross leasable floor area of 300m². Impact assessment if not otherwise specified. 	zone code design code • Applicable local plan • <i>Prescribed other</i> code development codes

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5.9.11 Nambour local plan

Table 5.9.11 Nambour local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in **Table 5.5.6 (Major centre zone)** and **Table 5.5.8 (Local centre zone)**. This table must be read in conjunction with **Table 5.5.6 and Table 5.5.8**.

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
MAJOR CENTRE ZONE - F	PRECINCT NAM LPP - 3 (TOWN CENTRE FRAME)
Business activities		
Food and drink outlet	Accepted development if:- (a) in an existing building; and (b) not incorporating a drive-through facility.	Transport and parking code
	Impact assessment if incorporating a <i>drive-through facility</i> .	The planning scheme
	Code assessment if not otherwise specified.	 Major centre zone code Nambour local plan code Business uses and centre design code Prescribed development codes
Function facility	Impact assessment	 The planning scheme
Hotel	Impact assessment	The planning scheme
Market	Impact assessment	The planning scheme
Shop	Code assessment if occupying not more than 200m ² of <i>gross leasable floor area.</i>	 Major centre zone code Nambour local plan code Business uses and centre design code Prescribed development codes
	Impact assessment if not otherwise specified.	The planning scheme
Shopping centre	Impact assessment	The planning scheme
Showroom	Accepted development if in an existing building.	Business uses and Transport and parking centre design code code
	Code assessment if not otherwise specified.	 Major centre zone code Nambour local plan code Business uses and centre design code Prescribed development codes
Theatre	Impact assessment	The planning scheme
Industrial activities		
Low impact industry	Accepted development if:- (a) in an existing building; and (b) occupying not more than 200m ² of gross floor area.	Industry uses code Transport and parking code
	Code assessment if:- (a) not in an existing building; and (b) occupying not more than 200m ² of gross floor area.	Major centre zone code Nambour local plan <i>Prescribed other code</i>
	Impact assessment if not otherwise specified.	The planning scheme
Sport and recreation activity	ities	
Major sport, recreation and entertainment facility	Impact assessment	The planning scheme

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development		
LOCAL CENTRE ZONE – P	RECINCT NAM LPP-4 (N	AMBOUR HEALTH HUB)		
Business activities				
Agricultural supplies store	Impact assessment	The planning scheme		
Function facility	Impact assessment	The planning scheme		
Garden centre	Impact assessment	 The planning scheme 		
Hardware and trade supplies	Impact assessment	The planning scheme		
Market	Impact assessment	 The planning scheme 		
Shop	Accepted development if:- (a) in an existing building; and (b) having a gross leasable floor area not exceeding 200m ² .	• Transport and parking code		
	Code assessment if:-(a) not in an existing building; and(b) having a gross leasable floor area not exceeding 200m².	 Local centre zone code Nambour local plan code Business uses and centre design code Prescribed other development codes 		
	Impact assessment if not otherwise specified.	The planning scheme		
Shopping centre	Code assessment if:- (a) having a gross leasable floor area not exceeding 1,000m ² ; and (b) any shop tenancy does not exceed a gross leasable floor area of 200m ² .	 Local centre zone code Nambour local plan code Prescribed other development codes 		
	Impact assessment if not otherwise specified.	The planning scheme		
Veterinary services	Impact assessment	The planning scheme		
Industrial activities				
Low impact industry	Impact assessment	The planning scheme		
Community activities	· ·			
Hospital	Code assessment	 Local centre zone code Nambour local plan code Community activities code Prescribed other development codes 		
Sport and recreation activities				
Club	Impact assessment	The planning scheme		
Indoor sport and recreation	Impact assessment	The planning scheme		

5.9.12 Sippy Downs local plan

Table 5.9.12 Sippy Downs local plan: material change of use

Note—this table identifies variations to the category of development and category of assessment for a defined use specified in **Table 5.5.6 (Major centre zone)**. This table must be read in conjunction with **Table 5.5.6**.

Defined use	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development
	PRECINCT SID LPP-1 (SI	PPY DOWNS TOWN CENTRE AND SURROUNDS) - SUB-
Residential activities	(SIPPY DOWNS TOWN CE	ENTRE CORE)
Dual occupancy	Impact assessment	The planning scheme
Dwelling unit	Impact assessment	The planning scheme The planning scheme
Resort complex	Impact assessment	The planning scheme The planning scheme
Business activities	impuot abbedoment	
Bar	Code assessment if	Major centre zone code Business uses and centre
Dai	forming part of a mixed use development.	Sippy Downs local plan code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
Car wash	Impact assessment	The planning scheme
Food and drink outlet	Accepted development if:- (a) in an existing building; and (b) not involving a drive-through facility.	Transport and parking code
	Code assessment if:- (a) not involving a drive-through facility; and (b) forming part of a mixed use development.	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
Function facility	Code assessment if forming part of a <i>mixed use</i> <i>development</i> .	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
Funeral parlour	Code assessment if forming part of a <i>mixed use</i> <i>development</i> .	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed development codes
	Impact assessment if not otherwise specified.	The planning scheme
Garden centre	Code assessment if:- (a) not exceeding a gross leasable floor area of 200m²; and (b) forming part of a mixed use development.	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
Health care services	Accepted development if in an existing building.	Transport and parking code

Defined use	Category of development and category of	Assessment benchmarks for assessable development and requirements for accepted development
	assessment Code assessment if forming part of a mixed use development.	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified	The planning scheme
Hotel	Code assessment if forming part of a mixed use development.	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified	The planning scheme
Office	Accepted development if in an existing building.	• Transport and parking code
	Code assessment if forming part of a mixed use development.	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
Service station	Impact assessment	The planning scheme
Shop	Accepted development if:- (a) in an existing building; and (b) forming part of a mixed use development.	Transport and parking code
	Code assessment if forming part of a mixed use development. Impact assessment if not	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed development codes
	specified.	
Shopping centre	Code assessment if forming part of a <i>mixed use</i> <i>development</i> .	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed other development codes
	Impact assessment if not otherwise specified.	The planning scheme
Theatre	Code assessment if forming part of a mixed use development.	 Major centre zone code Sippy Downs local plan code Business uses and centre design code Prescribed development codes
	Impact assessment if not otherwise specified.	The planning scheme
Veterinary services	Accepted development if in an existing building.	Transport and parking code
	Code assessment if forming part of a mixed use development.	Major centre zone code Sippy Downs local plan code Prescribed development codes
	Impact assessment if not otherwise specified.	The planning scheme
Sport and recreation activ	ities	
Major sport, recreation and entertainment facility	Impact assessment	The planning scheme

Defined use	Category of	Assessment benchmarks for assessable development
Denneu use	development and	and requirements for accepted development
	category of	
Other activities	assessment	
•	O a da a a a a a mantif	
Parking station	Code assessment if forming part of a	 Major centre zone code Sippy Downs local plan Business uses and centre design code
	mixed use	code • Prescribed other
	development.	development codes
	Impact assessment if	The planning scheme
	not otherwise specified.	
MAJOR CENTRE ZONE -		PPY DOWNS TOWN CENTRE AND SURROUNDS) - SUB -
		S AND TECHNOLOGY SUB-PRECINCT)
Residential activities		
Dual occupancy	Impact assessment	The planning scheme
Resort complex	Impact assessment	The planning scheme
Business activities	-	
Adult store	Impact assessment	The planning scheme
Agricultural supplies	Impact assessment	The planning scheme
store	Impact accessment	The planning achieves
Car wash	Impact assessment	The planning scheme
Garden centre	Impact assessment	The planning scheme
Hardware and trade supplies	Impact assessment	The planning scheme
Service station	Impact assessment	The planning scheme
Shop	Impact assessment if	The planning scheme
	exceeding a gross leasable floor area of	
	100m ² .	
Shopping centre	Impact assessment	The planning scheme
	if:- (a) any retail/	
	catering uses	
	exceed a total	
	gross leasable floor area of	
	500m ² : or	
	(b) any shop tenancy	
	exceeds 100m ²	
	gross leasable floor area.	
Theatre	Impact assessment if	The planning scheme
	for a cinema.	· ····································
Industrial activities		
Research and technology industry	Code assessment	Major centre zone code Industry uses code Sinny Devres local plan Propertied
leciniology industry		Sippy Downs local plan Prescribed other development codes
Sport and recreation activ	ities	
Club	Impact assessment	The planning scheme
Indoor sport and	Code assessment if	Major centre zone code Sport and recreation uses
recreation	not involving an	Sippy Downs local plan code
	activity that requires a liquor licence or	code • Prescribed other development codes
	gaming licence.	development codes
	Impact assessment if	The planning scheme
	not otherwise	
Major sport, recreation	specified. Impact assessment	The planning scheme
and entertainment	inpuot abbedoment	
facility		

5.10 Categories of development and categories of assessment – overlays

The following table identifies where an overlay changes the category of development and category of assessment from that stated in a zone or local plan and the relevant requirements for accepted development and assessment benchmarks for assessable development.

Table 5.10.1 Overlays

AS	SESSMENT BENCHMARKS FOR ASSESSABLE DEVE		MENTS FOR ACCEPTED
	DEVELOPMENT FO	R OVERLAYS Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
	d sulfate soils overlay		
	 development if:- within Area 1 as identified on an Acid Sulfate Soils Overlay Map and involving:- (i) excavating or otherwise removing 100m³ or more of soil or sediment; or (ii) filling of land with 500m³ or more of material with an average depth of 0.5 metres or greater; or 	Code assessment if the developmentis is provisionallymade ade acceptedaccepteddevelopment by another tableof assessment.Nochangeifnot	Acid sulfate soils overlay code Acid sulfate soils
	within Area 2 as identified on an Acid Sulfate Soils Overlay Map and involving excavating or otherwise removing 100m ³ or more of soil or sediment at or below 5 metres AHD.	otherwise specified above.	overlay code
Airp	oort environs overlay – where within the outer limits of pace)	an obstacle limitation sur	face (operational
Mat	 erial change of use if:- within the outer limits of an obstacle limitation surface as identified on an Airport Environs Overlay Map; and involving one or more of the following:- (i) buildings, structures or works over 12 metres in height; (ii) extractive industry; (iii) the emission of gaseous plumes, smoke, dust, ash or steam; or (iv) external lighting that includes:- (A) straight parallel lines 500 metres to 1,000 metres long; or (B) flare plumes, buildings or machinery with reflective cladding, upward shining lights, 	Code assessment if the change of use is provisionally made accepted development by another table of assessment. No change if not otherwise specified.	Airport environs overlay code
(a) (b)	flashing or sodium lights. Prational work if:- within the outer limits of an <i>obstacle limitation surface</i> as identified on an Airport Environs Overlay Map: and involving one or more of the following:- (i) the emission of gaseous plumes, smoke, dust, ash or steam; or (ii) external lighting not associated with a material change of use that includes:- (A) straight parallel lines 500 metres to 1,000 metres long; or (B) flare plumes, buildings or machinery with reflective cladding, upward shining lights, flashing or sodium lights.	No change	Airport environs overlay code
	oort environs overlay – where within specified airport r		
(a)	erial change of use if:- within the specified airport runway separation distances as identified on an Airport Environs Overlay Map; and involving:- (i) the disposal of putrescible waste within 13km of a	Code assessment if the change of use is provisionally made accepted development by another table of assessment.	Airport environs overlay code

⁹ Editor's note—to remove any doubt, development that is not identified as being subject to an overlay in this table does not require assessment against an overlay code and there is no change to the provisional level of assessment.

¹⁰ Editor's note—to remove any doubt, where there are no relevant acceptable outcomes for accepted development subject to requirements provided in the applicable overlay code, accepted development is not required to be assessed against the overlay code.

AS	SES	SMENT BENCHMARKS FOR ASSESSABLE DEVE DEVELOPMENT FO		MENTS FOR ACCEPTED
Dev	elopı	nent subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
	(ii)	 runway; or any of the following uses within 8km of a runway:- (A) animal keeping involving a wildlife or bird sanctuary; (B) aquaculture; (C) an industrial use involving food handling or processing, or an abattoir; (D) intensive animal industry; or 	No change if not otherwise specified.	
	(iii)	 (D) Interisive animal industry, of any the following activities within 6km of a runway:- (A) external lighting that includes straight parallel lines 500 metres to 1,000 metres long; or (B) external lighting that includes flare plumes, 		
	(iv)	buildings with reflective cladding, upward shining lights, flashing or sodium lights; or major sports, recreation and entertainment facilities or outdoor sport and recreation facilities involving fair grounds, showgrounds, outdoor theatres or outdoor cinemas within 3km of a runway: or		
		<i>cropping</i> , where involving a turf farm or fruit tree farm within 3km of a runway; or the creation of a <i>constructed water body</i> within		
		3km of a runway.		
	withi dista Map	Juring a lot if:- in the specified airport runway separation ances as identified on an Airport Environs Overlay ; and lving any of the following activities:-	No change	Airport environs overlay code
	(i) (ii)	the construction of a new road within 6km of a runway; or the creation of a <i>constructed water body</i> within 3km of a runway.		
Ope	ratio	nal work if:-	No change	Airport environs
. ,	dista Map invo	in the specified airport runway separation ances as identified on an Airport Environs Overlay ; and lving the creation of a <i>constructed water body</i> in 3km of a runway.		overlay code
Δirn		nvirons overlay – where within aviation facility se	ensitive area	
		change of use if:-	No change	Airport environs
(a) (b)	withi an A invo builo	in an <i>aviation facility sensitive area</i> as identified on hirport Environs Overlay Map; and lving the construction of temporary or permanent lings or structures.		overlay code
(a) (b)	withi an A invo builo	nal work if:- in an aviation facility sensitive area as identified on irport Environs Overlay Map; and lving the construction of temporary or permanent lings or structures.	No change	Airport environs overlay code
		nvirons overlay – where within ANEF contours		
(a)	invo cont Ove (i) (ii) (iii) invo	change of use, if:- lving any of the following uses within the 20 ANEF our (or greater) as identified on an Airport Environs rlay Map:- a use in the <i>residential activity group</i> involving permanent accommodation; a use in the <i>community activity group</i> , other than <i>cemetery, crematorium</i> or <i>emergency services</i> ; or <i>health care services</i> . lving any of the following uses within the 25 ANEF	Code assessment if the change of use is provisionally made accepted development by another table of assessment (other than for a <i>dual occupancy</i> or <i>dwelling house</i>). No change if not otherwise specified.	Airport environs overlay code
		our (or greater) as identified on an Airport Environs rlay Map:- a use in the <i>residential activity group</i> involving temporary accommodation;		

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVE DEVELOPMENT FO		MENTS FOR ACCEPTED
Development subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
(ii) <i>hotel</i> (if incorporating a residential component); or(iii) <i>office.</i>		
Reconfiguring a lot if creating additional lots within an <i>ANEF</i> contour as identified on an Airport Environs Overlay Map.	No change	Airport environs overlay code
Airport environs overlay – where within a public safety ar	ea	
Material change of use other than in an existing building,	Code assessment if the	Airport environs
 if:- (a) within the <i>public safety area</i> as identified on an Airport Environs Overlay Map; and (b) involving any of the following:- (i) a use in the <i>residential activity group</i>; (ii) a use in the <i>business activity group</i>; (iii) a use in the <i>industrial activity group</i>; (iv) a use in the <i>community activity group</i>; or 	change of use is provisionally made accepted development by another table of assessment. No change if not otherwise specified.	overlay code
(v) a use in the sport and recreation activity group. Reconfiguring a lot if creating additional lots within the <i>public safety area</i> as identified on an Airport Environs	No change	Airport environs overlay code
Overlay Map.		l
 Biodiversity, waterways and wetlands overlay Material change of use, other than in an existing building, if:- (a) on land subject to the biodiversity, waterways and wetlands overlay as identified on a Biodiversity, Waterways and Wetlands Overlay Map; and (b) not for an <i>extractive industry</i> within Precinct RUR 1 (Meridan Plains Extractive Resource Area). 	Code assessment if for one of the following uses and provisionally made accepted development by another table of assessment:- (a) dual occupancy; (b) low impact industry; (c) rural industry; (d) service industry; (e) transport depot; or (f) warehouse.	Biodiversity, waterways and wetlands overlay code
Reconfiguring a lot if on land subject to the biodiversity, waterways and wetlands overlay as identified on a	Nochangeifnototherwisespecifiedabove.No change	 Biodiversity, waterways and wetlands overlay code Biodiversity, waterways and
Biodiversity, Waterways and Wetlands Overlay Map. Operational work if on land subject to the biodiversity, waterways and wetlands overlay as identified on a Biodiversity, Waterways and Wetlands Overlay Map.	Code assessment if:- (a) involving filling or excavation; and (b) provisionally made accepted development by the table of assessment in Section 5.8 (Categories of development and categories of assessment – operational work); other than:- (c) where on Council owned or controlled land; and (d) undertaken by or on behalf of the Council.	 wetlands overlay code Biodiversity, waterways and wetlands overlay code
Building work not associated with a material change of	No change if not otherwise specified above. No change	 Biodiversity, waterways and wetlands overlay code Biodiversity,

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVELOPMENT AND REQUIREMENTS FOR ACC DEVELOPMENT FOR OVERLAYS Development subject to overlay ⁹ Category of development and category of assessment development and requirements for accepted	
development and benchmarks for category of assessable assessment development an requirements fo accepted	
requirements fo accepted	
accepted	
development ¹⁰	
use, other than minor building work, if on land subject to waterways	and
the biodiversity, waterways and wetlands overlay as wetlands overlaidentified on a Biodiversity, Waterways and Wetlands	ay code
Overlay Map.	
Bushfire hazard overlay	
Material change of use, other than in an existing building, if:- No change • Bushfire overlay code	hazard
(a) within a medium or high bushfire hazard area or	
bushfire hazard area buffer as identified on a Bushfire Hazard Overlay Map; and	
(b) involving any of the following:-	
 (i) a use in the <i>residential activity group</i>; (ii) a use in the <i>business activity group</i>; 	
(iii) a use in the <i>industrial activity group</i> , except for	
extractive industry; (iv) a use in the community activity group; or	
(v) a use in the <i>sport and recreation activity group</i> .	
Reconfiguring a lot where creating additional lots within a medium or high bushfire hazard area or bushfire hazard No change • Bushfire overlay code	hazard
area buffer as identified on a Bushfire Hazard Overlay Map.	
Building work not associated with a material change of use, other than <i>minor building work</i> , if within a medium building work of a medium building	hazard
use, other than minor building work, if within a medium overlay code or high bushfire hazard area or bushfire hazard area buffer overlay code	
as identified on a Bushfire Hazard Overlay Map.	
Coastal protection overlay – where within a coastal protection area Material change of use if:- No change • Coastal protection	
Material change of use if:- No change • Coastal protection protection area as identified on a (a) within a coastal protection area as identified on a • Coastal protection prote	protection
Coastal Protection Overlay Map; and	
 (b) involving the following:- (i) the construction of a new building or structure; or 	
(ii) an increase in the <i>gross floor area</i> of an existing	
building or structure. No change • Coastal protection	protection
identified on a Coastal Protection Overlay Map. overlay code	
Operational work if:- No change • Coastal p (a) within a coastal protection area as identified on a overlay code overlay code	protection
Coastal Protection Overlay Map; and	
(b) involving tidal work or other work as identified in Schedule 3, Part 1, Table 4, Item 5 of the Regulation.	
	protection
(a) within a coastal protection area as identified on a overlay code Coastal Protection Overlay Map; and	
(b) involving the following:-	
(i) a dwelling house; or	
 (ii) the construction of a new building or structure; or (iii) an increase in the gross floor area of an existing 	
building or structure;	
except where the following:- (c) an acceptable temporary, relocatable or expendable	
structure for safety and recreational purposes ¹¹ ; or	
(d) an extension to an existing building or structure that is landward of the seaward alignment of the existing	
building or structure.	
Extractive resources overlay – if within a resource/processing area	
Material change of use, other than in an existing building, if:- No change • Extractive revealed overlay code	esources
(a) within a resource/processing area as identified on an	
Extractive Resources Overlay Map; and (b) involving any of the following:-	
(i) a use in the residential activity group, other than a	

 ¹¹ Note—acceptable temporary, relocatable or expendable structures for safety of recreational purposes include: (a) picnic tables, barbeques, coastal trails and bikeways that are considered to be expendable when threatened by erosion; and
 (b) specially designed portable or demountable towers, equipment sheds, lookouts, shelter sheds, decks and pergolas that are unattached and non-permanent structures capable of being easily and quickly removed when threatened by erosion.

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVE		MENTS FOR ACCEPTED
DEVELOPMENT FO	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
 dwelling house; (ii) a use in the business activity group, other than a home based business; (iii) a use in the industrial activity group, other than an extractive industry; (iv) a use in the community activity group; (v) a use in the sport and recreation activity group; (vi) a use in the rural activity group being intensive animal industry or winery; or (vii) a use in the other activity group. 		
Reconfiguring a lot if within a <i>resource/processing area</i> as identified on an Extractive Resource Areas Overlay Map.	No change	 Extractive resources overlay code
Extractive resources overlay – if within a separation area	for a resource/processing	area
 Material change of use, other than in an existing building, if:- (a) within a separation area for a <i>resource/processing</i> area as identified on an Extractive Resources Overlay Map; and (b) involving any the following:- (i) a use in the <i>residential activity group</i>, other than a caretaker's residence associated with an extractive industry or a dwelling house; (ii) a use in the <i>business activity group</i>, other than a home based business; (iii) a use in the <i>industrial activity group</i>; (iv) a use in the <i>community activity group</i>; (v) a use in the <i>sport and recreation activity group</i>; (vi) a use in the <i>rural activity group</i> being <i>intensive animal industry</i> or winery; or (vii) a use in the other activity group other than a landfill or refuse transfer station (utility installation). 	No change	Extractive resources overlay code
<i>resource/processing area</i> as identified on an Extractive Resources Overlay Map.	No change	 Extractive resources overlay code
Extractive resources overlay - if within a transport route	separation area	
 Material change of use, other than in an existing building, if:- (a) within a <i>transport route</i> separation area as identified on an Extractive Resources Overlay Map; and (b) involving a <i>sensitive land use</i>. 	No change	Extractive resources overlay code
Reconfiguring a lot if within a <i>transport route</i> separation area as identified on an Extractive Resources Overlay Map.	No change	 Extractive resources overlay code
 Operational work if:- (a) within a <i>transport route</i> separation area as identified on an Extractive Resources Overlay Map; and (b) associated with the creation of, or upgrade to, a vehicular access point to the <i>transport route</i>. 	No change	Extractive resources overlay code
Flood hazard overlay ¹²		
Material change of use , other than in an existing building, if within a flood and inundation area as identified on a Flood Hazard Overlay Map.	Code assessment if for one of the following uses and provisionally made accepted development by another table of assessment:- (a) <i>low impact</i> <i>industry</i> ; (b) <i>rural industry</i> ; (c) <i>service industry</i> ; (d) <i>transport depot</i> ; or (e) <i>warehouse</i> .	• Flood hazard overlay code

¹² Note—the flood hazard overlay identifies areas where flood and storm tide modelling has been undertaken by the *Council*. Other areas not identified by the flood hazard overlay may also be subject to the *defined flood event* (*DFE*) or *defined storm tide event* (*DSTE*). Development occurring in such areas will also be assessable against the Flood hazard overlay code.

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVE DEVELOPMENT FO		MENTS FOR ACCEPTED
Development subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
	No change if not otherwise specified above.	 Flood hazard overlay code
Reconfiguring a lot if within a flood and inundation area as identified on a Flood Hazard Overlay Map.	No change	 Flood hazard overlay code
 Operational work if:- (a) within a flood and inundation area as identified on a Flood Hazard Overlay Map; and (b) involving:- (i) any physical alteration to a <i>waterway</i> or floodway, including <i>vegetation clearing</i>; or (ii) filling cumulatively exceeding 50m³. 	Code assessment if:- (a) involving filling or excavation; and (b) provisionally made accepted development by the table of assessment in Section 5.8 (Categories of development and categories of assessment – operational work); other than:- (c) where on Council owned or controlled land; and (d) undertaken by or on behalf of the Council. No change if not	 Flood hazard overlay code Flood hazard overlay
Building work not associated with a material change of use, other than <i>minor building work</i> , if within a flood and	otherwise specified above. No change	Flood hazard overlay code
inundation area as identified on a Flood Hazard Overlay Map.		
Height of buildings and structures overlay		
 Any development if:- (a) exceeding the maximum height specified for the <i>site</i> on the applicable Height of Buildings and Structures Overlay Map ¹³; and (b) for a use or purpose other than:- (i) erecting a structure for a telecommunications tower in the:- (A) Rural zone; (B) Principal centre zone; (C) Major centre zone; (D) District centre zone; (E) Specialised centre zone; (F) Low impact industry zone; (H) High impact industry zone; (ii) erecting a structure for a use in the <i>industrial activity group</i> in an <i>industry zone</i>; or (iii) erecting a structure for a sport and recreation use in the:- (A) Sport and recreation zone; or (iv) erecting a building or structure for a <i>utility installation</i> where located on Council owned or controlled land or for a <i>Distributor retailer</i>, or (v) erecting a building or structure for a use in the Rural zone; or 	Impact assessment	The planning scheme

¹³ Note—in accordance with Note 1 on the applicable Height of Buildings and Structures Overlay Map, for development on a site within a flooding and inundation area as identified on a Flood Hazard Overlay Map, the maximum height of a building or structure is calculated in accordance with the formula in PO2 in **Table 8.2.8.3.1 (Performance outcomes and acceptable outcomes for assessable development)** of the Height of buildings and structures overlay code.

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVE DEVELOPMENT FO		MENTS FOR ACCEPTED
Development subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
 rural activity group in the Rural zone; or (vii) erecting a structure for a tourist attraction in the Tourism zone in Precinct TOU2 (Aussie World); or (viii) erecting a building or structure associated with a prescribed rooftop use. 		
 Material change of use if:- (a) not exceeding the maximum height specified for the site on the applicable Height of Buildings and Structures Overlay Map; and (b) for a use other than a dual occupancy or dwelling house. 	No change	Height of buildings and structures overlay code
Heritage and character areas overlay – where involving o		e
Material change of use if involving a <i>local heritage place</i> as identified on a Heritage and Character Areas Overlay Map.	Code assessment if the change of use:- (a) will not involve the demolition, relocation or removal of a heritage place; and (b) is provisionally made accepted development by a table of assessment for material change of use.	Heritage and character areas overlay code
	Impact assessment if the change of use will result in building work involving demolition, relocation or removal of a heritage place.	The planning scheme
	No change if not otherwise specified above.	 Heritage and character areas overlay code
 Reconfiguring a lot if:- (a) involving a <i>local heritage place</i> as identified on a Heritage and Character Areas Overlay Map; or (b) on a lot or premises adjoining a <i>State heritage place</i> or <i>local heritage place</i> as identified on a Heritage and Character Areas Overlay Map. 	No change	Heritage and character areas overlay code
Building work not associated with a material change of use if involving a <i>local heritage place</i> as identified on a Heritage and Character Areas Overlay Map.	Code assessment if the building work does not involve the demolition, relocation or removal of a heritage place.	Heritage and character areas overlay code
	Impact assessment if the building work involves the demolition, relocation or removal of a heritage place.	The planning scheme
Operational work involving filling or excavation exceeding 50m ³ if on a <i>local heritage place</i> as identified on a Heritage and Character Areas Overlay Map.	No change	Heritage and character areas overlay code
Operational work involving placing an advertising device on premises if involving a <i>local heritage place</i> as identified on a Heritage and Character Areas Overlay Map.	Code assessment if the operational work is provisionally made accepted development by the applicable table of assessment for operational work.	Heritage and character areas overlay code
	No change if not otherwise specified above.	 Heritage and character areas overlay code

Part 5

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVELOPMENT AND REQUIREMENTS FOR ACCEPTED DEVELOPMENT FOR OVERLAYS		
Development subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
Operational work involving <i>vegetation clearing</i> if on a <i>local heritage place</i> or a <i>State heritage place</i> identified on a Heritage and Character Areas Overlay Map.	No change	Heritage and character areas overlay code
Heritage and character areas overlay – where within a nei	ghbourhood character are	a
Material change of use if within a neighbourhood character area as identified on a Heritage and Character Areas Overlay Map.	Code assessment if the change of use:- (a) will not involve the demolition, relocation or removal of a <i>character building</i> ; and (b) is provisionally made accepted development by the applicable table of assessment for material change of use.	Heritage and character areas overlay code
	Impact assessment if the change of use will result in building work involving demolition, relocation or removal of a character building. No change if not otherwise specified	 The planning scheme Heritage and character areas overlay code
Reconfiguring a lot if within a neighbourhood character area as identified on a Heritage and Character Areas Overlay Map.	above. No change	Heritage and character areas overlay code
 Building work not associated with a material change of use if:- (a) within a neighbourhood character area as identified on a Heritage and Character Areas Overlay Map; and (b) involving any of the following external building work to a <i>character building</i>:- (i) extensions forward of the existing front building alignment; (ii) extensions not forward of the existing front building alignment having a gross floor area exceeding 10m²; (iii) enclosing a front verandah; (iv) a change of external building material or cladding to the front or side elevation; or (v) a change of window placement or window design in the front facade. 	Code assessment	Heritage and character areas overlay code
 use if:- (a) within a neighbourhood character area as identified on a Heritage and Character Areas Overlay Map; and (b) involving the demolition, relocation or removal of a <i>character building</i>. 		The planning scheme
Operationalworkinvolvingfillingorexcavationexceeding50m³ if within a neighbourhood character areaas identified on a Heritage and Character Areas OverlayMap.Operationalworkinvolvingplacinganadvertisingdevice on premisesif within a character area as identifiedon a Heritage and Character Areas OverlayMap.	No change Code assessment if the operational work is provisionally made accepted development by the applicable table of assessment for	 Heritage and character areas overlay code Heritage and character areas overlay code
	operational work. No change if not otherwise specified	Heritage and character areas overlay code

Part 5

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVELOPMENT AND REQUIREMENTS FOR ACCEPTED DEVELOPMENT FOR OVERLAYS		
Development subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
	above.	
Landslide hazard and steep land overlay	· · · ·	ſ
Material change of use other than in an existing building if:-	No change	 Landslide hazard and steep land overlay
 (a) on steep land or a landslide hazard area as identified on a Landslide Hazard and Steep Land Overlay Map; and (b) for a use other than animal husbandry or cropping. 		code
Reconfiguring a lot if on <i>steep land</i> or a landslide hazard	No change	Landslide hazard and
area as identified on a Landslide Hazard and Steep Land Overlay Map.		steep land overlay code
 Operational work associated with material change of use or reconfiguring a lot if:- (a) on steep land or a landslide hazard area as identified on a Landslide Hazard and Steep Land Overlay Map; and (b) involving:- (i) earthworks exceeding 50m³ (other than the placement of topsoil); (ii) vegetation clearing; or (iii) redirecting the existing flow of surface or ground water. 	No change	Landslide hazard and steep land overlay code
Operational work involving <i>filling or excavation</i> not associated with a material change of use or	Code assessment if:- (a) provisionally made	 Landslide hazard and steep land overlay
 reconfiguring a lot if :- (a) on steep land or a landslide hazard area as identified on a Landslide Hazard and Steep Land Overlay Map; and (b) involving:- (i) earthworks exceeding 50m³ (other than the placement of topsoil); or (ii) redirecting the existing flow of surface or ground water. 	accepted development by the table of assessment in Section 5.8 (Categories of development and categories of assessment – operational work); other than:- (b) where on <i>Council</i> owned or controlled land; and (c) undertaken by or on behalf of the <i>Council</i> . No change if not	• Landslide hazard and
	otherwise specified	steep land overlay
Operational work involving vegetation clearing not	above. No change	codeLandslide hazard and
associated with a material change of use or reconfiguring a lot if on <i>steep land</i> or a landslide hazard area as identified on a Landslide Hazard and Steep Land Overlay Map.		steep land overlay code
Building work not associated with a material change of	No change	Landslide hazard and
use, other than <i>minor building work</i> , if on <i>steep land</i> or a landslide hazard area as identified on a Landslide Hazard		steep land overlay code
and Steep Land Overlay Map. Regional infrastructure overlay – where within the gas pip	beline corridor and buffer o	or water supply pipeline
and buffer Material change of use, other than in an existing building,	No chango	- Degional infrastructure
 (a) within the gas pipeline corridor and buffer or water supply pipeline and buffer as identified on a Regional Infrastructure Overlay Map; and 	No change	Regional infrastructure overlay code
 (b) involving any of the following:- (i) a use in the <i>residential activity group</i>, other than a <i>dual occupancy</i> or <i>dwelling house</i>; (ii) a use in the <i>business activity group</i>; 		

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVELOPMENT AND REQUIREMENTS FOR ACCEPTED DEVELOPMENT FOR OVERLAYS			
Development subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰	
 (iii) a use in the <i>industrial activity group</i>; (iv) a use in the <i>community activity group</i>; (v) a use in the <i>sport and recreation activity group</i>; (vi) a use in the <i>rural activity group</i>, other than <i>animal husbandry</i>, <i>cropping</i> or <i>roadside stall</i>; or (vii) a use in the <i>other activity group</i>. 			
 Reconfiguring a lot if:- (a) within the gas pipeline corridor and buffer or water supply pipeline and buffer as identified on a Regional Infrastructure Overlay Map; and (b) increasing the number of lots. 	No change	Regional infrastructure overlay code	
Operational work associated with reconfiguring a lot if within the gas pipeline corridor and buffer or water supply pipeline and buffer as identified on a Regional Infrastructure Overlay Map.	No change	Regional infrastructure overlay code	
Operational work involving filling or excavation not associated with a material change of use or reconfiguring a lot if within the gas pipeline corridor and buffer or water supply pipeline buffer as identified on a Regional Infrastructure Overlay Map.	No change	Regional infrastructure overlay code	
Regional infrastructure overlay – where within the high vo			
 Material change of use, other than in an existing building, if:- (a) within the high voltage electricity transmission line and buffer as identified on a Regional Infrastructure Overlay Map; and (b) involving any of the following:- (i) a use in the residential activity group, other than a dual occupancy or dwelling house; (ii) a use in the business activity group; (iii) a use in the industrial activity group; (iv) a use in the community activity group; (v) a use in the sport and recreation activity group; (vi) a use in the other activity group, other than animal husbandry, cropping or roadside stall; or (vii) a use in the other activity group, other than major electricity infrastructure. 	No change	Regional infrastructure overlay code	
 Reconfiguring a lot if:- (a) within the high voltage electricity transmission line and buffer as identified on a Regional Infrastructure Overlay Map; and (b) increasing the number of lots. 	No change	 Regional infrastructure overlay code 	
Operational work associated with reconfiguring a lot if within the high voltage electricity transmission line and buffer as identified on a Regional Infrastructure Overlay Map.	No change	Regional infrastructure overlay code	
Operational work involving filling or excavation not associated with a material change of use or reconfiguring a lot if:-(a) within the high voltage electricity transmission line and buffer as identified on a Regional Infrastructure Overlay Map; and(b) involving:- (i) excavating 100m³ or more of material; or (ii) filling land with 500m³ or more of material with an average depth of 0.5 metres or greater.	No change	Regional infrastructure overlay code	
Regional infrastructure overlay – where within the sewage			
 Material change of use, other than in an existing building, if:- (a) within the wastewater treatment plant and buffer as identified on a Regional Infrastructure Overlay Map; and (b) involving any of the following:- 	No change	Regional infrastructure overlay code	
(i) a use in the <i>residential activity group</i> , other than a <i>dual occupancy</i> or <i>dwelling house</i> ;			

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVE DEVELOPMENT FO		REMENTS FOR ACCEPTED
Development subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰
 (ii) a use in the <i>business activity group</i>; (iii) a use in the <i>community activity group</i>, except for <i>cemetery</i>; or 		
(iv) a use in the sport and recreation activity group.		
Reconfiguring a lot if:- (a) within the wastewater treatment plant and buffer as identified on a Regional Infrastructure Overlay Map; and	No change	Regional infrastructure overlay code
(b) increasing the number of residential lots.		
Regional infrastructure overlay – where within the major r	oad corridor and buffe	r, railway corridor and buffe
or dedicated transit corridor and buffer	No obove	
Material change of use if:- (a) within the major road corridor and buffer, railway corridor and buffer or dedicated transit corridor and buffer as identified on a Regional Infrastructure Overlay Map; and	No change	 Regional infrastructure overlay code
(b) involving a sensitive land use, other than a dual		
occupancy or dwelling house.		
 Reconfiguring a lot if:- (a) within the major road corridor and buffer, railway corridor and buffer or dedicated transit corridor and buffer as identified on a Regional Infrastructure Overlay Map; and (b) increasing the number of sensitive land use development late 	No change	 Regional infrastructure overlay code
development lots.		
Scenic amenity overlay Material change of use, other than in an existing building,	No change	Scenic amenity overlay
 if:- (a) in an area subject to the scenic amenity overlay as identified on a Scenic Amenity Overlay Map; and (b) involving any use, other than animal husbandry, cropping, dual occupancy, dwelling house, roadside stall and wholesale nursery. 		code
Reconfiguring a lot if on land subject to the scenic amenity overlay as identified on a Scenic Amenity Overlay Map.	No change	Scenic amenity overlay code
 Operational work involving <i>filling or excavation</i> if:- (a) on land subject to the scenic amenity overlay as identified on a Scenic Amenity Overlay Map; and (b) involving earthworks exceeding 100m³. 	No change	Scenic amenity overlay code
Operational work involving placing an advertising device on premises if on land subject to the Scenic amenity overlay as identified on a Scenic Amenity Overlay Map.	No change	Scenic amenity overlay code
Operational work involving vegetation clearing not associated with a material change of use or reconfiguring a lot if on land subject to the Scenic amenity overlay as identified on a Scenic Amenity Overlay Map. Water resource catchments overlay	No change	Scenic amenity overlay code
Material change of use if:-	No change	Water resource
 (a) within a water resource catchment area as identified on a Water Resource Catchments Overlay Map; (b) involving any use other than dual occupancy or dwelling house; and (c) involving any of the following:- (i) the establishment, expansion or upgrading of an on-site wastewater treatment system; or (ii) an increase in the number of people being accommodated or working on the <i>site</i>. 	No change	catchments overla
 Reconfiguring a lot if:- (a) within a water resource catchment area as identified on a Water Resource Catchments Overlay Map; and (b) increasing the number of lots. 	No change	Water resource catchments overlay code
Operational work involving <i>filling or excavation</i> not associated with a material change of use or reconfiguring a lot if:-	No change	Water resource catchments overla code

ASSESSMENT BENCHMARKS FOR ASSESSABLE DEVELOPMENT AND REQUIREMENTS FOR ACCEPTED DEVELOPMENT FOR OVERLAYS					
Development subject to overlay ⁹	Category of development and category of assessment	Assessment benchmarks for assessable development and requirements for accepted development ¹⁰			
 (a) within a <i>water resource catchment area</i> as identified on a Water Resource Catchments Overlay Map; and (b) involving the following:- (i) excavating 100m³ or more of material; or (ii) filling land with 500m³ or more of material with an average depth of 0.5 metres or greater. 					
Operational work involving vegetation clearing not associated with a material change of use or reconfiguring a lot if within a water resource catchment area as identified on a Water Resource Catchments Overlay Map.	No change	Water resource catchments overlay code			

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Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
 (b) Community use (where located on Council owned or controlled land and undertaken by or on behalf of the Council) (c) Emergency services 	
Sport and recreation activities	
Park	None
Other activities	
Utility installation (where a local utility)	None

6.2.2 Medium density residential zone code

6.2.2.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Medium density residential zone as identified on the zoning maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Medium density residential zone code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

6.2.2.2 Purpose and overall outcomes

- (1) The purpose of the Medium density residential zone code is to provide for low and medium density residential activities generally in a low rise format, predominantly comprising multi-unit residential uses predominately for permanent residents supported by community activities and small-scale services and facilities that cater for local residents.
- (2) The purpose of the Medium density residential zone code will be achieved through the following overall outcomes:-
 - (a) development provides for a mix of low and medium density residential activities, predominantly for permanent living, including *dwelling houses*, *dual occupancies*, *multiple dwellings* (such as townhouses, terrace and row houses), residential care facilities and retirement facilities;
 - (b) other multi-unit residential activities such as rooming accommodation, relocatable home parks and short-term accommodation may also be established where their scale and operation is compatible with, and does not detract from, the existing and intended residential character and amenity of the zone;
 - (c) *home based businesses* that integrate work and family and are compatible with local residential amenity may also establish in the zone;
 - (d) development may provide for limited other non-residential activities which:-
 - (i) directly support the day to day needs of the immediate residential community;
 - (ii) are of a small scale and low intensity;
 - (iii) are compatible with the local residential character and amenity of the area;
 - (iv) wherever possible, are co-located with other non-residential activities in the zone;
 (v) are accessible to the population they serve and are located on the *major road*
 - network rather than local residential streets; and
 (vi) do not have a significant detrimental impact on the amenity of surrounding residents, having regard to hours of operation, generation of odours, noise, waste products, dust, traffic, electrical interference, lighting and visual impacts;
 - (e) development provides for an efficient pattern of land use and *infrastructure* that:-
 - creates walkable and legible residential neighbourhoods that integrate with active transport networks and are well connected to activity centres, employment nodes, open space and recreational areas, community facilities and educational opportunities;
 - (ii) encourages and facilitates urban consolidation, public transport accessibility and use, walking and cycling; and
 - (iii) maximises the efficient extension and safe operation of infrastructure;
 - development provides for a range of lot sizes, including small residential lots in appropriate locations, where configured to protect streetscape character and minimise the loss of on-street parking;
 - (g) development caters for a low rise built form;

6.2.13 Sport and recreation zone code

6.2.13.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Sport and recreation zone as identified on the zoning maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Sport and recreation zone code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

6.2.13.2 Purpose and overall outcomes

- (1) The purpose of the Sport and recreation zone code is to provide for a range of organised sport and recreation activities and those uses and support facilities which are associated with those activities.
- (2) The purpose of the Sport and recreation zone code will be achieved through the following overall outcomes:-
 - (a) development provides for a range of sport and recreation activities that meet the active recreation needs of residents and visitors including *indoor sport and recreation*, *outdoor sport and recreation* and *park* uses;
 - (b) the zone predominantly accommodates formalised recreation activities that support organised team and individual sports and recreation pursuits including sporting fields, golf courses, outdoor courts, indoor sports centres, public swimming pools, equestrian facilities, and active leisure facilities;
 - (c) ancillary uses and facilities that support the predominant recreation activities including caretaker's accommodation, clubs, certain community activities, function facilities, amenities blocks, kiosks, shelters, spectator stands and lighting infrastructure may be established in the zone where they support the ongoing safe, comfortable and efficient operation of sport and recreation activities;
 - (d) sport and recreation open space may also be used for temporary or periodic uses, such as *markets* or outdoor entertainment events, where these uses are of a scale that can reasonably be accommodated by the existing open space facilities and do not unduly impact on the amenity and character of the surrounding area;
 - (e) the co-location and multiple use of sport and recreation fields and facilities by complementary recreation activities is encouraged;
 - (f) premises used for showgrounds in Eumundi, Kenilworth, Maleny and Nambour may provide accommodation in the form of a small scale *camping ground* or *caravan park* for short-term stays, which remains *ancillary* to the primary use of the showgrounds for sport and recreation purposes;
 - (g) areas used for recreation activities complement, and where practicable, are connected to other parts of the broader regional open space network including land in the Open space zone and the Environmental management and conservation zone;
 - (h) existing and planned recreation activities are protected from the intrusion of incompatible land uses that may compromise or conflict with the primary use of the sport and recreation open space for organised sport and recreation activities;
 - (i) development provides a high level of amenity and mitigates the potential for land use conflicts with existing and planned development in the locality;
 - (j) the scale, intensity and built form of development is compatible with the existing and intended scale and character of the *streetscape* and surrounding area;

- (k) sport and recreation activities and other activities established in the zone make a positive contribution to the image of the Sunshine Coast by incorporating a high quality of built form and landscape design;
- (I) development is located, designed and operated to be responsive to the Sunshine Coast's sub-tropical climate and minimises the consumption of energy and water;
- (m) development protects and enhances the open space character and amenity of sport and recreation areas;
- (n) development avoids as far as practicable, or where avoidance is not practicable, minimises and otherwise mitigates, adverse impacts on *ecologically important areas*, including creeks, gullies, *waterways*, *wetlands*, coastal areas, habitats and *vegetation* through location, design, operation and management;
- (o) development is designed and sited to sensitively respond to the physical characteristics and constraints of land, including flooding, *steep land*, landslide hazard and bushfire hazard, where applicable;
- (p) development encourages public and active transport accessibility and use and provides for pedestrian, cycle and vehicular movement networks that maximise connectivity, permeability and ease of movement within and to sport and recreation open space areas;
- (q) development provides for *infrastructure* and services that are commensurate with the location and setting of the sport and recreation open space and the nature and scale of development that is intended to occur in the zone;
- (r) development does not adversely impact on the continued operation, viability and maintenance of existing *infrastructure* or compromise the future provision of planned *infrastructure*; and
- (s) development provides for the following:-
 - a use listed as a consistent use in column 1 of Table 6.2.13.2.1 (Consistent uses and potentially consistent uses in the Sport and recreation zone) to occur in the Sport and recreation zone; and
 - (ii) a use listed as a potentially consistent use in column 2 of **Table 6.2.13.2.1** to occur in the Sport and recreation zone only where further assessment has determined that the use is appropriate in the zone having regard to such matter as its location, nature, scale and intensity.

Note—a use not listed in **Table 6.2.13.2.1** is an inconsistent use and is not intended to occur in the Sport and recreation zone.

Table 6.2.13.2.1 Consistent uses and potentially consistent uses in the Sport and recreation zone

Con	umn 1 Isistent Uses	Column 2 Potentially Consistent Uses
Res	idential activities	
(a) (b)	Short-term accommodation (where located on Lot 3 on RP41427 located at 325-367 David Low Way, Bli Bli or on <i>Council</i> owned or controlled land and conducted in association with a sport and recreation use on the same <i>site</i>)	Short term accommodation (where other than as specified in column 1)
(c)	<i>Tourist park</i> (where for a <i>camping ground</i> or <i>caravan park</i> conducted in association with a showground use on the same <i>site</i>)	
Bus	iness activities	
(a) (b)	Food and drink outlet (where on Council owned or controlled land, conducted in association with an open space or sport and recreation use on the same site and having a gross leasable floor area not exceeding 100m ²) Market	 (a) Food and drink outlet (where other than as specified in column 1) (b) Function facility
~ /	nmunity activities	
(a) (b)	Community use Emergency services	None

Dart 6

	umn 1 sistent Uses	Column 2 Potentially Consistent Uses
Spo	ort and recreation activities	
(a) (b) (c) (d) (e)	Club Indoor sport and recreation Major sport, recreation and entertainment facility (where located on <i>Council</i> owned or controlled land and undertaken by or on behalf of the <i>Council</i>) Outdoor sport and recreation Park	Motor sport facility
<u> </u>	er activities	
Utili	ty installation (where a local utility)	None

6.2.14 Open space zone code

6.2.14.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Open space zone as identified on the zoning maps contained within **Schedule 2** (Mapping); and
 - (b) identified as requiring assessment against the Open space zone code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

6.2.14.2 Purpose and overall outcomes

- (1) The purpose of the Open space zone code is to provide open space and *park* functions and those uses which are associated with the safe and comfortable public use of those areas. The zone may also accommodate open space required for drainage or amenity purposes. Where required to meet community needs, development may include shelters, amenity facilities, picnic tables, and playgrounds and *infrastructure* to support safe access and essential management.
- (2) The purpose of the Open space zone code will be achieved through the following overall outcomes:-
 - (a) development predominantly provides for *parks* and other small scale and low intensity recreation activities that primarily cater for the informal active recreation needs of residents and visitors;
 - (b) limited other uses which are *ancillary* to and support the use and enjoyment of open space may also be established in the zone;
 - (c) open space may be also used for temporary or periodic uses, such as *markets* or outdoor entertainment events, where these uses are of a scale that can be reasonably accommodated by the existing open space facilities and do not unduly impact on the amenity and character of the surrounding area and the recreational capacity of *parks*;
 - (d) existing and planned open space is protected from the intrusion of incompatible uses that may compromise or conflict with the primary use of the open space for small scale and low intensity recreation activities;
 - (e) where practicable, areas of open space are connected to other parts of the broader regional open space network including land in the Sport and recreation zone and the Environmental management and conservation zone;
 - (f) development provides a high level of amenity and mitigates the potential for land use conflicts with existing and planned development in the locality;
 - (g) the scale, intensity and built form of development is compatible with the existing and intended scale and character of the *streetscape* and surrounding area;
 - (h) activities established in the zone make a positive contribution to the image of the Sunshine Coast by incorporating a high quality of built form and landscape design;
 - (i) development is located, designed and operated to be responsive to the Sunshine Coast's sub-tropical climate and minimises the consumption of energy and water;
 - (j) development protects and enhances the informal character and amenity of open space;
 - (k) development avoids any adverse impacts on *ecologically important areas*, including creeks, gullies, *waterways*, *wetlands*, coastal areas, habitats and *vegetation* through location, design, operation and management;

6.2.18 Limited development (landscape residential) zone code

6.2.18.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Limited development (landscape residential) zone as identified on the zoning maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Limited development (landscape residential) zone code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

6.2.18.2 Purpose and overall outcomes

- (1) The purpose of the Limited development (landscape residential) zone code is to ensure land which is located in an urban or rural residential setting but which has been determined to be unsuitable for *urban purposes* due to the presence of one or more of the following constraints:-
 - (a) flooding;
 - (b) ecologically important areas;
 - (c) steep land or landslide hazard;
 - (d) access limitations; and
 - (e) an amenity deficiency caused by proximity to a major transport corridor or facility;

is appropriately developed having regard to the constraints of the *site*. Such constraints pose severe restrictions on the ability of the land to be developed for urban or rural residential purposes.

- (2) The purpose of the Limited development (landscape residential) zone will be achieved through the following overall outcomes:-
 - development provides for a very limited range of activities that are of a low intensity, generally non-urban nature and compatible with the nature of the constraints present on the land;
 - (b) *dwelling houses* may be established in the zone only where a suitable building *site* can be identified which maintains the safety of people, buildings and works, having regard to the physical constraints of the land;
 - (c) *home based businesses* that integrate work and family and are compatible with local residential amenity may also establish in the zone in conjunction with a *dwelling house*;
 - (d) development does not result in the creation of any additional lots to those existing at the commencement of the planning scheme;
 - (e) development is designed and sited to sensitively respond to the physical characteristics and constraints of land, including flooding, *steep land*, landslide hazard and bushfire hazard, where applicable;
 - development avoids adverse impacts on *ecologically important areas*, including creeks, gullies, *waterways*, *wetlands*, coastal areas, habitats and *vegetation* through location, design, operation and management;
 - (g) development provides for *infrastructure* and services that are commensurate with the very limited range of small scale and low-key activities that are expected to occur in the zone;
 - (h) development does not adversely impact on existing or planned future infrastructure; and
 - (i) development provides for the following:-
 - (i) a use listed as a consistent use in column 1 of Table 6.2.18.2.1 (Consistent uses and potentially consistent uses in the Limited development (landscape

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residential) zone) to occur in the Limited development (landscape residential) zone; and

(ii) a use listed as a potentially consistent use in column 2 of Table 6.2.18.2.1 to occur in the Limited development (landscape residential) zone only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, nature, scale and intensity.

Note—a use not listed in **Table 6.2.18.2.1** is an inconsistent use and is not intended to occur in the Limited development (landscape residential) zone.

Table 6.2.18.2.1 Consistent uses and potentially consistent uses in the Limited development (landscape residential) zone

Column 1	Column 2		
Consistent Uses	Potentially Consistent Uses		
Residential activities			
Dwelling house	None		
Business activities			
Home based business (where other than a high impact	None		
home based business activity)			
Community activities			
Community use (where located on Council owned or	None		
controlled land and undertaken by or on behalf of the			
Council)			
Sport and recreation activities			
Park	None		
Rural activities			
Animal husbandry (where involving the grazing of	(a) Animal husbandry (where other than as specified in		
livestock only and located outside the Urban growth	column 1)		
management boundary)	(b) Cropping (other than forestry for wood production)		
Other activities			
Utility installation (where a local utility)	None		

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Part 7

Part 7 Local Plans

7.1 Preliminary

- (1) Local plans organise the planning scheme area at the local level and provide more detailed planning for the zones.
- (2) Local plan areas are mapped and included in Schedule 2 (Mapping).
- (3) A precinct may be identified for part of a local plan.
- (4) The categories of development and categories of assessment for development in a local plan are in **Part 5 (Tables of Assessment)**.
- (5) Assessment benchmarks for local plans are contained in a local plan code.
- (6) Each local plan code includes the following:-
 - (a) the application of the local plan code;
 - (b) the purpose of the local plan code;
 - (c) the overall outcomes that achieve the purpose of the local plan code;
 - (d) the performance outcomes that achieve the overall outcomes of the local plan code; and
 - (e) the acceptable outcomes that achieve the performance outcomes of the local plan code.
- (7) The following are the local plan codes for the planning scheme:-
 - (a) Beerburrum local plan code;
 - (b) Beerwah local plan code;
 - (c) Blackall Range local plan code;
 - (d) Bli Bli local plan code;
 - (e) Buderim local plan code, including:-
 - (i) Precinct BUD LPP-1 (Gloucester Road South);
 - (f) Caloundra local plan code, including:-
 - (i) Precinct CAL LPP-1 (Bulcock Street);
 - (ii) Precinct CAL LPP-2 (Ormuz Avenue);
 - (iii) Precinct CAL LPP-3 (Bowman Road/Oval Avenue);
 - (iv) Precinct CAL LPP-4 (Moffat Beach/Shelly Beach/Dicky Beach);
 - (v) Precinct CAL LPP-5 (Events Centre Hospitality Area);
 - (vi) Precinct CAL LPP-6 (Bulcock Street Hospitality Area);
 - (vii) Precinct CAL LPP-7 (Bulcock Beach Hospitality Area);
 - (viii) Precinct CAL LPP-8 (Kings Beach Hospitality Area);
 - (ix) Precinct CAL LPP-9 (Omrah Avenue);
 - (x) Precinct CAL LPP-10 (Caloundra Aerodrome);
 - (g) Caloundra West local plan code, including:-
 - (i) Precinct CAW LPP-1 (Homestead Drive);
 - (h) Coolum local plan code, including:-
 - (i) Precinct COL LPP-1 (Palmer Coolum Resort and The Coolum Residences);
 - (i) Eudlo local plan code;

- (j) Eumundi local plan code, including:-
 - (i) Precinct EUM LPP-1 (Eumundi Butter Factory);
- (k) Forest Glen/Kunda Park/Tanawha local plan code;
- (I) Glass House Mountains local plan code;
- (m) Golden Beach/Pelican Waters local plan code;
- (n) Kawana Waters local plan code, including:-
 - (i) Precinct KAW LPP-1 (South of Point Cartwright Drive);
 - (ii) Precinct KAW LPP-2 (North of Point Cartwright Drive);
 - (iii) Precinct KAW LPP-3 (Nicklin Way North Minyama);
 - (iv) Precinct KAW LPP-4 (Buddina Urban Village), including;
 - (A) Sub-precinct KAW LPSP-4a (Urban Village Residential);
 - (B) Sub-precinct KAW LPSP-4b (Bermagui Crescent/Iluka Avenue);
 - (C) Sub-precinct KAW LPSP-4c (Pacific Boulevard);
 - (v) Precinct KAW LPP-5 (Nicklin Way Warana);
 - (vi) Precinct KAW LPP-6 (Regatta Boulevard Wurtulla);
- (o) Kenilworth local plan code;
- (p) Landsborough local plan code, including:-
 - (i) Precinct LAN LPP-1 (Landsborough Town West);
 - (ii) Precinct LAN LPP-2 (Landsborough Town East);
- (q) Maleny local plan code, including:-
 - (i) Precinct MAL LPP-1 (Maleny Community Precinct);
 - (ii) Precinct MAL LPP-2 (Maleny West);
 - (iii) Precinct MAL LPP-3 (Walkers Creek);
 - (iv) Precinct MAL LPP-4 (Maleny North);
- (r) Maroochy North Shore local plan code, including:-
 - (i) Precinct MNS LPP-1 (Sunshine Coast Airport);
 - (ii) Precinct MNS LPP-2 (Town of Seaside);
 - (iii) Precinct MNS LPP-3 (Marcoola Tourist Accommodation);
- (s) Maroochydore/Kuluin local plan code, including:-
 - (i) Precinct MAR LPP-1 (Evans Street);
 - (ii) Precinct MAR LPP-2 (Wharf Street);
 - (iii) Precinct MAR LPP-3 (Maud Street/Sugar Road);
- (t) Mooloolaba/Alexandra Headland local plan code, including:-
 - (i) Precinct MAH LPP-1 (Mooloolaba Hospitality Area);
 - (ii) Precinct MAH LPP-2 (Mooloolaba Spit Government Uses);
 - (iii) Precinct MAH LPP-3 (Mooloolaba Heart Street Activation);
- (u) Mooloolah local plan code;
- (v) Nambour local plan code, including:-
 - (i) Precinct NAM LPP-1 (Nambour Hospitality Area);
 - (ii) Precinct NAM LPP-2 (Former Mill Site and Hospitality Area);
 - (iii) Precinct NAM LPP-3 (Town Centre Frame);
 - (iv) Precinct NAM LPP-4 (Nambour Health Hub);
- (w) Palmwoods local plan code;
- (x) Peregian South local plan code;

well as an attractive and safe pedestrian linkage through the site. Vertical retirement living and/or visitor accommodation is encouraged on this site.

(w) Development on private land included in the Community facilities zone on the northern side of Omrah Avenue is limited to *dwelling houses* on existing lots in order to ensure the land is preserved for future parkland and complementary community and transit facilities to support civic and cultural functions in the Caloundra Centre, and the Maroochydore to Caloundra Priority Transit Corridor (Light Rail).

Additional overall outcomes for development in Sub-precinct CAL LPSP-1c (Gateway)

- (x) Development in Sub-precinct CAL LPSP-1c (Gateway) accommodates a range of predominantly business uses, community uses and multi-unit residential uses, which support Sub-precinct CAL LPSP-1a (Destination centre) including larger format business and community uses that cannot practically be accommodated in Sub-precinct CAL LPSP-1a (Destination centre).
- (y) Development in Sub-precinct CAL LPSP-1c (Gateway) on land with *frontage* to Caloundra Road and Bowman Road between Nicklin Way and Bulcock Street and at the intersection of Bowman Road and Bulcock Street, achieves a high standard of urban design that provides built form, streetscape and landscape treatments which create an attractive boulevard and enhance the western gateway to Bulcock Street.
- (z) Development on sites adjoining Nicklin Way provides high quality buildings, landscaping and integrated signage that improves the visual appearance of Nicklin Way as a major gateway to Caloundra Centre.
- (aa) The government and medical hub established in the vicinity of West Terrace and Bowman Road, and comprising the Caloundra Hospital, Caloundra Courthouse, Caloundra Police Station and other *emergency services*, is consolidated. The government and medical hub further reinforces this part of Caloundra as a focus for the provision of key community facilities.
- (bb) Key site 7 (Stockland Shopping Centre) is consolidated and further developed in accordance with an approved plan of development to create a more integrated and less internalised retail and entertainment based development which addresses public streets, is permeable and supports pedestrian connectivity to other parts of the Caloundra Centre.

Additional overall outcomes for development in Sub-precinct CAL LPSP-1d (Central Park Urban Village)

- (cc) Development in Sub-precinct CAL LPSP-1d (Central Park Urban Village) provides a focus for housing renewal and consolidation focussed around Central Park and nearby sporting and community facilities and within close proximity to the Caloundra Centre and the Maroochydore to Caloundra Priority Transit Corridor (Light Rail) and proposed transit station.
- (dd) The Major centre zone north of Mayes Avenue provides for medium density residential uses, small scale business uses, and mixed use development outcomes that support and complement the role of Sub-precinct CAL LPSP1a (Destination Centre) as the primary focus for centre activities. Medium density residential development and mixed use development incorporating allied health care services, accommodation and sport and recreation related acitivities that support and capitalise on the location close to the Central Park sporting facilities and Caloundra Hospital are encouraged in this part of the Major centre zone. Business uses are focussed predominantly on Oval Avenue.
- (ee) In the Medium density residential zone, small scale allied health focused home based businesses that seek to capitalise on, and reinforce, Central Park and associated facilities as a significant destination for sport and recreation related activities are encouraged.
- (ff) Development on properties in the Medium density residential zone fronting the western side of Bowman Road between Gosling Street and Cowan Street may provide for residential development, or mixed use development with small scale offices or health care services located at street level, with residential above or behind non-residential uses. Mixed use development is designed and configured in a manner that minimises adverse amenity impacts on adjoining residential properties.

- (gg) Development in the Medium density residential zone on sites with a height limit of 15 metres or 18 metres, provides for well designed medium rise and medium density housing types including apartments, townhouses, vertical retirement living, and student accommodation.
- (hh) Development is designed and configured in a manner which assists in the activation and connectivity of open space and recreational areas, particularly Central Park and Bicentennial Park and key pedestrian connections. Development provides frontage treatments and streetscapes which promote pedestrian activity and interaction with the street and adjoining parkland and a high level of amenity and connectivity with, and links to, other sub-precincts within Precinct CAL LPP-1 (Caloundra Central).

Additional overall outcomes for development in Sub-precinct CAL LPSP-1e (Caloundra Hospitality Area)

(ii) Development in Sub-precinct CAL LPSP-1e (Caloundra Hospitality Area) provides a range of business uses and entertainment activities including food and drink outlets, function facilities, bars and hotels that may operate after hours and include live music which creates a vibrant atmosphere. Nightclub entertainment facilities are only established on sites included in the Major centre zone and with frontage to Bulcock Street.

Additional overall outcomes for development in the remainder of the Caloundra local plan area

- (jj) The existing local centres at Currimundi (Local centre zone), Moffat Beach (Local centre zone) and Dicky Beach (Tourist accommodation zone) are retained as local (not full service) activity centres providing for the basic convenience needs of residents of, and visitors to, the local area.
- (kk) Development within the Local centre zone at Moffat Beach provides active street *frontages*, streetscape improvements and other urban elements that create vibrant streets and reflect the prevailing beachside character of the area.
- (II) Development in the Tourist accommodation zone at Kings Beach, Dicky Beach, Currimundi and Oaks Oasis Resort reinforces the role of Caloundra as a major coastal tourism destination and visitor accommodation area.
- (mm) Development in Precinct CAL LPP-2 (Kings Beach Hospitality Area) provides a range of business uses and entertainment activities including *food and drink outlets*, *function facilities*, *bars* and *hotels* that may operate after hours and include live music which creates a vibrant atmosphere.
- (nn) Key Site 8 (Kings Beach Tavern), Key Site 9 (Kings Beach Shops) and Key Site 10 (Oaks Oasis Resort), are developed as signature mixed used developments which:-
 - (i) incorporate high density, predominantly visitor accommodation in comfortable and attractive living environments together with tourism, convenience, leisure and recreation related uses;
 - are integrated with and contribute to the vibrancy of adjoining foreshore or parkland areas;
 - (iii) create active street *frontages* that encourage pedestrian movement and interaction between private development and adjacent public spaces; and
 - (iv) display an outstanding level of architectural and landscape design befitting their location and level of importance within the local plan area.
- (oo) Residential areas are characterised by high quality residential buildings that reflect a beachside setting. Development has a form, scale and level of intensity that minimises its physical and visual impact. In Kings Beach in particular, development responds to its waterfront, intermediate or ridgeline location through variations in *building height* and sensitive residential tower design.
- (pp) Development in the Low density residential zone and Medium density residential zone occurs in an integrated manner and creates walkable neighbourhoods with good pedestrian and cycle connectivity to activity centres, community facilities, recreation areas and other key destinations.
- (qq) Development in Precinct CAL LPP-3 (Moffat Beach/Shelly Beach/Dicky Beach) is compatible with, and sympathetic to, the preferred character of the area, which is characterised by larger

lots. To maintain the low density character and amenity of this area, any residential lot is to be a minimum of 700m² in area.

- (rr) Development in the Medium density residential zone provides for a mix of residential housing types with *dwellings* that are generally of a domestic scale or are provided in small groups so as to reduce the perceived scale and mass of development.
- (ss) Development in the Specialised centre zone provides for the progressive refurbishment of sites adjoining Caloundra Road with high quality buildings, landscaping and integrated signage that improves the visual appearance of Caloundra Road as a landscaped boulevard and major gateway to Caloundra Centre.
- (tt) Development in the Medium impact industry zone provides for the continued development and refurbishment of the Caloundra West Industrial Estate as an area accommodating a broad range of industry uses, while avoiding significant conflicts with nearby residential areas.
- (uu) Development in the Low impact Industry zone provides for the refurbishment and further development of the Moffat Beach Business Park, incorporating a range of *low impact industry* uses and complementary business uses in an attractive mixed use environment. The amenity of surrounding residential areas is maintained.
- (vv) Development within Precinct CAL LPP-4 (Caloundra Aerodrome) provides for the establishment of a range of uses and activities that are compatible with the primary function of the aerodrome including aviation related business, tourism and industrial uses. The scale of development and operations recognises the location of the aerodrome within the urban fabric and the need to take into consideration impacts on nearby existing or proposed residential areas. Development at the Caloundra Aerodrome does not compromise the Sunshine Coast Activity Centre Network.

7.2.6.4 **Performance outcomes and acceptable outcomes**

Table 7.2.6.4.1Performance outcomes and acceptable outcomes for assessable
development within Precinct CAL LPP-1 (Caloundra Central)

Performanc	ce Outcomes	Acceptabl	e Outcomes
Land Uses	and Locations Generally		
PO1	 Development supports the role and function of the Caloundra Centre as: (a) a vibrant, mixed use transit oriented major regional activity centre, supporting a wide range of business, community and residential activities; and (b) the dominant major regional activity centre for the southern Sunshine Coast, subservient only to the Maroochydore Principal Regional Activity Centre. 	AO1	No acceptable outcome provided.
PO2	Development supports an urban structure configured in a manner generally in accordance with Figure 7.2.6C (Caloundra Centre Urban Structure) and comprising the following sub-precincts identified on Local Plan Map LPM45 and further described below:- (a) Sub-precinct LPSP CAL-1a (Destination Centre); (b) Sub-precinct LPSP CAL-1b (Community and Creative Hub); (c) Sub-precinct LPSP CAL-1c (Gateway); and (d) Sub-precinct LPSP CAL-1d (Central Park Urban Village).	AO2	No acceptable outcome provided.

Performance	ce Outcomes	Acceptabl	e Outcomes
Built Form		receptus	
PO3	Development respects and	AO3	No acceptable outcome provided.
	emphasises the following important		
	sightlines and views identified		
	conceptually on Figure 7.2.6A		
	(Caloundra local plan elements)		
	and Figure 7.2.6B (Caloundra local		
	plan elements - Inset):-		
	(a) views from Canberra Terrace,		
	Arthur Street, Queen Street and		
	Regent Street to the Glass		
	House Mountains;		
	(b) views along Otranto Avenue,		
	Minchinton Street, Knox Avenue		
	and Tay Avenue to the		
	Pumicestone Passage; and		
	(c) views to the Glass House		
	Mountains, Pumicestone		
	Passage, Bribie Island and the		
	Pacific Ocean from Bulcock		
	Esplanade and the coastal path.		
PO4	Development for a residential,	AO4	No acceptable outcome provided.
	business or community activity		
	provides for contemporary subtropical		Note—Section 9.4.7 (Sustainable design
	coastal building design which		code) sets out requirements for sustainable
	incorporates the following features:-		design including design for climate.
	(a) a mix of lightweight and textured		
	external building materials,		Note—Figure 7.2.6D (Example of use of sun
	including timber finishes or		shading devices in building design)
	masonry construction with		illustrates the use of vertical sun shading
	variation provided in texture and		providing side boundary privacy and western
	detailing;		screening.
	(b) articulated, pitched, skillion or		
	curved roof forms;		
	(c) open or transparent balustrades;		
	(d) orientation of living spaces to		
	maximise natural ventilation,		
	winter sun and summer shade:		
	(e) utilisation of shade devices that		
	minimise hot summer sunlight		
	falling on openings and external		
	living areas whilst admitting		
	warm winter sunlight;		
	(f) natural ventilation in lift lobbies,		
	arrival areas and communal		
	areas;		
	(g) landscaping and signage		
	integrated into the building		
	design;		
	(h) understated coastal colour		
	schemes: and		
	(i) low reflective glazing, roofing		
	and cladding.		
	and cladding.		
	Editor's Note—The National Construction		
	Code contains requirements in relation to		
	energy efficiency, shading and natural		
	ventilation. Development must meet the		
	relevant requirements of the National		
	Construction Code.		
PO5	Development for a residential,	AO5	No acceptable outcome provided.
	business or community activity		
	provides for buildings that have		Note—Figure 7.2.6E (Example detailing for
	clearly defined levels incorporating:-		base of mixed use buildings) illustrates the
	(a) a base (lower two storeys) where		use of stone, timber and integrated coastal landscaping to 'human interaction' areas.
	materials, textures, planting and		anascaping to numan interaction areas.
			1

Performan	ce Outcomes	Acceptabl	e Outcomes
	ent on Lot 5 C27621 and Lot 2 RP124874		
PO55	 Development of council owned/controlled land on Ulm Street (Lot 5 C27621 and Lot 2 RP124874):- (a) provides for the establishment of community activities including educational establishments and sport and recreation uses together with residential/accommodation uses; (b) addresses the Central Park and Ulm Street frontage; (c) supports the provision of the Maroochydore to Caloundra Priority Transit Corridor (Light Rail); (d) enhances the streetscape character of Ulm Street; and (e) provides for detailed site design, building <i>setbacks</i> and <i>site cover</i> to be determined as part of future site planning. 	AO55	No acceptable outcome provided.
		le Outcome	es for Development in Sub-Precinct CAL
<u>LPSP-1e (C</u> PO56	 Caloundra Hospitality Area) Development in Sub-precinct CAL LPSP-1e (Caloundra Hospitality Area):- (a) provides for a range of entertainment/catering business uses and other business uses including food and drink outlets, function facilities, bars and hotels that may operate after hours and include live music which creates a vibrant atmosphere; and (b) may include nightclub entertainment facilities only where in the Major centre zone on sites with frontage to Bulcock Street. 	AO56	No acceptable outcome provided.

Table 7.2.6.4.2	Performance outcomes and acceptable outcomes for assessable development in the Caloundra Local Plan Area outside Precinct CAL LPP-1 (Caloundra Central)

Performan	ce Outcomes	Acceptab	le Outcomes
			building design.
		AO1.2	Development uses understated coastal colour schemes and low-reflective roofing and cladding materials.
PO2	Development contributes to the establishment of an attractive and coherent <i>streetscape</i> character and gateways to enhance the sense of arrival to Caloundra and other parts of the local plan area, including boulevard treatments along Caloundra Road.	AO2.1	 Development adjacent to an identified primary streetscape treatment area, boulevard treatment area or gateway/entry point where identified on Figure 7.2.6A (Caloundra local plan elements):- (a) incorporates architectural and landscape treatments which enhance the sense of arrival to, and the coastal urban character of, the local plan area, and emphasise corner locations; and (b) incorporates building materials such as varied roof forms, changes in materials and variations in projected and recessed elements and facades.
		AO2.2	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design. Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes
			including entry statement landscapes. Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area. Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as
PO3	Development provides for the retention and enhancement of key landscape elements including significant views and vistas, existing character trees and areas of significant vegetation contributing to the setting, character and sense of place of the local plan	AO3.1	Development protects, emphasises and does not intrude upon the important sightlines and views to the Glass House Mountains, Pumicestone Passage, and Point Cartwright where identified on Figure 7.2.6A (Caloundra local plan elements).
	area.	AO3.2	 Development within the Lighthouse View Protection Area identified on Figure 7.2.6A (Caloundra local plan elements) does not interrupt:- (a) views of the lighthouses from Kings Beach Park; and (b) views from the northern portion of the park at the corner of Canberra Terrace and Arthur Street (Lot 2 RP13520) to the coastline and ocean in the direction of the Kings Beach Bathing Pavilion.
		AO3.3	Development provides for the retention of character <i>vegetation</i> where identified on Figure 7.2.6A (Caloundra local plan elements) .
			Note-in some circumstances, the eradication

Performar	nce Outcomes	Acceptab	le Outcomes
			of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
PO4	 Development improves local connectivity and protects the following transport infrastructure identified on Figure 7.2.6A (Caloundra local plan elements):- (a) the Dedicated Public Transport Corridor (CAMCOS) and its associated future transit hub; (b) the Maroochydore to Caloundra Priority Transit Corridor and associated transit stations; (c) the CoastConnect Priority Public Transport and Bicycle Corridor; (d) the proposed new northern access roads into the Caloundra Centre; and (e) proposed new intersections and intersection upgrades. 	AO4	No acceptable outcome provided.
PO5	Development facilitates the provision of a local ecological linkage connecting core habitat areas on the Caloundra Aerodrome site to core habitat areas north of Caloundra Road as identified on Figure 7.2.6A (Caloundra local plan elements).	AO5	No acceptable outcome provided. Editor's Note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.
Developm	ent in the Specialised Centre Zone (Calo	oundra Road	d Showroom Area)
PO6	Development in the Specialised centre zone provides for Caloundra Road to be maintained and enhanced as a landscaped boulevard and major entry route to the Caloundra Centre, with buildings and other structures set well back from the street <i>frontage</i> and dense sub-tropical landscaping and street trees provided along the road <i>frontage</i> .	AO6	No acceptable outcome provided.
Developm	ent in the Local Centre Zone (Currimund	li and Moffa	at Beach Local Activity Centres)
PO7	Development in the Local centre zone ensures that the Currimundi and Moffat Beach Local Centres function as local (not full service) activity centres only, providing for the basic convenience needs of residents and visitors.		No acceptable outcome provided.
PO8	 Development in the Local centre zone:- (a) contributes to the creation of a contemporary coastal built form and <i>streetscape</i>; (b) creates vibrant and active streets and public spaces; (c) provides continuous weather protection for pedestrians along active or semi-active street front areas; (d) is of a domestic scale and appearance where there is an interface with the Low density residential zone; and (e) provides integrated and functional parking and access arrangements that do not dominate the street. 		 Development in the Local centre zone:- (a) respects the layout, scale (including height and <i>setback</i>) and character of development on adjoining sites; (b) provides for buildings to be set back from street <i>frontages</i> as follows:- (i) for sites fronting Seaview Terrace - built to the street front boundary; (ii) for sites fronting Buccleugh Street or Buderim Street - 3 metres from the street front boundary; and (iii) on sites with sole <i>frontage</i> to Roderick Street - a distance that is compatible with the character and scale of residential development on the southern side of Roderick

Performan	ce Outcomes	Accentab	le Outcomes
Fenomial		Acceptab	Street, but in any case not less
			than 3 metres;
			(c) provides primary active street
			frontages where identified on Figure
			7.2.6A (Caloundra local plan
			elements); (d) provides all weather protection to
			active street <i>frontages</i> in the form of
			continuous cantilevered awnings
			and/or light verandah structures with
			non-load bearing posts over footpath
			areas in conjunction with mature or
			semi-mature shade trees planted along the site frontage adjacent to
			the kerbside;
			(e) ensures that signage is integrated
			with buildings;
			(f) includes the provision of
			landscaping, shaded seating and consistent and simple paving
			materials on footpaths; and
			(g) provides for on-site car parking at
			the rear or to one side of the
Devertement		ffet Deeele	development.
PO9	ent in the Low Impact Industry Zone (Mo Development in the Low impact	AO9.1	Development does not provide for any
	industry zone at Moffat Beach is		additional vehicular access from Nothling
	designed and configured in a manner		Street.
	which protects the amenity of nearby		
	and surrounding residential premises.	AO9.2	Development for industrial uses in that
			part of the Low impact industry zone located west of George Street, south of
			Nothling Street and north of Grigor Street
			West occurs on amalgamated sites with:-
			(a) all vehicular <i>access</i> gained via
			Grigor Street West; (b) a <i>landscape buffer</i> provided along
			Nothling Street with security fencing
			located behind landscaping; and
			(c) no or only minimal building openings
			provided to the Nothling Street
			frontage of the site.
		AO9.3	The layout and design of development in
			that part of the Low impact industry zone
			located opposite land included in the Low
			density residential zone (along William Street and George Street):-
			(a) incorporates attractive and
			sensitively designed street facades
			which are of a domestic scale;
			(b) provides for any larger access doors
			(e.g. roller doors) to be located side-
			on or to the rear of buildings; (c) provides a 3 metre wide densely
			planted buffer strip along the street
			frontage; and
			(d) provides for car parking and service
			areas to the side or rear of buildings, integrated with other vehicle
			integrated with other vehicle movement areas.
		AO9.4	Notwithstanding the maximum height of
			buildings and structures identified on the
			applicable Height of Buildings and
			Structures Overlay Map, that part of a

P010 Development in the Low impact industry zone ensures that new buildings in the Low impact industry zone:- A010 No acceptable outcome provided. P011 Development in the Low impact industry zone:- (a) achieve a coherent overall built form and streetscape character; and No acceptable outcome provided. (b) incorporate design features, building materials and/or colours that provide architectural interest and articulation to building facades visible from the street. A011 No acceptable outcome provided. P012 Development in the Low impact industry zone ensures that non-industry zone ensures that non-industry zone ensures that non-industrial uses over the life of the building by allowing for adaptable floor plans and adequate floor to ceiling heights. A012 No acceptable outcome provided. P012 Development in the Low impact industry zone ensures that non-industrial uses are limited in scale and in type to those uses which:- (a) are compatible with existing industrial uses; (b) do not compromise the ongoing operation and use of this area as a predominantly industrial area; and (c) avoid significant land use conflicts. Development in the Tourist Accommodation Zone (Kings Beach, Dicky Beach and Oaks Oasis Resort) 	Performan	ce Outcomes	Acceptabl	le Outcomes
 industry zone ensures that new buildings in the Low impact industry zone: (a) achieve a coherent overall built form and streetscape character, and (b) incorporate design features, building materials and/or colours that provide architectural interest and articulation to building facades visible from the street. PO11 Development in the Low impact AO11 Development in the Low impact for a range of potential users over the life of the buildings and adequate floor to ceiling he pationing for adaptable floor plans and adequate floor to ceiling he pations and adequate sets which: (a) are compatible with existing industrial uses; (b) do not compromise the ongoing operation and use of this strea as a predominantly industrial area; and (c) avoid significant land use conflicts. Development: (a) contributes to the creation of a contemporary cosstal built form and streetscape; (b) contributes to the vielity of key streets and esplanades; (c) provides a continuous pedestrian friendly facade; and (d) provides integrated and functional parking and access arrangements that do not dominate the street. Development: (c) provides a continuous pedestrian friendly facade; and (d) provides integrated and functional parking and access arrangements that do not dominate the street. (e) provides or loading of locks and structures? (f) minimise vertica and splanades; (e) provides for loading locks and screened so as to be located and screened so as to be visually unobrusive; (e) pr				building or structure located within 20 metres of a street front boundary does not exceed 8.5 metres in height where located on a <i>site</i> opposite land included in the Low density residential zone (along William Street and George Street).
 industry zone ensures that buildings are designed to provide for a range of potential users over the life of the building by allowing for adaptable floor plans and adequate floor to ceiling heights. P012 Development in the Low impact industry zone ensures that non-industrial uses are limited in scale and in type to those uses which: (a) are compatible with existing industrial uses; (b) do not compromise the ongoing operation and use of this area as a predominantly industrial area; and (c) avoid significant land use conflicts. Development in the Tourist Accommodation Zone: (a) contributes to the creation of a contemporary coastal built form and streetscape; (b) contributes to the creation of a contemporary coastal built form and streetscape; and (c) provides a continuous pedestrian friendly façade; and (d) provides for loading and access arrangements that do not dominate the street. (e) provides for loading docks and service areas to be located and structures with non-load bearing posts over footpath areas in conjunction with mature or semimature shade trees at to be visually unobtrusive; (e) provides for loading docks and service areas to be located and scructure(s) or which is sleeved behind buildings; and (f) provides for loading docks and service areas to be located and scructure(s) or which is sleeved behind buildings; and		 industry zone ensures that new buildings in the Low impact industry zone:- (a) achieve a coherent overall built form and <i>streetscape</i> character; and (b) incorporate design features, building materials and/or colours that provide architectural interest and articulation to building facades visible from the street. 		
 industry zone ensures that non-industrial uses are limited in scale and in type to those uses which: (a) are compatible with existing industrial uses; (b) do not compromise the ongoing operation and use of this area as a predominantly industrial area; and (c) avoid significant land use conflicts. Development in the Tourist Accommodation Zone (Kings Beach, Dicky Beach and Oaks Oasis Resort) Development in the Tourist accommodation zone:		industry zone ensures that buildings are designed to provide for a range of potential users over the life of the building by allowing for adaptable floor plans and adequate floor to ceiling heights.		No acceptable outcome provided.
PO13Developmentinthe Tourist accommodation zone:- (a) contributes to the creation of a contemporary coastal built form and streetscape;AO13Development:- (a) provides primary active street frontages, built to the boundary or set back a maximum of 3 metres, where identified on Figure 7.2.6A (Caloundra local plan elements);(b) contributes to the vitality of key streets and esplanades; (c) provides integrated and functional parking and access arrangements that do not dominate the street.(b) the street;(c) provides al weather protection in the form of continuous cantilevered awnings and/or light verandah structures with non-load bearing posts over footpath areas in conjunction with mature or semi- mature shade trees planted along the <i>site frontage</i> adjacent to the kerbside;(d)provides integrated and functional parking and access arrangements that do not dominate the street.(d)(e)provides for loading docks and 	P012	 industry zone ensures that non-industrial uses are limited in scale and in type to those uses which:- (a) are compatible with existing industrial uses; (b) do not compromise the ongoing operation and use of this area as a predominantly industrial area; and 	A012	No acceptable outcome provided.
 accommodation zone:- (a) contributes to the creation of a contemporary coastal built form and streetscape; (b) contributes to the vitality of key streets and esplanades; (c) provides a continuous pedestrian friendly façade; and (d) provides integrated and functional parking and access arrangements that do not dominate the street. (a) provides for loading docks and service areas to be located and screened so as to be visually unobtrusive; (c) provides for car parking below ground level in a basement structure(s) or which is sleeved behind buildings; and (f) minimises vehicular access across active street frontage. 	Developme	ent in the Tourist Accommodation Zone	(Kings Bea	
	PO13	 Development in the Tourist accommodation zone:- (a) contributes to the creation of a contemporary coastal built form and <i>streetscape</i>; (b) contributes to the vitality of key streets and esplanades; (c) provides a continuous pedestrian friendly façade; and (d) provides integrated and functional parking and <i>access</i> arrangements that do not dominate the street. 	AO13	 Development:- (a) provides primary active street frontages, built to the boundary or set back a maximum of 3 metres, where identified on Figure 7.2.6A (Caloundra local plan elements); (b) has building openings overlooking the street; (c) provides all weather protection in the form of continuous cantilevered awnings and/or light verandah structures with non-load bearing posts over footpath areas in conjunction with mature or semimature shade trees planted along the site frontage adjacent to the kerbside; (d) provides for loading docks and service areas to be located and screened so as to be visually unobtrusive; (e) provides for car parking below ground level in a basement structure(s) or which is sleeved behind buildings; and (f) minimises vehicular access across active street frontage.
		Development in Precinct CAL LPP-2	AO14	

Perf <u>orman</u>	ce Outcomes	Acceptab	le Outcomes
	entertainment/catering business		
	uses and other business uses		
	including food and drink outlets,		
	function facilities, bars and hotels		
	that may operate after hours and		
	include live music which creates a		
	vibrant atmosphere; and		
	(b) does not provide for the		
	establishment of <i>nightclub</i>		
	entertainment facilities.		
PO15	Development in the Tourist	AO15	No acceptable outcome provided.
	accommodation zone provides for Key		
	Site 8 (Kings Beach Tavern) identified		Note—Figure 7.2.6V (Kings Beach Tavern
	on Figure 7.2.6A (Caloundra local		preferred design treatment) illustrates the
	plan elements) to be redeveloped as		preferred design treatment for Key Site 8
	an integrated mixed use development		(Kings Beach Tavern).
	that contributes to the role of Kings		
	Beach as a tourism focus area and		
	major visitor accommodation area, and		
	that incorporates the following:-		
	(a) predominantly multi-unit visitor		
	accommodation in conjunction		
	with retail business uses and		
	entertainment/catering business		
	uses;		
	(b) a centrally located beer garden		
	which enjoys water and parkside		
	views and is immediately		
	accessible from the street;		
	(c) outstanding building, streetscape		
	and landscape design which is		
	highly articulated and epitomises		
	sub-tropical and sustainable		
	design;		
	(d) a building form which provides for		
	two slim line towers of variable		
	height above a two storey podium		
	with significant spaces provided		
	between towers to maintain and		
	enhance sightlines, solar access		
	and movement of cooling		
	breezes;		
	(e) a maximum <i>site cover</i> of 50% for		
	the first two <i>storeys</i> and 35% for		
	storeys above the second level,		
	with any individual tower having a		
	maximum <i>site cover</i> of 20%; and		
	(f) streetscape improvements at		
	street level which complement		
	and reflects the streetscape		
2040	treatments in Kings Beach Park.	1010	
PO16	Development in the Tourist	AO16	No acceptable outcome provided.
	accommodation zone provides for Key		
	Site 9 (Kings Beach Shops) identified		
	on Figure 7.2.6A (Caloundra local		
	plan elements) to be redeveloped as		
	an integrated mixed use development		
	that contributes to the role of Kings		
	Beach as a tourism focus area and		
	major tourist accommodation area, and		
	that incorporates the following:-		
	(a) predominantly multi-unit visitor		
	accommodation in conjunction		
	with retail business uses and		
	catoring business uses where		
	catering business uses where identified as a <i>primary active</i>		

Performan	ce Outcomes	Accentab	le Outcomes
	street frontage on Figure 7.2.6A		
	(Caloundra local plan		
	elements), with active uses		
	provided along a minimum of 75%		
	of the site frontage;		
	(b) outstanding building, <i>streetscape</i>		
	and landscape design which is		
	highly articulated and epitomises		
	sub-tropical and sustainable		
	design;		
	(c) a maximum height of:-		
	(i) 19 metres for Lot 230		
	RP43053 at 36 Esplanade		
	Headland; and		
	(ii) 16 metres for Lots 0 and 1-4		
	BUP3932 at 12 Princess		
	Lane and Lots 0 and 1-6		
	BUP133 at 14 Princess		
	Lane, unless either or both		
	lots are amalgamated with		
	Lot 230 RP43053, in which		
	case a maximum height limit		
	of 19 metres applies;		
	(d) a maximum site cover of 70% for		
	the first two <i>storeys</i> and 40% for		
	storeys above the second <i>storey</i> ;		
	(e) a stepping back of the building		
	form from all boundaries above		
	the second storey with a minimum		
	setback of 7.5 metres from the		
	Esplanade;		
	(f) vehicle <i>access</i> from Princess		
	Lane;		
	(g) opportunities for casual		
	surveillance of public spaces,		
	including Princess Lane; and		
	(h) streetscape improvements at		
	street level which complement		
	and integrate with Kings Beach		
	Park.		
PO17	Development in the Tourist	AO17	No acceptable outcome provided.
	accommodation zone provides for Key		
	Site 10 (Oaks Oasis Resort) identified		
	on Figure 7.2.6A (Caloundra local		
	plan elements) to be further		
	developed as an integrated mixed use		
	development that complements, but		
	does not compete with, the role of		
	Caloundra Centre as a major regional		
	activity centre, and incorporates the		
	following:-		
	(a) a mix of multi-unit permanent and		
	visitor accommodation in		
	conjunction with retail business		
	uses and entertainment/catering		
	business uses including a		
	conference centre;		
	(b) outstanding building, streetscape		
	and landscape design which is		
	highly articulated and epitomises		
	sub-tropical and sustainable		
	design;		
	(c) a building form which:-		
	(i) is arranged so as to maintain		
	and enhance sightlines to,		
i .			
	and strengthen visual		

Dart 7

Performan	ce Outcomes	Accentab	le Outcomes
r chonnan	associations with,	Acceptab	
	Pumicestone Passage;		
	(ii) provides for the maximum		
	height limit of 21 metres to be		
	achieved for two or three slim		
	line towers only on that part		
	of the <i>site</i> that is		
	undeveloped as at the date of		
	gazettal of the planning		
	scheme; and		
	(iii) steps down in height at the		
	edges of the site to protect		
	the amenity of surrounding		
	low-rise residential		
	development;		
	(d) enhanced through block		
	pedestrian connections with a		
	prominent link to Short Street and		
	the coastal walk; and		
	(e) streetscape improvements at		
	street level to improve the		
	attractiveness of Park Place and		
Devert	North Street.		
	ent in the High Density Residential Zone		Development provides for built
PO18	Development in the High density	AO18	Development provides for buildings
	residential zone on sites fronting		which:-
	Bombala Terrace, Canberra Terrace,		(a) are designed and located to respond
	Maltman Street South, Verney Street, or Queen Street is designed to		to the natural topography, such as by
	minimise the physical and visual		stepping down the slope; (b) have a maximum <i>site cover</i> of 25%
	impacts of development on the		for that part of any building
	prominent ridgeline that defines the		exceeding 6 <i>storeys</i> in height; and
	western and northern boundaries of		
	the Kings Beach area		(c) are well spaced with a slender rather than bulky appearance
Developme	the Kings Beach area. Int in the Medium Density Residential Z	one Genera	than bulky appearance.
Developme PO19	ent in the Medium Density Residential Z	one Genera AO19	than bulky appearance. ally
			than bulky appearance.
	ent in the Medium Density Residential Z Development in the Medium density		than bulky appearance. ally The layout and design of development
	In the Medium Density Residential 2 Development in the Medium density residential zone at the following		than bulky appearance. ally The layout and design of development ensures that:-
	nt in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:-		than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i> , with each building being the
	nt in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of		than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i> , with each building being the scale of a <i>dwelling house</i> ;
	 In the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, 		than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i> , with each building being the scale of a <i>dwelling house</i> ; (b) buildings step down in height for that
	 In the Medium Density Residential Z Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; 		 than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a
	 In the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded 		 than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling</i>
	 Int in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum 		 than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling house</i>;
	 Int in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum Street, Tinbeerwah Street and 		 than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling house</i>; (c) buildings have living rooms and
	 Int in the Medium Density Residential Z Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum Street, Tinbeerwah Street and Cooroora Street; 		 than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling house</i>; (c) buildings have living rooms and <i>dwelling</i> entries oriented to the
	 Int in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum Street, Tinbeerwah Street and Cooroora Street; (c) Dicky Beach, in the vicinity of 		 than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling house</i>; (c) buildings have living rooms and <i>dwelling</i> entries oriented to the street; and
	 Int in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum Street, Tinbeerwah Street and Cooroora Street; (c) Dicky Beach, in the vicinity of Ngungun Street; 		 than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling house</i>; (c) buildings have living rooms and <i>dwelling</i> entries oriented to the street; and (d) buildings are set within densely
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PO19 Developme Terrace, Ca	 Int in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum Street, Tinbeerwah Street and Cooroora Street; (c) Dicky Beach, in the vicinity of Ngungun Street; (d) Dicky Beach, in the area bounded by Elizabeth Street, Wilson Avenue and Mackay Street; and (e) Moffat Beach, in the area bounded by Moffat Street, Bennett Street, Russell Street and Rinaldi Street. In the Medium Density Residential aloundra) 	AO19 Zone (Lot (than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling house</i>; (c) buildings have living rooms and <i>dwelling</i> entries oriented to the street; and (d) buildings are set within densely landscaped grounds. Development provides for buildings and structures to be set back from Canberra Terrace and Arthur Street as follows:-
PO19 Developme Terrace, Ca	 Int in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum Street, Tinbeerwah Street and Cooroora Street; (c) Dicky Beach, in the vicinity of Ngungun Street; (d) Dicky Beach, in the area bounded by Elizabeth Street, Wilson Avenue and Mackay Street; and (e) Moffat Beach, in the area bounded by Moffat Street, Bennett Street, Russell Street and Rinaldi Street. In the Medium Density Residential aloundra) Development is adequately set back from Canberra Terrace and Arthur Street in order to maintain views to and 	AO19 Zone (Lot (than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling house</i>; (c) buildings have living rooms and <i>dwelling</i> entries oriented to the street; and (d) buildings are set within densely landscaped grounds. Development provides for buildings and structures to be set back from Canberra Terrace and Arthur Street as follows:- (a) at least 10 metres from Canberra
PO19 Developme Terrace, Ca	 Int in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum Street, Tinbeerwah Street and Cooroora Street; (c) Dicky Beach, in the vicinity of Ngungun Street; (d) Dicky Beach, in the area bounded by Elizabeth Street, Wilson Avenue and Mackay Street; and (e) Moffat Beach, in the area bounded by Moffat Street, Bennett Street, Russell Street and Rinaldi Street. In the Medium Density Residential aloundra) Development is adequately set back from Canberra Terrace and Arthur Street in order to maintain views to and 	AO19 Zone (Lot (than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the site, with each building being the scale of a dwelling house; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a dwelling house; (c) buildings have living rooms and dwelling entries oriented to the street; and (d) buildings are set within densely landscaped grounds. Development provides for buildings and structures to be set back from Canberra Terrace and Arthur Street for Lot 0
PO19 Developme Terrace, Ca	 Int in the Medium Density Residential 2 Development in the Medium density residential zone at the following locations is compatible with the predominantly detached housing character of these locations:- (a) Currimundi, in the vicinity of Currimundi Road, Hume Parade, Watson Street and Robe Street; (b) Dicky Beach, in the area bounded by Beerburrum Street, Coolum Street, Tinbeerwah Street and Cooroora Street; (c) Dicky Beach, in the vicinity of Ngungun Street; (d) Dicky Beach, in the area bounded by Elizabeth Street, Wilson Avenue and Mackay Street; and (e) Moffat Beach, in the area bounded by Moffat Street, Bennett Street, Russell Street and Rinaldi Street. In the Medium Density Residential aloundra) Development is adequately set back from Canberra Terrace and Arthur Street in order to maintain views to and 	AO19 Zone (Lot (than bulky appearance. ally The layout and design of development ensures that:- (a) buildings have the appearance of one or more individual buildings on the <i>site</i>, with each building being the scale of a <i>dwelling house</i>; (b) buildings step down in height for that part of a building within 4 metres of a side boundary shared with a <i>dwelling house</i>; (c) buildings have living rooms and <i>dwelling</i> entries oriented to the street; and (d) buildings are set within densely landscaped grounds. Development provides for buildings and structures to be set back from Canberra Terrace and Arthur Street as follows:- (a) at least 10 metres from Canberra

Part 7

Performan	ce Outcomes	Acceptabl	e Outcomes
onomu		receptus	(b) at least 15 metres from Canberra
			Terrace for Lot 1 RP135579 at 6
			Canberra Tce, Caloundra.
Developme	ent in the Low Density Residential Z	one in Pre	cinct CAL LPP-3 (Shelly Beach/Moffat
Beach/Dick	-		
PO21	Development for reconfiguring a lot in	AO21	No acceptable outcome provided.
	the Low density residential zone in		···· ····· · · · · · · · · · · · · · ·
	Precinct CAL LPP-3 (Moffat		
	Beach/Shelly Beach/Dicky Beach)		
	maintains the preferred low density		
	character and amenity of the area by		
	providing for any residential lot to be a		
	minimum of 700m ² in area.		
Developme	ent in the Community Facilities Zone		
Developme	ent in Precinct CAL LPP-4 (Caloundra A	erodrome)	
PO22	Development in Precinct CAL LPP-4	AO22	No acceptable outcome provided.
	(Caloundra Aerodrome):-		
	(a) occurs in an intergrated manner in		
	accordance with the approved		
	Caloundra Aerodrome Master		
	Plan;		
	(b) provides for the operation of the		
	aerodrome as a general aviation		
	facility;		
	(c) provides for other uses that are		
	compatible with and allied to the		
	operation of the aerodrome;		
	(d) maintains and enhances the		
	streetscape character of		
	Caloundra Road as a landscaped		
	boulevard and major entry route		
	to the Caloundra Centre;		
	(e) provides for principal access to		
	the aerodrome site to be from		
	Caloundra Road via Pathfinder		
	Way;		
	(f) provides an emergency access		
	point to Caloundra Road in accordance with the approved		
	Caloundra Aerodrome Master		
	Plan;		
	(g) retains existing <i>vegetation</i>		
	supplemented by dense		
	landscape planting to provide a		
	20 metre wide vegetated <i>buffer</i>		
	adjacent to Caloundra Road		
	within the aerodrome property;		
	(h) improves access to and		
	circulation within the aerodrome:		
	(i) protects the adjoining Dedicated		
	Public Transport Corridor		
	(CAMCOS), proposed Caloundra		
	Transit Station and opportunities		
	for future transit oriented		
	development; and		
	(j) recognises the location of the		
	aerodrome within the urban fabric		
	and seeks to maintain the amenity		
	of nearby residential areas.		
	ent on the Former Caloundra Waste M	lanagement	t Facility Site (Lot 191 CG1783, Pelican
Waters Boo			
PO23	Development of the former Caloundra	AO23	No acceptable outcome provided.
	Waste Management Facility site (Lot		
	191 CG1783. Pelican Waters		
	191 CG1783, Pelican Waters Boulevard):-		

Part 7

Performance Ou	utcomes	Acceptabl	le Outcomes
Performance Ou (a) (b) (c) (d) (e)	rehabilitates and remediates any contaminated land; provides for a transit facility that takes maximum advantage of the site's proximity to Caloundra Centre, community facilities and public transport <i>infrastructure</i> ; provides for the establishment of the Dedicated Public Transport Corridor (CAMCOS) and the Caloundra Transit Station; occurs in accordance with an approved plan of development prepared for the whole of the <i>site</i> ; incorporates outstanding building, <i>streetscape</i> and landscape design which is highly articulated and epitomises sub-tropical and	Acceptabl	le Outcomes
(f)			

high level of environmental performance and is designed to service the Sunshine Coast Region. The industry park is protected from incompatible development that may adversely affect operations and avoids adverse affects on adjoining environmental areas.

- (i) The *tourist park* at Coolum Beach is protected for its role in providing budget accommodation and its contribution to the low key, family friendly character of Coolum.
- (j) The Palmer Coolum Resort and The Coolum Residences continues to be developed as an integrated tourist and residential development focussed around an 18 hole championship golf course and large areas of open space. Development is configured in a series of beachside villages and other precincts that sit lightly in the landscape and that are separated by green corridors and lush subtropical landscaping. Development protects the natural vegetated character of the coastal foreshore and foredunes and respects the scale and character of surrounding areas and vegetation. Dense vegetated buffers are maintained along the David Low Way and surrounding the Palmer Coolum Resort to effectively screen development and protect the scenic amenity of David Low Way and the amenity of nearby residential areas.
- (k) Development is designed and sited to protect significant environmental areas, character vegetation and views either to or from important landscape features and to reflect the physical characteristics and constraints of the land, including the protection of sensitive slopes, remnant vegetation and other ecologically important areas.
- (I) Locally significant landscape and environmental elements which contribute to the character, identity and sense of place of the Coolum local plan area including Mount Coolum, Stumers Creek, Coolum and Peregian sections of the Noosa National Park, Point Perry, Point Arkwright, Mount Emu, Eurungunder Hill, remaining parts of the Point Arkwright bushland mosaic, rainforest areas on the Palmer Coolum Resort site, the Yaroomba parabolic dune and other foreshore dunes are retained in their natural state and protected from intrusion by built form elements and other aspects of urban development.
- (m) Development is supported by a network of open space to meet the needs of the local community and facilitates safe and convenient pedestrian and cycle connections between and around key destinations within the local plan area.

7.2.8.4 Performance outcomes and acceptable outcomes

Table 7.2.8.4.1 Performance outcomes and acceptable outcomes for assessable development

Performa	ince Outcomes	Acceptable	Outcomes
Developr	nent in the Coolum Local Plan Area Gen	erally (All Zo	ones)
PO1	Development provides for buildings, structures and landscaping that are consistent with, and reflect the low key beachside character of, the Coolum local plan area in that they are integrated with the natural and coastal landscape and skyline <i>vegetation</i> in terms of scale, siting, form, composition and use of materials.	A01.1	 Development for a residential, business or community activity provides for building design which incorporates the following features:- (a) a mix of lightweight and textured external building materials, including timber finishes or masonry construction with variation provided in texture and detailing; (b) articulated, pitched, skillion or curved roof forms; (c) open or transparent balustrades; and (d) landscaping integrated into the building design.
		AO1.2	Development uses understated colour schemes and low-reflective roofing and cladding materials.
		AO1.3	Development provides for existing mature trees to be retained and incorporated into the development design.
PO2	Development contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways to enhance	AO2.1	Development adjacent to a primary streetscape treatment area or gateway/entry point where identified on

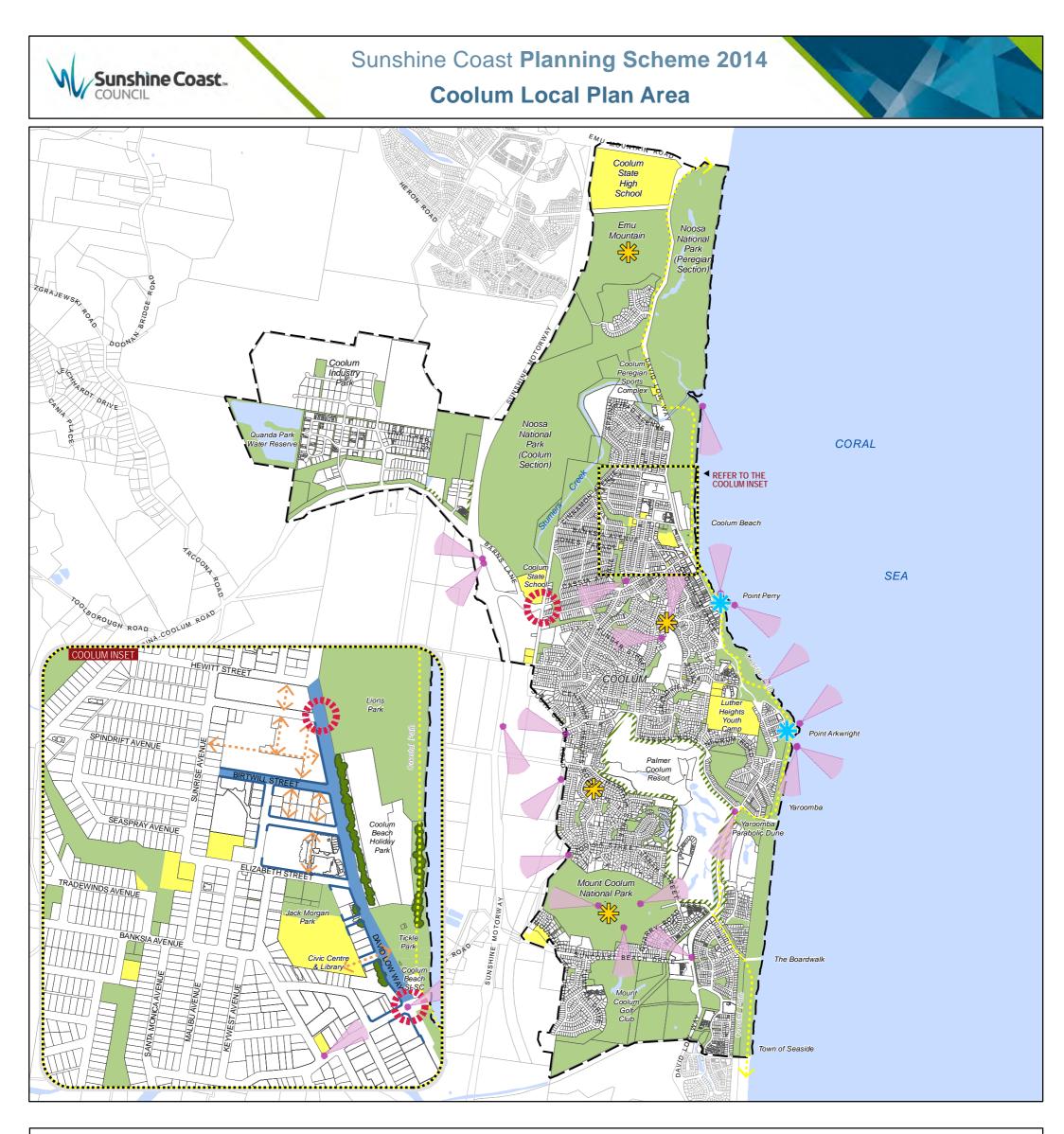
Performa	nce Outcomes	Acceptable	Outcomes
	the sense of entry to and the coastal village character of the Coolum local plan area.		 Figure 7.2.8A (Coolum local plan elements):- (a) incorporates architectural and landscape treatments which enhance the sense of arrival to, and the coastal village character of, the Coolum local plan area and emphasise corner locations; and (b) incorporates building materials such as varied roof forms, changes in materials and variations in projected and recessed elements and facades.
		AO2.2	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design. Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including onter statements
			including entry statement landscapes. Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area. Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure
PO3	Development provides for the retention and enhancement of key landscape elements including significant views and vistas, existing character trees and areas of significant <i>vegetation</i> , contributing to the setting, character and sense of place of the Coolum local plan area.	AO3.1	and Guideline Standards for each centre as required. Development protects and emphasises, and does not intrude upon, the important sightlines and views to and from Coolum Beach, Mount Coolum, Emu Mountain, Eurungunder Hill, Point Arkwright and Point Perry, including where identified on Figure 7.2.8A (Coolum local plan elements).
		AO3.2	 Development provides for the retention and enhancement of existing mature trees and vegetation contributing to the character and vegetated backdrop of the local plan area including:- (a) vegetation on elevated hilltops and ridgelines; (b) vegetation along David Low Way; and (c) other character vegetation where identified on Figure 7.2.8A (Coolum local plan elements).
			Note-in some circumstances, the eradication of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
PO4	Development provides for locally significant landscape and environmental elements, including Mount Coolum, Stumers Creek, Coolum and Peregian sections of the Noosa National Park, Point Perry, Point Arkwright, Mount Emu, Eurungunder Hill, remaining parts of the Point Arkwright bushland mosaic, rainforest areas on the Palmer Coolum Resort	A04	No acceptable outcome provided.

Porforma	nce Outcomes	Accontable	Outcomes
Penonna	site, the Yaroomba parabolic dune and	Acceptable	Outcomes
	other foreshore dunes, to be retained in		
	their natural state and protected from		
	intrusion by built form elements and		
	other aspects of urban development.		
Dovelopr	nent in the District Centre Zone		
PO5	Development in the District centre zone	AO5	No acceptable outcome provided.
FOJ	provides for small to medium scale	A03	No acceptable outcome provided.
	uses and mixed uses that:-		
	(a) support the role and function of the		
	Coolum Beach Town Centre as a		
	small district activity centre; and		
	(b) provide a wide range of goods and		
	services to residents and visitors.		
PO6	Development in the District centre zone	AO6	No acceptable outcome provided.
	provides for the establishment of:-	,	
	(a) Coolum Esplanade as the focus		
	for tourist activities providing a		
	range of small scale boutique		
	shops, restaurants and cafes at		
	ground level with residential		
	above; and		
	(b) Birtwill Street area as the main		
	convenience shopping area		
	providing a range of commercial		
	and retail uses.		
PO7	Development in the District centre	A07	Development in the District centre zone:-
	zone:-		(a) provides <i>primary</i> active street
	(a) is sympathetic to the coastal		frontages built to the front boundary
	village character of the Coolum		where identified on Figure 7.2.8A
	Beach Town Centre;		(Coolum local plan elements);
	(b) contributes to the creation of a		(b) provides for residential uses to be
	contemporary coastal built form		effectively integrated with business
	and streetscape;		uses;
	(c) creates vibrant and active streets		(c) has building openings overlooking
	and public spaces; and		the street;
	(d) provides continuous weather		(d) provides all weather protection in the
	protection for pedestrians.		form of continuous cantilevered
			awnings and/or light verandah
			structures over footpath areas with
			mature or semi-mature shade trees
			planted along the <i>site frontage</i>
			adjacent to the kerbside;
			(e) ensures that signage is integrated
			with buildings; and
			(f) includes provision of landscaping,
			shaded seating and consistent and
			simple paving materials on
			footpaths.
PO8	Development provides for off-street car	A08	No acceptable outcome provided.
	parking and vehicular access		
	arrangements which:-		
	(a) avoid direct service vehicle and		
	car park <i>access</i> to David Low		
	Way; and		
	(b) provide for service vehicle and car		
	park areas to be sleeved and		
	located behind the active street		
DO0	frontage.	A 00	Development recycles thereight by
PO9	Development provides through block	AO9	Development provides through block
	pedestrian linkages which:-		pedestrian linkages where identified on
	(a) are located to reflect the desire		Figure 7.2.8A (Coolum local plan
	lines of pedestrian movement		elements).
	between major points of attraction		
	and public spaces;		
	(b) provide a safe alternative to the		

Performa	nce Outcomes	Acceptable	Outcomes
	street based pedestrian and cycle		
	movement network; and		
	(c) provide a comfortable pedestrian		
	environment in terms of access,		
	width, shelter, materials and		
PO10	function. Development for a <i>food and drink outlet</i>	AO10	No acceptable outcome provided.
1010	does not incorporate a <i>drive-through</i>	ACIO	No acceptable outcome provided.
	facility.		
P011	Development does not provide for the	AO11	No acceptable outcome provided.
	establishment of any additional large		
	floor plate retail uses.		
Developr PO12	nent in the Tourist Accommodation Zon Development in the Tourist	e AO12	Development in the Tourist
P012	Development in the Tourist accommodation zone:-	AU12	Development in the Tourist accommodation zone ensures that the
	(a) contributes to the creation of a		ground <i>storey</i> level of premises on a <i>site</i>
	contemporary coastal built form		having a <i>primary active street frontage</i>
	and streetscape;		where identified on Figure 7.2.8A
	(b) provides a continuous pedestrian		(Coolum local plan elements):-
	friendly facade and incorporates		(a) provides a fine scale built form;
	activities located at ground level to create a vibrant and active		(b) has building openings overlooking the street;
	streetscape with high levels of		(c) incorporates shopfronts,
	casual surveillance; and		indoor/outdoor cafes and restaurants
	(c) provides continuous weather		and other activities that are likely to
	protection for pedestrians.		foster casual, social and business
			interaction built to the boundary of
			the active street <i>frontage</i> ;
			(d) provides all weather protection in the form of continuous cantilevered
			awnings and/or light verandah
			structures with decorative non-load
			bearing posts over footpath areas
			with mature or semi-mature shade
			trees planted along the site frontage
			adjacent to the kerbside; (e) ensures that signage is integrated
			with the building; and
			(f) includes provision of landscaping,
			shaded seating and consistent and
			simple paving materials on
			footpaths.
PO13	Development provides for off-street car	AO13	No acceptable outcome provided.
	parking and vehicular access arrangements which:-		
	(a) avoid direct service vehicle and		
	car park access to David Low		
	Way; and		
	(b) provide for service vehicle and car		
	park areas to be sleeved and		
	located behind the active street		
Develop	frontage. nent in the Local Centre Zone (Coolum V	Vest)	
PO14	Development in the Local centre zone	A014	No acceptable outcome provided.
	at Coolum West:-		,
	(a) supports the role and function of		
	the Coolum West Local Centre as		
	a local (full service) activity centre		
	serving the convenience needs of		
	local residents; (b) does not detract from the role and		
	(b) does not detract from the role and function of Coolum Beach Town		
	Centre as the district activity		
	centre for the local area; and		
	(c) provides an attractive interface to		
	(c) provides an alliactive internace to		

Performa	nce Outcomes	Acceptable	e Outcomes
	<i>major roads</i> and promotes a		
		Zone (135	 Yandina-Coolum Road, Coolum (Lot 26
<i>RP80884</i> PO15) Development in the Low density	AO15	No acceptable outcome provided.
1013	residential zone at 135 Yandina-	7013	No acceptable outcome provided.
	Coolum Road, Coolum (Lot 26		
	RP80884) may provide for small scale		
	office activities which:- (a) are compatible with surrounding		
	land uses; and		
	(b) support the Coolum West Local		
Develop	Centre. nent in the Low Density Residential Z	one (52 Mai	rakari Crescent, Mount Coolum (Lot 223
RP16309	5))	-	· · · · · · · · · · · · · · · · · · ·
PO16	Reconfiguring a lot in the Low density residential zone at 52 Marakari	AO16	No acceptable outcome provided.
	Crescent, Mount Coolum (Lot 223		
	RP163095) provides lots with:-		
	(a) a minimum lot size of 400m ² ; and		
	(b) an average lot size of at least 500m ² .		
	nent in the Emerging Community Zone	(Precinct CC	DL LPP-1, Palmer Coolum Resort and The
Coolum I PO17	Residences) Development in the Emerging	AO17	No acceptable outcome provided.
	community zone in Precinct COL LPP-1		
	(Palmer Coolum Resort and The		Editor's Note—Development in the Emerging
	Coolum Residences) identified on		community zone at Palmer Coolum Resort and The Coolum Residences is currently regulated
	Local Plan Map LPM11:- (a) maintains the primary function of		in accordance with an approved Master Plan
	the site as an integrated tourist		and Plan of Development.
	facility;		
	(b) provides for the retention of large		
	areas of open space, including the 18 hole championship golf course;		
	(c) provides for a range of residential		
	accommodation types set in		
	discrete beachside precincts and		
	separated by greenspace; (d) protects the natural vegetated		
	character of the coastal foreshore		
	and foredunes;		
	(e) provides for development and		
	building design which respects the		
	scale and character of surrounding areas and <i>vegetation</i> ;		
	(f) provides for retail and commercial		
	development to be limited to resort		
	facilities and local convenience		
	goods only; (g) provides for the maintenance and		
	enhancement of public access to		
	the beach and foreshore in a		
	manner that respects the natural		
	foredune and beach character and		
	environmental values; (h) minimises and rationalises <i>access</i>		
	to David Low Way, Warren Road		
	and other local roads;		
	(i) protects the visual amenity of the		
	road network through the		
	maintenance and enhancement of dense vegetated buffers to David		
	Low Way and surrounding the		
	Palmer Coolum Resort; and		
	(j) provides for the maintenance and		

Performance Outcomes Acceptable Outcomes enhancement of the environmental and landscape values of the area including, but not limited to, the Yaroomba Parabolic Dune, rainforest areas on the Palmer Coolum Resort site, and views to and from Mount Coolum and Point Arkwright. No acceptable outcome provided. Development in the Medium and High Impact Industry Zones AO18 No acceptable outcome provided. PO18 Development adjacent to the Noosa Antional Park or other ecologically important areas provides a vegetated open space buffer to ensure that the construction and operational activities of industry avoids impact on the sustainability of vegetation communities AO18 No acceptable outcome provided. PO19 Development provides for a dense vegetated Duffer strip to be maintained along the Yandina-Coolum Road and Sunshine Motorway to effectively screen industrial development from the road. AO19 No acceptable outcome provided. PO20 Development provides for access from Yandina-Coolum Road; and (b) are rationalised with existing vehicular access arrangements, where possible. AO20 No acceptable outcome provided. Coolum Beach Holiday Park PO21 Development provides for the existing tourist park site at Coolum Beach to be retained or redeveloped as a tourist park. AO21 No acceptable outcome provided. PO22 Development in the Rural Zone (Barns Lane) AO22 No acceptable outcome provided. PO24 Development in the Rural Zone (Barns Lane) AO22 No acceptable outcome provided.	Doutourso	nee Outeemee	Accontable	Outcomes		
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Coolum Beach Holiday Park PO21 Development provides for the existing tourist park site at Coolum Beach to be retained or redeveloped as a tourist park. AO21 No acceptable outcome provided. Development in the Rural Zone (Barns Lane) AO22 No acceptable outcome provided. PO22 Development in the Rural Zone, located between Barns Lane and the Sunshine Motorway, consists of rural land uses AO22 No acceptable outcome provided.		where possible.				
tourist park site at Coolum Beach to be retained or redeveloped as a tourist park. Development in the Rural Zone (Barns Lane) PO22 Development in the Rural zone, located between Barns Lane and the Sunshine Motorway, consists of rural land uses	Coolum E	Beach Holiday Park				
tourist park site at Coolum Beach to be retained or redeveloped as a tourist park. Development in the Rural Zone (Barns Lane) PO22 Development in the Rural zone, located between Barns Lane and the Sunshine Motorway, consists of rural land uses	PO21	Development provides for the existing	AO21	No acceptable outcome provided.		
retained or redeveloped as a tourist park. Possible Development in the Rural Zone (Barns Lane) AO22 PO22 Development in the Rural zone, located between Barns Lane and the Sunshine Motorway, consists of rural land uses AO22						
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Development in the Rural Zone (Barns Lane) PO22 Development in the Rural zone, located between Barns Lane and the Sunshine Motorway, consists of rural land uses AO22 No acceptable outcome provided.		-				
PO22 Development in the Rural zone, located between Barns Lane and the Sunshine Motorway, consists of rural land uses AO22 No acceptable outcome provided.						
between Barns Lane and the Sunshine Motorway, consists of rural land uses			AO22	No acceptable outcome provided.		
Motorway, consists of rural land uses	-		-	, p z.		
natural landscape character providing						
an attractive non-urban gateway		5,				
entrance into Coolum.		entrance into Coolum.				



LEGEND



Waterway^{Note 1}

Local Plan Area Boundary



Through Block Pedestrian/Cycle Linkage

Coastal Path^{Note 4}



Primary Active Street Frontage



Primary Streetscape Treatment Area



GreenspaceNote 1



Community Activity/Facility^{Note 1}



Character Vegetation



Landscape Buffer



Gateway/Entry Point



Mountain or Hill



Significant View

Headland



Disclaimer

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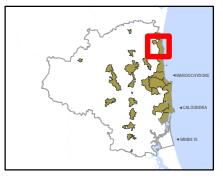


Figure 7.2.8A (Coolum Local Plan Elements)

Note 1: For contextual purposes only. Note 4: Indicative alignment, subject to further investigation in some areas.

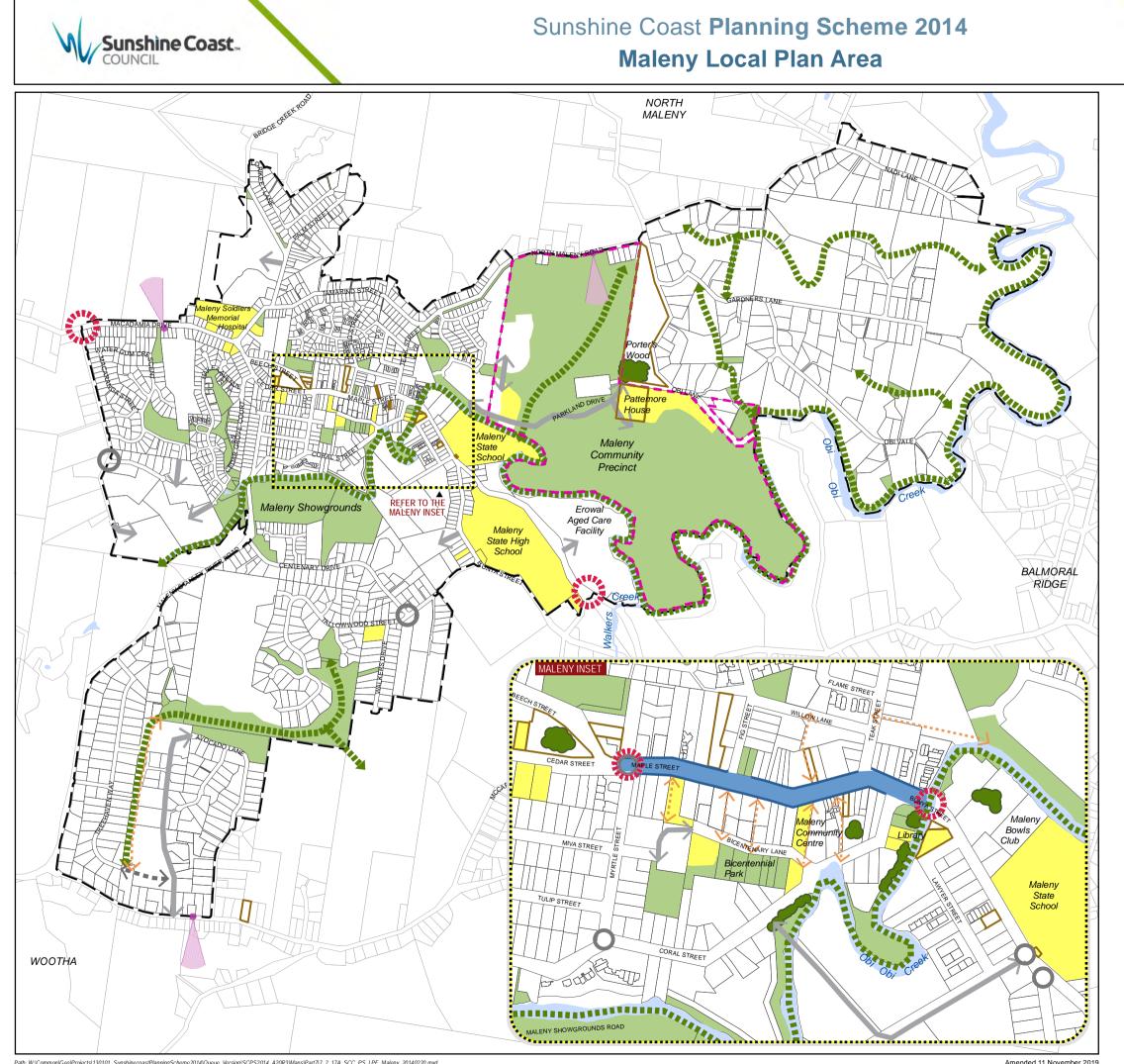
Page 7-119

Performance	Outcomes	Acceptable	Outcomes
(b) (c) (d)			

Table 7.2.13.4.2Golden Beach/Pelican Waters local plan supplementary table of
consistent uses and potentially consistent uses in the Open space zone

Note—this table overrides the consistent and potentially consistent uses specified in the zone codes in **Part 6 (Zones)** for Lot 603 SP221893.

Column 1 Consistent uses	Column 2 Potentially consistent uses			
Open Space Zone (Lot 603 SP221893)	Potentially consistent uses			
Residential activities				
Caretaker's accommodation	None			
Business activities				
 (a) Food and drink outlet (where not incorporating a drive-through facility or a high volume convenience restaurant) (b) Market (c) Shop (where for a corner store associated with a food and drink outlet) 	None			
Community activities				
Emergency services	None			
Sport and recreation activities				
Park	Outdoor sport and recreation			
Other activities				
Utility installation (where a local utility)	None			



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LEGEND	
1	Local Plan Area Boundary
	Waterway ^{Note 1}
	Primary Active Street Frontage
	Primary Streetscape Treatment Area
41111	Local Ecological Linkage
	Greenspace ^{Note 1}
	Community Activity/Facility ^{Note 1}
	Character Vegetation
and the second	Gateway/Entry Point
•	Significant View
	Heritage Place ^{Note 2}
∢···· >	Through Block Pedestrian/Cycle Linkage
\rightarrow	Indicative Road Linkage/Access Point
0	Intersection Upgrade
<>	Indicative Emergency Access Road
1113	Maleny Community Precinct

Note 1: For contextual purposes only. Note 2: Refer to Heritage and Character Overlay maps in Schedule 2 (Mapping).

0	125	250	500	750	1,000 Metres
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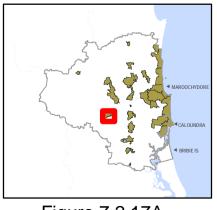


Figure 7.2.17A (Maleny Local Plan Elements)

Table 7.2.18.4.2Maroochy North Shore local plan supplementary table of consistent uses
and potentially consistent uses in the Medium impact industry zone

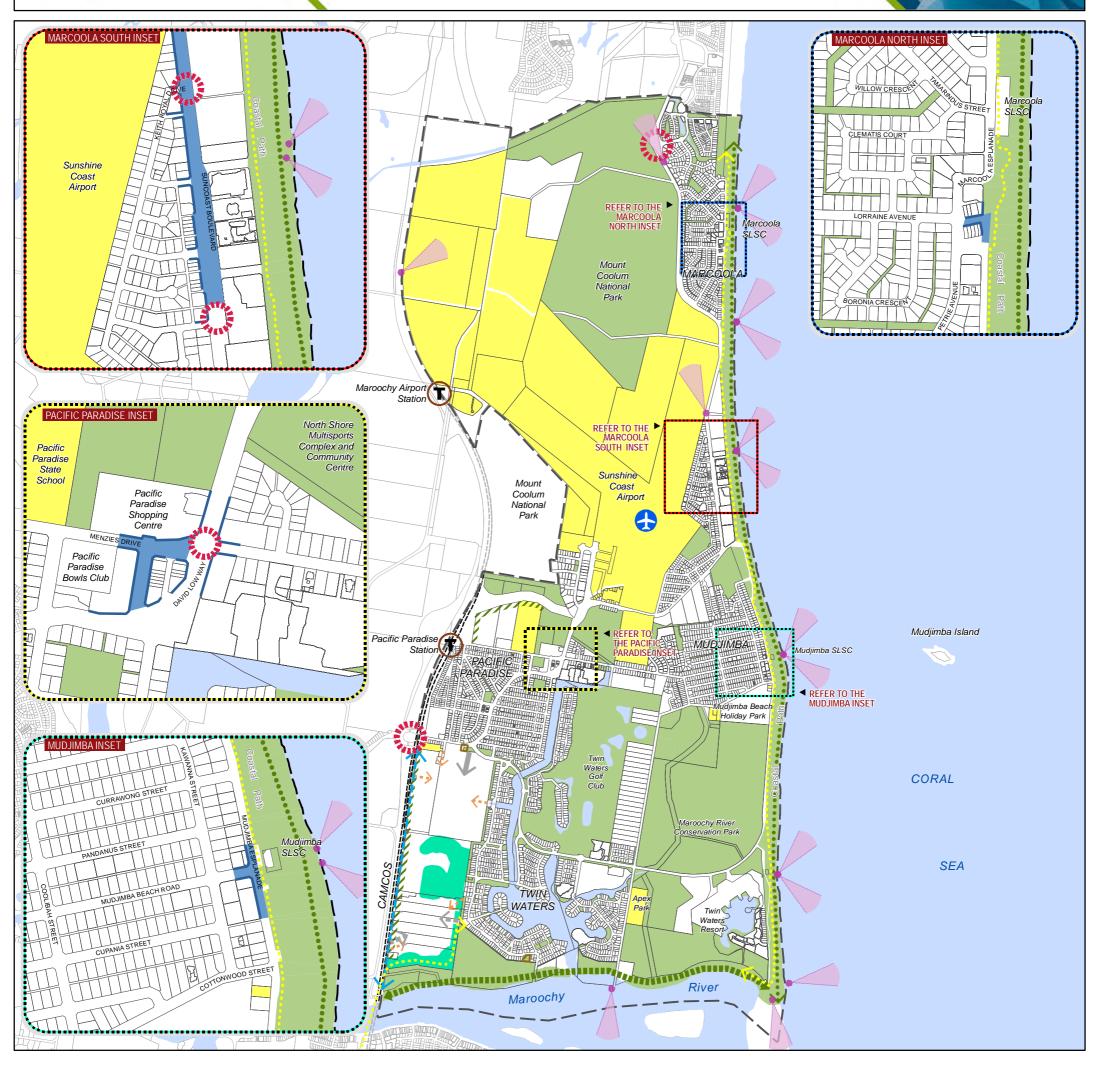
Note-this table overrides the consistent and potentially consistent uses specified in the zone codes in Part 6 (Zones).

Column 1 Consistent uses		Column 2 Potentially consistent uses			
	dium Impact Industry Zone	rotentiany consistent uses			
Residential activities					
	etaker's accommodation	None			
	siness activities				
(a) (b)	Car wash Food and drink outlet (where having a gross leasable floor area not exceeding 100m ²)	 (a) Agricultural supplies store (b) Food and drink outlet (where having a gross leasable floor area exceeding 100m²) 			
(c) (d)	Hardware and trade supplies (where the primary purpose is for trade supplies) Outdoor sales (where for a car hire business)				
(e) (f)	Service station Showroom (where for a car hire business)				
(g)	Veterinary services				
Ind	ustrial activities				
(a) (b)	Bulk landscape supplies Low impact industry	None			
(c)	Medium impact industry				
(d)	Research and technology industry				
(e)	Service industry				
(f)	Transport depot				
(g)	Warehouse				
Cor	nmunity activities				
(a)	Community use (where located on Council owned or controlled land and undertaken by or on behalf of the Council)				
(h)	Crematorium				
(b) (c)	Emergency services				
	Sport and recreation activities				
Par		None			
Oth	Other activities				
(a)	Substation	None			
(b)	Telecommunications facility				
(c)	Utility installation (where a local utility)				

Part 7



Sunshine Coast Planning Scheme 2014 **Maroochy North Shore Local Plan Area**



LEGEND



Local Ecological Linkage

WaterwayNote 1

Local Plan Area Boundary

Primary Active Street Frontage

GreenspaceNote 1



Conservation and Rehabilitation Area

Primary Streetscape Treatment Area

Community Activity/Facility^{Note 1}

{····} Greenspace Link



Page 7-222

Gateway/Entry Point

Landscape Buffer





Dedicated Public Transport Corridor (CAMCOS) =====:

- Principal Pedestrian/Cycle Linkage
- Coastal PathNote 4

{····> Through Block Pedestrian/Cycle Linkage

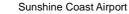


 \mathbf{T}

Future Transit Hub

Indicative Primary Road Linkage/Access Point

Indicative Local Road Linkage/Access Point ----)



Note 1: For contextual purposes only. Note 2: Refer to Heritage and Character Overlay maps in Schedule 2 (Mapping) Note 4: Indicative alignment, subject to further investigation in some areas.



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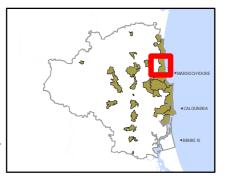


Figure 7.2.18A (Maroochy North Shore Local Plan Elements)

7.2.19 Maroochydore/Kuluin local plan code

7.2.19.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Maroochydore/Kuluin local plan area as shown on Map ZM22 contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Maroochydore/Kuluin local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.19.3 (Purpose and overall outcomes);
 - (b) Table 7.2.19.4.1 (Performance outcomes and acceptable outcomes for assessable development in the Maroochydore/Kuluin local plan area generally);
 - (c) Table 7.2.19.4.2 (Additional performance and acceptable outcomes for assessable development in the Principal centre zone); and
 - (d) Figure 7.2.19A (Maroochydore/Kuluin local plan elements).

7.2.19.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Maroochydore/Kuluin local plan code.

The Maroochydore/Kuluin local plan area is located centrally in the eastern part of the Sunshine Coast and takes in a land area of approximately 1,390 hectares.

The local plan area includes the Maroochydore Principal Regional Activity Centre, established urban neighbourhoods of Maroochydore and Cotton Tree, the suburban neighbourhoods of Maroochy Waters and Kuluin, the emerging community of Sunshine Cove as well as business and industry areas along Maroochydore Road, Wises Road, Sugar Road, Maud Street and Fishermans Road.

A significant part of the local plan area takes in the Maroochydore Principal Regional Activity Centre. Part of the Maroochydore Principal Regional Activity Centre is a priority development area subject to the Economic Development Act 2012 and does not form part of the local plan area. The Maroochydore City Centre Priority Development Area (PDA) is intended to be developed as the new city centre and central business district for the Maroochydore Principal Regional Activity Centre.

Most of the local plan area is situated on a coastal lowland plain that meets the banks of the Maroochy River and the Maroochydore beachfront. The Maroochy River and the Maroochydore beachfront are major environmental and character elements that define the coastal setting and character of the local plan area. Except for some small remnants of native vegetation retained in parks and reserves, the local plan area has been largely cleared of native vegetation to accommodate coastal urban development.

Owing to its low lying topography a significant part of the local plan area is potentially at risk from acid sulfate soils and coastal hazards, including river flooding and storm surge.

A range of residential forms are represented in the local plan area ranging from the medium and high intensity tourist accommodation and mixed use development located along the Maroochydore beachfront to the low density predominantly permanent residential housing of Maroochy Waters and Kuluin.

Sunshine Cove, located immediately to the west of the Maroochydore Principal Regional Activity Centre, is an emerging residential community set around a man-made waterway system connecting to Cornmeal Creek. When complete, this development will accommodate a variety of housing types as well as community facilities and public open space.

A number of local centres are distributed throughout the local plan area, primarily at Cotton Tree, Maroochy Waters and Kuluin but also at several other locations. Cotton Tree, and in particular the associated foreshore area and beaches, is also a renowned and popular tourist destination.

The local plan area includes a range of community, sport and recreational facilities including Maroochydore State High School, Maroochydore State School, Kuluin State School, Maroochydore Multisports Complex, Cotton Tree Park and a number of tourist parks.

A sewage treatment plant is located north of Commercial Road and an existing quarry to the south of Commercial Road has potential for reuse once quarry operations have ceased.

The Sunshine Motorway, Maroochydore Road and Maroochy Boulevard are the principal transport routes within the local plan area. Other major roads include Bradman Avenue, Aerodrome Road, Duporth Avenue, Dalton Drive, Sugar Road, the Esplanade, Sixth Avenue, Main Road and Fishermans Road. The local plan area, and in particular the Maroochydore Principal Regional Activity Centre, is planned to be serviced by key public transport infrastructure including the Dedicated Public Transport Corridor (CAMCOS), CoastConnect Priority Public Transport and Bicycle Corridor and potential future Sunshine Coast Light Rail Corridor.

Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.19.3 Purpose and overall outcomes

- (1) The purpose of the Maroochydore/Kuluin local plan code is to provide locally relevant planning provisions for the assessment of development within the Maroochydore/Kuluin local plan area.
- (2) The purpose of the Maroochydore/Kuluin local plan code will be achieved through the following overall outcomes:-
 - (a) The Maroochydore/Kuluin local plan area is a diverse coastal urban area comprising the Maroochydore Principal Regional Activity Centre, a number of urban and suburban residential neighbourhoods, high intensity visitor accommodation areas, business and industry areas and major community and sport and recreation facilities.

Editor's note—part of the Maroochydore Principal Regional Activity Centre is a priority development area subject to the *Economic Development Act 2012*.

- (b) Urban development in the Maroochydore/Kuluin local plan area is limited to land within the urban growth management boundary so as to protect environmental areas and landscape values.
- (c) Cotton Tree and areas adjacent to Maroochydore Beach are cosmopolitan and vibrant places with visitor accommodation and small scale *shops*, cafés and restaurants at street level that enliven the public realm and enhance the role and image of this area as a tourism focus area.
- (d) Kuluin and Maroochy Waters are established, predominantly low density residential neighbourhoods that offer a quiet, relaxed lifestyle in locations close to the beach and the services offered by the Maroochydore Principal Regional Activity Centre.
- (e) The Specialised centre zone adjacent to Wises Road, Sugar Road and Maroochydore Road provides for the large floor plate, bulky goods retail activities required to support the core retailing activities accommodated within the Maroochydore Principal Regional Activity Centre.
- (f) Industrial areas at Kuluin and north of Wises Road provide a range of low to *medium impact industry* uses.
- (g) Development supports the role and function of Maroochydore as the principal regional activity centre for the Sunshine Coast sub-region.
- (h) Development in the local plan area recognises and reinforces the natural attributes within and adjoining the local plan area by creating buildings, landscapes, a network of open space and pedestrian/cycle linkages that emphasise the outdoor lifestyle and the strong affinity that residents have with 'living on or near the coast', and facilitates the integration of the whole of the Maroochydore Principal Regional Activity Centre.
- (i) Development provides for the following key elements of the urban open space and pedestrian/cycle network:-

- a public pedestrian promenade, to be available for public access at all times, along Cornmeal Creek and Maud Canal linking Sunshine Plaza to the proposed transit station and interchange (CAMCOS) and residential areas to the south-west;
- a continuous high quality walkable waterfront and greenspace link, available for public access at all times, along the Cotton Tree foreshore, Cornmeal Creek and Maud Canal; and
- a continuous high quality public pedestrian and cycle link along the Maroochy River and Maroochydore Beach foreshore, integrating and extending the Coastal Path System.
- (j) Development contributes to the establishment of landscaped boulevards along major transport routes and attractive gateways to enhance the sense of entry to the local plan area and the Maroochydore Principal Regional Activity Centre.
- (k) Development provides appropriate landscape buffering to the Sunshine Motorway in order to visually screen built form elements and maintain the visual amenity of the Motorway.
- (I) Development provides for community infrastructure and services that meet the needs of residents in the Maroochydore Principal Regional Activity Centre and the Sunshine Coast subregion.
- (m) The Principal centre zone in Precinct MAR LPP-1 (City Core) is developed as a mixed use retail core and contains the highest order retail uses in conjunction with a range of business uses and a significant quantity of residential *dwellings*. In conjunction with development in the Maroochydore City Centre Priority Development Area, Precinct MAR LPP-1 (City Core) is intended to be the most concentrated urban setting in the Maroochydore Principal Regional Activity Centre and is to provide the greatest range and diversity of uses.
- (n) Development in the Principal centre zone in Sub-precinct MAR LPSP-1 (Ocean Street Hospitality Area) provides for a range of business uses and entertainment activities including food and drink outlets, function facilities, bars, hotels and nightclub entertainment facilities that may operate after hours and include live music which creates a vibrant atmosphere.
- (o) Development in the Principal centre zone on Key Site 1 (Sunshine Plaza) provides for expansion or redevelopment of the shopping centre and adjacent sites to provide for an integrated, high quality design which addresses and activates key street frontages, enhances connectivity through the *site*, in particular through the provision of the public pedestrian promenade and identified road links, and presents an attractive interface to surrounding areas through outstanding building, streetscape and landscape design.
- (p) Development in the Principal centre zone on Key Site 2 (Big Top) provides for an integrated, high quality *mixed use development* which contributes to the vibrancy of Ocean Street, Cornmeal Creek and Horton Parade, enhances pedestrian connectivity through and around the *site* and displays an outstanding level of architectural and landscape design befitting of its prominent location.
- (q) Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) and Precinct MAR LPP-3 (Maroochy Boulevard/Dalton Drive) occurs in accordance with Table 7.2.19.4.3 (Maroochydore/Kuluin local plan supplementary table of consistent and inconsistent uses in the Principal centre zone) and in particular ensures that any retail business uses do not detract from or compete with the core retailing functions of Precinct MAR LPP-1 (City Core).
- (r) Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road):-
 - (i) predominantly comprises medium intensity residential activities and business activities, including smaller scale *showroom* uses;
 - recognises the role of Aerodrome Road as a gateway entry to the Maroochydore Principal Regional Activity Centre and major tourist route and provides for it to be established as a landscaped boulevard with transit and pedestrian priority, limited lot access for vehicles and high quality building presentation;
 - (iii) provides for the establishment of key transit nodes at major intersections along Aerodrome Road; and
 - (iv) provides for bicycle and pedestrian infrastructure which connects major transit stations within the Maroochydore Principal Regional Activity Centre to the Cotton Tree waterfront and the eastern surf beaches.

- (s) Development in the Principal centre zone in Precinct MAR LPP-3 (Maroochy Boulevard/Dalton Drive):-
 - comprises a mix of uses including medium intensity residential activities, business activities (including smaller scale *showroom* uses) as well as other supporting activities and infrastructure necessary to service the Maroochydore Principal Regional Activity Centre;
 - (ii) provides a built form which reinforces the gateway function of Maroochy Boulevard and contributes to a sense of arrival to the Maroochydore Principal Regional Activity Centre;
 - provides for Maroochy Boulevard and Dalton Drive to be established as landscaped boulevards incorporating public transport infrastructure, wide pedestrian paths and limited lot access for vehicles; and
 - (iv) reflects a high level of design detail in terms of the architectural quality of buildings, the type and size of signage, and the quality of landscape treatments both within the road reserve and within development sites.
- (t) Development in the Local centre zone supports the role and function of the local business areas as local (not full service) activity centres servicing the convenience needs of residents and visitors to the local plan area.
- (u) With the exception of the two local business areas situated on the corner of Maroochydore Road and Main Road and Maroochydore Road and Turner Street that are not intended to increase their building footprint or gross floor area, development in the Local centre zone provides for the expansion and enhancement of business uses.
- (v) Development in the Local centre zone provides for small scale uses, active street *frontages* and other urban elements that create vibrant streets and places.
- (w) Development in the Specialised centre zone provides for the progressive refurbishment of sites along Wises Road and Sugar Road with buildings, landscaping and integrated signage that improve the visual appearance and the continuity of the *streetscape* along these *major roads*.
- (x) Development in the High density residential zone in Precinct MAR LPP-4 (Wharf Street) provides for predominantly high density residential uses. Limited *office* uses may be established in the precinct as part of mixed use premises, where the residential amenity of the area is maintained.
- (y) Development in the Low density residential zone in Precinct MAR LPP-5 (Maud Street/Sugar Road) provides for the establishment of business uses (being offices) in existing dwellings in a manner that maintains the amenity of existing residential uses and improves the visual appearance and continuity of the streetscape along these major roads. Whilst the conversion of existing dwelling stock is supported, new custom built offices are not developed in Precinct MAR LPP-6 (Maud Street/Sugar Road).
- (z) Development improves local connectivity and access by providing identified public road links including links between Martins Drive and Fishermans Road, Pikki Street and Primary School Court, Southern Drive and Amaroo Street, Millwell Road East and Southern Drive and required road links into the Maroochydore City Centre Priority Development Area.
- (aa) Development in the Emerging community zone provides for the continued development of Sunshine Cove as an integrated residential community, providing a mix of dwelling types and live/work buildings in a waterside setting, supported by large areas of open space, a walkable waterfront and extensive cycle and pedestrian pathway networks connecting the development to the Maroochydore Principal Regional Activity Centre and other adjoining neighbourhoods.

Editor's note—development at Sunshine Cove is currently regulated in accordance with an approved master plan and plan of development.

- (bb) The existing *tourist park* sites located at Cotton Tree and Maroochydore Beach are maintained as *tourist parks* to provide short term, affordable visitor accommodation to complement Maroochydore's role as a tourism focus area.
- (cc) Development does not compromise or adversely impact upon the operation or functional efficiency of the major transport corridors within or adjoining the local plan area including the Dedicated Public Transport Corridor (CAMCOS) and CoastConnect Priority Public Transport and Bicycle Corridor.

7.2.19.4 Performance outcomes and acceptable outcomes

Table 7.2.19.4.1	Performance outcomes and acceptable outcomes for assessable
	development in the Maroochydore/Kuluin local plan area generally1

Performa	ince Outcomes	Acceptable	Outcomes
	nent in the Maroochydore/Kuluin Local I	Plan Area Ge	enerally (All Zones)
PO1	Development supports the role and function of Maroochydore as the principal regional activity centre for the Sunshine Coast by accommodating uses that are complementary to, but do not compete with the intended role of, the retail core (Principal centre zone and priority development area) as the primary focus for business and community activities within the principal regional activity centre.	AO1	No acceptable outcome provided.
PO2	Development provides for buildings, structures and landscaping that are consistent with, and reflect the coastal urban character of, the Maroochydore/Kuluin local plan area.	A02.1	 Development for a residential, business or community activity provides for building design which incorporates the following features:- (a) a mix of lightweight and textured external building materials, including timber finishes or masonry construction with variation provided in texture and detailing; (b) articulated, pitched, skillion or curved roof forms; (c) open or transparent balustrades; and (d) landscaping integrated into the building design.
		AO2.2	Development uses understated colour schemes and low-reflective roofing and cladding materials.
PO3	Development provides for the retention and enhancement of key landscape elements including significant views and vistas and existing character <i>vegetation</i> contributing to the setting, character and sense of place of the Maroochydore/Kuluin local plan area.	AO3.1	Development protects and emphasises, and does not intrude upon, important views to the Maroochy River, beaches and other areas where identified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements).
		AO3.2	Development provides for the retention and enhancement of existing mature trees and character vegetation contributing to the setting and character of the local plan area including:- (a) vegetation adjacent to the Maroochy River foreshore and Maroochydore beach foredunes; (b) significant vegetation on the northern side of the Sunshine Motorway at the gateway intersection of Maroochy Boulevard; and (c) other character vegetation identified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements).

¹ Editor's note—Table 7.2.19.4.2 (Additional performance outcomes and acceptable outcomes for assessable development in the Principal centre zone) of this code provides additional assessment criteria for assessable development located in the Principal centre zone.

Performa	ince Outcomes	Acceptable	Outcomes
			of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
PO4	 Development:- (a) provides for the establishment of landscaped boulevards along Maroochydore Road, Maroochy Boulevard, Evans Street, Dalton Drive, Bradman Avenue, Duporth Avenue (part), Sixth Avenue, the Esplanade, Aerodrome Road and Alexandra Parade; and (b) contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways that enhance the sense of arrival to, and coastal urban character of, Maroochydore/Kuluin. 	AO4.1	 Development adjacent to a primary streetscape treatment area, boulevard treatment area or gateway/entry point where identified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements):- (a) incorporates a high standard of urban design and architectural and landscape treatments which enhance the sense of arrival to, and the urban beachside character of, the local plan area and emphasise corner locations; and (b) incorporates design elements such as varied roof forms, changes in materials and variations in projected and recessed elements and facades.
		AO4.2	 Development on a <i>site</i> having a landscape setback as specified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements):- (a) provides for a 3 metre wide deep planted (in natural ground) continuous landscaping strip for at least 70% of the length of the <i>site frontage</i> boundary; and (b) has a built form which typically includes courtyard edges and interfaces.
		AO4.3	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design. Note— Section 9.4.2 (Landscape code) sets
			out requirements for streetscape landscapes including entry statement landscapes. Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area.
			Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as required.
PO5	Development with <i>frontage</i> to Aerodrome Road or Alexandra Parade minimises direct vehicle <i>access</i> and gives priority to pedestrians and the CoastConnect Priority Public Transport and Bicycle Corridor.	A05	Development on a <i>site</i> with <i>frontage</i> to Aerodrome Road or Alexandra Parade:- (a) provides for no additional vehicle <i>access</i> from these streets; and (b) rationalises existing vehicle <i>access</i> points wherever practicable.
PO6	Development provides a wide, vegetated <i>buffer</i> to the Sunshine Motorway to visually screen and soften built form elements.	AO6	Development provides a 10 metre wide mounded landscaped <i>buffer</i> along the Sunshine Motorway road <i>frontage</i> of a <i>site</i> where identified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements).

	ance Outcomes		
	the major open space links offered by the foreshore park and reserve system, Cornmeal Creek, Maud Canal and associated drainage systems.		Outcomesand enhancement of the greenspace linksidentifiedonFigure7.2.19A(Maroochydore/Kuluinlocalelements).
PO8	Development on land adjacent to the Maroochy River foreshore, between Cornmeal Creek and Picnic Point Esplanade, provides for a continuous public pedestrian and cycle link along the Maroochy River foreshore as an extension to the coastal walk.	AO8	No acceptable outcome provided.
PO9	Development ensures the Dalton Lakes Drainage Reserve continues to function as a water management area and <i>buffer</i> to the Sunshine Motorway and Maroochy Boulevard.	AO9	No acceptable outcome provided.
PO10	Development on land with frontage to Eudlo Creek facilitates the provision of a local ecological linkage as identified on Figure 7.2.19A (Maroochydore/ Kuluin local plan elements).	AO10	No acceptable outcome provided. Editor's note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.
PO11	Development provides public road links where identified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements) to improve local connectivity, access and servicing arrangements.	A011	No acceptable outcome provided.
PO12	 Development does not compromise the provision and operation of <i>transport networks</i> including:- (a) the Dedicated Public Transport Corridor (CAMCOS), linking the North Coast Rail Line at Beerwah to Caloundra, Kawana Waters and Maroochydore; (b) the Sunshine Motorway and any future connection to the Sunshine Motorway in the south eastern part of the local plan area; (c) the CoastConnect Priority Public Transport and Bicycle Corridor along Aerodrome Road and Alexandra Parade; and (d) Maroochydore Road, Maroochy Boulevard, Maud Street/Sugar Road and Bradman Avenue. 	A012	No acceptable outcome provided.
Develop	ment in the Local Centre Zone Generally	<u> </u>	
PO13	 Development in the Local centre zone:- (a) supports the role of the Cotton Tree Local Centre, Maroochy Waters Local Centre, Kuluin Local Centre and other local centres in the local plan area as local (not full service) activity centres; and (b) provides a basic level of 	AO13	No acceptable outcome provided.
	convenience goods and services to local residents and visitors.		
Develop	ment in the Local Centre Zone (King Stre	et, Cotton Ti	ree)
PO14	 Development in the Local centre zone at Cotton Tree:- (a) is sympathetic to the urban village character of Cotton Tree; (b) contributes to the vitality of King Street; (c) provides continuous weather protection for pedestrians; 	A014	Development in the Local centre zone at Cotton Tree:- (a) provides <i>primary active street</i> <i>frontages</i> , built to the front boundary, where identified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements);

Porforma	nce Outcomes	Acceptable	Outcomos
F entonna	(d) complements the traditional main	Acceptable	(b) provides for any residential uses to
	 (d) completions the traditional main street form and streetscape of Cotton Tree; and (e) provides integrated and functional 		 be effectively integrated with business uses; (c) has building openings overlooking
	car parking and access		the street;
	arrangements that do not dominate the <i>streetscape</i> .		(d) provides all weather protection in the form of continuous cantilevered
			awnings and/or light verandah structures with decorative non-load
			bearing posts over footpath area with mature or semi-mature shade
			trees planted along the <i>site frontage</i> adjacent to the kerbside;
			(e) ensures that signage is integrated with buildings;
			 (f) includes provision for landscaping, shaded seating and consistent and simple paving materials on
			footpaths; and (g) provides for car parking in
			basements.
	nent in the Local Centre Zone (Local Bus		
PO15	Development in the Local centre zone on sites situated on the corner of	AO15	Development in the Local centre zone on sites situated on the corner of
	Maroochydore Road and Main Road		Maroochydore Road and Main Road and
	and Maroochydore Road and Turner Street:-		Maroochydore Road and Turner Street:- (a) does not involve any expansion to
	(a) maintains, but does not increase,		the gross floor area of business
	the existing scale of business		uses established on the <i>site</i> ;
	uses;(b) improves the appearance of the <i>streetscape</i>;		 (b) improves the appearance of buildings and landscaping on the site;
	 (c) minimises impacts on adjoining or nearby residential uses; and 		 (c) provides for buildings which have a scale and form that is compatible
	(d) does not impact upon the operational efficiency of		with nearby residential buildings; (d) does not provide for direct <i>access</i> to
	Maroochydore Road as a major transport corridor.		Maroochydore Road; and (e) does not provide for the
	•		establishment of high traffic generating uses.
Develop	nent in the Tourist Accommodation Zon	e (Cotton Tre	
PO16	Development in the Tourist	AO16	Development in the Tourist
	accommodation zone:- (a) contributes to the vitality of key		accommodation zone:- (a) provides <i>primary active street</i>
	streets and esplanades; and		frontages, built to the front
	(b) is sympathetic to the coastal		boundary, where identified on
	character of Cotton Tree and Maroochydore.		Figure 7.2.19A (Maroochydore/Kuluin local plan
			elements);
			 (b) where active <i>frontages</i> are provided, incorporates all weather protection
			in the form of continuous
			cantilevered awnings and/or light verandah structures with decorative
			non-load bearing posts over footpath area with mature or semi-
			mature shade trees planted along the <i>site frontage</i> adjacent to the
			kerbside; (c) ensures that signage is integrated with the building; and
			with the building; and (d) includes provision of landscaping, abaded exerting and consistent and
			shaded seating and consistent and simple paving materials on footpaths.

Perform	ance Outcomes	Acceptable	Outcomes
	ment in the High Density Residential Zor		
PO17	Development for an office in the High	A017	No acceptable outcome provided.
	density residential zone in Precinct		
	MAR LPP-4 (Wharf Street) identified on		
	Local Plan Map LPM22:-		
	(a) is small scale only and does not		
	detract from the intended role and		
	function of the Maroochydore		
	Principal Regional Activity Centre		
	as the primary location for centre		
	activities;		
	(b) forms part of a <i>mixed use</i>		
	development; and		
	(c) maintains the amenity of adjacent		
	or nearby residential premises.		
	ment in the Low Density Residential Zon		
PO18	Development in the Low density	AO18	Development for an office in the Low
	residential zone in Precinct MAR LPP-5		density residential zone in Precinct MAR
	(Maud Street/Sugar Road) identified on		LPP-5 (Maud Street/Sugar Road):-
	Local Plan Map LPM22 provides for		(a) is limited to <i>dwelling houses</i> existing
	offices to be incorporated within existing		prior to the commencement of the
	dwelling houses, provided that such		planning scheme;
	development:-		(b) provides for all required car parking
	(a) maintains the amenity of adjacent or nearby residential		to be accommodated on site within, behind or beside the main building;
	premises; and		(c) provides a minimum 2 metre wide
	(b) provides an attractive and		densely planted landscaped strip
	coherent <i>streetscape</i> address		along the full length of the front
	to Maud Street/Sugar Road;		property boundary; and
	and		(d) avoids any material impact on the
	(c) provides for car parking		amenity of adjoining or nearby
	arrangements which are in		residential premises through the
	keeping with a residential		provision of landscape buffers,
	appearance and do not		screen fencing and appropriate site
	dominate the <i>streetscape</i> .		layout.
Develop	ment in the Emerging Community Zone (Sunshine Co	ove)
PO19	Development in the Emerging	AO19	No acceptable outcome provided.
	community zone at Sunshine Cove:-		
	(a) contributes to the establishment of		Editor's note-development at Sunshine Cove
	a walkable residential community		is currently regulated in accordance with an
	in a waterside setting, comprising		approved master plan and plan of development.
	of a number of high quality,		development.
	attractive, environmentally		
	responsible and sustainable mixed		
	density residential		
	neighbourhoods;		
	(b) provides for a range of lot sizes,		
	dwelling types and live/work		
	buildings, with the highest density		
	of residential development		
	provided in key locations;		
	(c) provides for an interconnected		
	open space network and		
	community facilities that meet the		
	needs of the local community;(d) provides an integrated, legible and		
	permeable road, cycle and pathway network, including a		
	walkable waterfront along canal edges connecting residential		
	edges connecting residential neighbourhoods to open space,		
	community facilities and the		
	Maroochydore Principal Regional		
	Activity Centre; and		
	(e) protects the function and visual		
	amenity of Maroochy Boulevard		
		l	

Performa	ince Outcomes	Acceptable	Outcomes
	and the Sunshine Motorway.		
Develop	nent in the Community Facilities Zone (7	Tourist Parks	;
PO20	Development provides for the existing <i>tourist park</i> sites located at Cotton Tree and Maroochydore Beach to be retained or redeveloped as <i>tourist parks</i> .	AO20	No acceptable outcome provided.

Table 7.2.19.4.2 Additional performance outcomes and acceptable outcomes for assessable development in the Principal centre zone

	ance Outcomes		Outcomes
	ment in the Principal Centre Zone Genera	ally	
Land Use			
PO1	Development in the Principal centre zone provides for the Maroochydore Principal Regional Activity Centre to be established as the key focal point for commercial, business and higher order retailing uses in conjunction with recreational, cultural and entertainment facilities of regional significance and higher density residential development.	A01	No acceptable outcome provided.
PO2	Development provides for a mix and intensity of uses that contribute to the establishment of the Maroochydore Principal Regional Activity Centre as the primary Central Business District for the Sunshine Coast sub-region.	A02	No acceptable outcome provided.
PO3	 Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) and Precinct MAR LPP-3 (Maroochy Boulevard/Dalton Drive) provides for:- (a) a use listed as a consistent use in Column 1 of Table 7.2.19.4.3 (Maroochydore/Kuluin local plan supplementary table of consistent uses and potentially consistent uses in the Principal centre zone) to occur in the relevant precinct; and (b) a use listed as a potentially consistent use in Column 2 of Table 7.2.19.4.3 to occur in the relevant precinct only where further assessment has determined that the use is appropriate in the precinct having regard to such matters as its location, nature, scale and intensity. 	A03	No acceptable outcome provided.
la és sur éi	Note—a use not listed in Table 7.2.19.4.3 is an inconsistent use and is not intended to occur in the Principal centre zone in Precinct MAR LPP-2 or Precinct MAR LPP-3.		tre Brievite Development Aree
	on and Connectivity with the Maroochyd		
PO4	Development in the Principal centre zone provides for high levels of integration and connectivity with the key structural elements of the Maroochydore City Centre Priority Development Area, including open space, pedestrian, cyclist and vehicular	AO4	No acceptable outcome provided.

Performa	nce Outcomes	Acceptable	Outcomes
	linkages.		
Accessib	ility, Permeability and Legibility	I	
PO5	Development provides for a walkable waterfront and open space network along the full frontages of Cornmeal Creek and Maud Canal providing public access at all times and connectivity through the Principal Regional Activity Centre and beyond to the Maroochy River and foreshore and surrounding residential areas.	AO5	Development ensures that a walkable waterfront and open space network is provided in public ownership in accordance with the greenspace link and key pedestrian/cycle link identified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements).
PO6	Development provides for a high amenity and functional pedestrian promenade, available for public access at all times, extending along the full frontage of Maud Canal from Cornmeal Creek to the proposed transit station and interchange (CAMCOS) and	AO6.1	Development provides a pedestrian promenade in public ownership along the full frontage of the Maud Canal from Cornmeal Creek to the proposed transit station and interchange (CAMCOS), and surrounding residential areas.
	surrounding residential areas.	AO6.2	The pedestrian promenade is designed and constructed in accordance with the specifications shown on Figure 7.2.19B (Maroochydore Public Pedestrian Promenade Design).
		AO6.3	Development provides for shade structures, landscaping and directional signage to be installed within the pedestrian promenade.
P07	 Development provides mid-block pedestrian connections which:- (a) are located to reflect the desired lines of pedestrian movement between major points of attraction and public spaces that are available for public access at all times; (b) provide a safe alternative to the street based pedestrian and cycle 	A07.1	Development for a large floor plate use in the Principal centre zone, or on land otherwise identified as accommodating a through block pedestrian linkage on Figure 7.2.19A (Maroochydore/Kuluin local plan elements) provides publicly accessible, visible, safe, comfortable and attractive through block pedestrian linkages.
	 movement network; and (c) provide a comfortable pedestrian environment in terms of access, width, shelter, materials and function. 	A07.2	The pedestrian connections are subject to an easement in favour of the Council to ensure guaranteed 24 hour and 7 days per week public access.
Built For			
PO8	 Development provides for buildings that achieve the following:- (a) define the public domain and contribute to the character of the <i>streetscape</i> and urban open space; (b) have a scale, rhythm and proportions which respond to the building's use, its context including views and vistas and the preferred character of the area in which it is located; and (c) have a high architectural quality. 	AO8	No acceptable outcome provided.
PO9	 Development provides buildings that:- (a) are closely related to streets, public spaces and pedestrian routes; (b) maintain some area free of buildings at ground level to accommodate deep planted landscapes and facilitate pedestrian movement and other 	AO9	Development for a building in the Principal centre zone in Precinct MAR LPP-1 (City Core) provides for a maximum <i>site cover</i> of 90% for the podium element, and 50% for the tower element, where the following criteria are met:- (a) the site has a principal <i>frontage</i> of at

Part 7

Perform	ance Outcomes	Accentable	Outcomes	
	functions associated with the building; (c) exhibit well-defined podium and tower elements which provide a slender building profile above podium level; and (d) are sited and oriented to cause least environmental impact.		 least 20 metres; (b) deep planted landscapes are provided at the principal <i>frontage</i> of the site and are of a sufficient size and dimension to accommodate mature trees; and (c) the development demonstrates outstanding building, <i>streetscape</i> and landscape design which is highly articulated and epitomises subtropical and sustainable design. OR 	
PO10	Development provides spaces between buildings which:- (a) allow for light and air penetration; (b) provide for an adequate level of privacy and outlook; (c) avoid wind tunnelling effects; and	AO10.1	In all other circumstances, development complies with the <i>site cover</i> requirements of the applicable use code. Development ensures that a building which incorporates a tower element but not a podium element is <i>setback</i> a minimum of 6 metres from the side boundary.	
	(d) sensitively respond to adjoining uses.	AO10.2	 Development ensures that a building which incorporates a tower element and a podium element provides for the following:- (a) the podium element to have a maximum height of 16 metres and be built to the property boundary unless adjoining a residential use in which case the podium element may only be built to the property boundary up to 4.5 metres in height; and (b) the tower element to be <i>setback</i> 6 metres from the front of the podium element with a minimum separation distance of 15 metres between tower elements on the same <i>site</i>. 	
PO11	 Development provides buildings that:- (a) are architecturally treated with facades and elevations that avoid large blank walls; and (b) incorporate roof forms, openings and setbacks that articulate vertical building surfaces and contribute positively to the Maroochydore Principal Regional Activity Centre streetscape. 	A011	 Development ensures that a building incorporates architectural treatments of facades and elevations such that:- (a) semi-enclosed spaces and colonnades are provided at street level where abutting pedestrian routes, through the use of awnings, pergolas, or other devices that may be suspended, free standing, supported on columns or cantilevered; (b) blank or featureless walls extend for no more than 15 metres either in plane or elevation without including articulation or variation, such as stepping by a minimum of 0.6 metres, windows, balconies or other such features; and (c) top levels of buildings and roof forms that are shaped to:- (i) reduce their apparent bulk and 	7
			 (i) provide visually attractive skyline silhouettes; (ii) screen mechanical plant from view; and (iii) provide roof-top terraces to 	

Perform	ance Outcomes	Acceptable	Outcomes
			take advantage of views where appropriate.
PO12	Development provides buildings that respect and reflect the distinctive character of their settings and express contemporary architectural practice.	AO12	 Development ensures that a building is finished with external building materials and colours that:- (a) are robust and do not require high levels of maintenance; (b) complement their setting and be attractive to neighbouring premises; and (c) are not mirrored or highly reflective.
PO13	Development provides buildings with service structures and mechanical plant that are attractively presented and make a positive contribution to the Maroochydore Principal Regional Activity Centre <i>streetscape</i> .	AO13.1	Development ensures that building service structures, lift motor rooms and mechanical plant are designed as architectural features of the building or are effectively screened from the street or public open space.
		AO13.2	Development ensures that building roof tops allow for the future inclusion of satellite dishes and <i>telecommunications</i> <i>facilities</i> in an unobtrusive manner such that these services are not visible from the street or public open space.
		AO13.3	Development ensures that building caps and rooftops contribute to the architectural character of the building and create a coherent roofscape for the Maroochydore Principal Regional Activity Centre.
	treets and Public Spaces		
PO14	Development on a <i>site</i> identified as having an active <i>frontage</i> on Figure 7.2.19A (Maroochydore/Kuluin local plan elements) provides a continuous pedestrian friendly façade and incorporates activities located at ground level that promote a vibrant and lively <i>streetscape</i> character.	AO14	Development provides <i>primary active</i> street frontages and secondary active street frontages where identified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements).
PO15	Development involving new or extended large floor plate retail uses is located and designed to contribute to vibrant and active streets and public places.	AO15	Development for a large format retail use (such as a showroom, discount department store, department store or a supermarket) provides a main entrance onto a public street with any external walls that would otherwise front the street, containing sleeving uses.
PO16	 Development ensures that the ground floor level of a building:- (a) is adaptable, allowing for changes in land use over time; and (b) distinguish the commercial and sub-tropical identity of the Maroochydore Principal Regional Activity Centre. 	AO16	Development provides for business uses in premises having a primary active street frontage as specified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements) to have a minimum floor to ceiling height of 3.5 metres at the ground floor level.
PO17	Development provides for footpaths and walkways intended primarily for pedestrians to be comfortable to use and adequately sheltered from excessive sunlight and inclement weather.	A017	Development adjacent to a public street or other public and semi-public space provides adequate and appropriate shelter along or around such spaces with:- (a) a minimum shelter width of:- (i) 3.2 metres provided for <i>primary active street frontages</i> specified on Figure 7.2.19A (Maroochydore/Kuluin local

Dorforme		Accontable	Outcomos
Periorma	nce Outcomes	Acceptable	• Outcomes plan elements); and
			 (ii) 2.7 metres provided for secondary active street frontages specified on Figure 7.2.19A (Maroochydore/Kuluin local plan elements); and (b) a shelter type that comprises one or more of the following:- (i) verandah; (ii) colonnade; (iii) awning; (iv) covered pergola; (v) arcade.
Housing			
PO18	Development ensures that a range of <i>dwelling</i> types and sizes are provided to facilitate social mix, meet changing demographic needs and provide opportunities for affordable living.	AO18	Development ensures at least 10% of all <i>dwellings</i> on a <i>site</i> are equal to or less than 100m ² in <i>gross floor area</i> . Note—Acceptable Outcome AO18 is not intended to apply to sites fronting the Maroochy River.
Streetsca	apes, Public Spaces and Landscapes ²	<u> </u>	
PO19	Development provides attractive landscapes that contribute to the sub- tropical character, amenity, utility and safety of the Maroochydore Principal Regional Activity Centre including within	AO19.1	Development provides landscaping on top of podium levels and car parks and on balconies and verandahs, where such front the street.
	public places and open space areas, streetscapes and streetscape interfaces.	AO19.2	Development provides planter boxes that are an integral part of the building structure, are appropriately drained and do not exceed 0.6 metres in height.
		AO19.3	Development provides for the use of primarily advanced trees and shrubs to soften large built form exteriors and to achieve screening of a minimum of 30% of the building elevation.
		AO19.4	Development provides footpath paving treatments and street furniture that integrate with adjoining development and setback areas and align with public footpaths.
PO20	Development which in order to comply with a minimum habitable floor level, has a ground storey that is different to the level of the adjoining street or other public space, provides for the following:- (a) a high level of non-discriminatory pedestrian access to maintain an	AO20	No acceptable outcome provided.
	 active <i>frontage</i>; (b) a ramp, stair or other element to facilitate pedestrian and vehicular access that is entirely accommodated within the <i>site</i>. 		
PO21 Car Park	Development provides for art installations to be incorporated where possible, as an essential element to engage users of the urban environment.	AO21	No acceptable outcome provided.
PO22		AO22	No acceptable outcome provided
PU22	Development provides for or contributes to the provision of consolidated or	AUZZ	No acceptable outcome provided.

² These provisions are intended to supplement the *Landscape code*.

Performa	ince Outcomes	Acceptable	Outcomes
	shared car parking which serves a variety of nearby uses.		
PO23	Development in Precinct MAR LPP-1 (City Core) and in Sub-precinct MAR LPSP-1 (Ocean Street Hospitality Area) provides car parking areas and service areas that are not visually dominant from a street or public open space.	AO23.1	 Development provides car parking areas, service areas and access driveways that are located so that they will not dominate the <i>streetscape</i> or unduly intrude upon pedestrian use of footpaths, through:- (a) the use of rear access lanes; (b) parking and service areas situated at the rear of the <i>site</i>, incorporated wholly within a building or below ground level, and shared driveways.
		AO23.2	Development provides vehicular access arrangements that do not ramp along boundary alignments edging the street, laneways, public open space and the like.
PO24	Development in a precinct other than Precinct MAR LPP-1 (City Core) and in Sub-precinct MAR LPSP-1 (Ocean Street Hospitality Area) provides ground level car parking areas and service areas that do not dominate the street <i>frontage</i> .	AO24.1	 Development provides for any ground level car parking area to be:- (a) located behind or contained within a building and not visible from the street <i>frontage</i>; or (b) screened by a minimum 3 metre wide landscape buffer containing continuous shade tree planting.
		AO24.2	Development provides for loading docks to be fully enclosed and manoeuvring areas for service vehicles to be <i>setback</i> a minimum of 5 metres and not be adjacent to or visible from the street.
	nent in the Principal Centre Zone in Pred		
PO25	Development in the Principal centre zone in Precinct MAR LPP-1 (City Core) identified on Local Plan Map LPM22 comprises a vibrant and high intensity mixed use core where the principal business and administrative functions are complemented by retailing, entertainment, education, community and cultural facilities, tourism and residences.	AO25	No acceptable outcome provided.
PO26	 Development in the Principal centre zone in Precinct MAR LPP-1 (City Core) does not comprise showrooms so that it does not delay or compromise the following:- (a) the capacity of the existing and planned road transport infrastructure networks in the Maroochydore Principal Regional Activity Centre; (b) the employment potential of the Maroochydore Principal Regional Activity Centre; (c) the intended urban design outcomes for the Maroochydore Principal Regional Activity Centre; (d) the principle of a transit oriented community through pedestrian and cycle paths and public transport; (e) the development of showrooms in other areas intended for this use by the planning scheme outside of the Maroochydore Principal Regional Activity Centre; 	AO26	No acceptable outcome provided.

		Outcomes	Acceptable	
Develop		in the Principal Centre Zone (Key S	<u>Site 1 – Sunsl</u>	
PO27	Dev	elopment in the Principal centre	AO27	No acceptable outcome provided.
	zon	e on Key Site 1 (Sunshine Plaza)		
		ures that significant expansion or		
		evelopment of the Sunshine Plaza		
		opping Centre or adjacent		
		perties:-		
	(a)	occurs in an integrated manner in		
		accordance with a master plan or		
		approved plan of development;		
	(b)	provides for outstanding building,		
		streetscape and landscape design		
		which is highly articulated and		
		epitomises sub-tropical and		
		sustainable design;		
	(c)	facilitates a high level of		
	(0)			
		accessibility to the Maroochydore		
		Station transit interchange and the		
		transit station and interchange		
		(CAMCOS);		
	(d)	provides for Cornmeal Creek and		
	` '	the Maud Canal to function as key		
		elements of the urban open space		
		provides for development which		
		reinforces and activates these		
		links;		
	(e)	does not compromise the		
	l`´	proposed road hierarchy and		
		transport infrastructure necessary		
		to service the Maroochydore		
		Principal Regional Activity Centre;		
	(5)			
	(f)	provides strong linkages with		
		surrounding development and, in		
		particular, the provision of the		
		public pedestrian promenade and		
		other urban design elements and		
		treatments necessary to create a		
		high level of integration and		
		•		
	(-)	connectivity;		
	(g)	provides public road links as		
		indicated on Figure 7.2.19A		
		(Maroochydore/Kuluin local plan		
		elements) to improve local		
		connectivity; and		
	(h)			
	(1)			
		•		
	L	parking and servicing areas.		
		in the Principal Centre Zone (Key S		
PO28		elopment in the Principal centre	AO28	No acceptable outcome provided.
	zon	e on Key Site 2 (Big Top) ensures		
		redevelopment of the site:-		
		provides for the <i>site</i> to be		
	()	developed as a high quality,		
		development incorporating a range		
		of centre activities and residential		
		accommodation;		
	(b)	provides for outstanding building,		
	· ` '	<i>streetscape</i> and landscape design		
		which is highly articulated and		
		U		
	<i>(</i>)	sustainable design;		
	(c)	provides an attractive address to		
		all street <i>frontages</i> and to		
		all street <i>frontages</i> and to Cornmeal Creek;		

Performa	ince Outcomes	Accentable	Outcomes
Fenonia	(d) facilitates a high level of	Acceptable	oucomes
	accessibility to the Maroochydore		
	Station transit interchange;		
	(e) provides for development which		
	reinforces and activates the public		
	pedestrian and urban open space		
	link along Cornmeal Creek;		
	(f) provides strong linkages with		
	surrounding development and, in		
	particular, the provision of through		
	block pedestrian links connecting		
	Ocean Street and Duporth Avenue		
	with Cornmeal Creek Esplanade,		
	and other urban design elements and treatments necessary to		
	create a high level of integration		
	and connectivity;		
	(g) provides <i>primary</i> active street		
	frontages to Cornmeal Creek,		
	Ocean Street, Duporth Avenue		
	and Horton Parade and the 'urban		
	laneway' through the <i>site</i>		
	connecting Ocean Street with		
	Cornmeal Creek Esplanade;		
	(h) maintains existing vehicular		
	access points; and		
	(i) provides integrated and functional car parking and access		
	arrangements that do not		
	dominate the street.		
Develop		Sub-precinct	MAR LPSP-1 (Ocean Street Hospitality
Area)			
PO29	Development in the Principal centre	AO29	No acceptable outcome provided.
	zone in Sub-Precinct MAR LPSP-1		
	(Ocean Street Hospitality Area)		
	identified on Local Plan Map LPM22 provides for a range of		
	provides for a range of entertainment/catering business uses		
	and other business uses including food		
	and drink outlets, function facilities,		
	bars, hotels and nightclub		
	entertainment facilities that may operate		
	after hours and include live music which		
	creates a vibrant atmosphere.	1	
Develor			
	nent in the Principal Centre Zone in Pre		
Developri PO30	nent in the Principal Centre Zone in Pre Development in the Principal centre	<i>cinct MAR LI</i> AO30	PP-2 (Aerodrome Road) No acceptable outcome provided.
	nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2		
	nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local		
	nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the		
	nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:-		
	nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the		
	nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly		
	nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity		
	 nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses 		
	 nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels 		
	 nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground storey; 		
	 nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground storey; (b) development does not detract 		
	 nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground storey; (b) development does not detract from or compete with major 		
	 nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground storey; (b) development does not detract from or compete with major retailing activities in Precinct MAR 		
	 nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground <i>storey</i>; (b) development does not detract from or compete with major retailing activities in Precinct MAR LPP-1 (City Core); 		
	 nent in the Principal Centre Zone in Precipal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground <i>storey</i>; (b) development does not detract from or compete with major retailing activities in Precinct MAR LPP-1 (City Core); (c) development facilitates and 		
	 nent in the Principal Centre Zone in Precipal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground <i>storey</i>; (b) development does not detract from or compete with major retailing activities in Precinct MAR LPP-1 (City Core); (c) development facilitates and supports the creation of 		
	 nent in the Principal Centre Zone in Pre Development in the Principal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground storey; (b) development does not detract from or compete with major retailing activities in Precinct MAR LPP-1 (City Core); (c) development facilitates and supports the creation of Aerodrome Road as an attractive 		
	 nent in the Principal Centre Zone in Precipal centre zone in Precinct MAR LPP-2 (Aerodrome Road) identified on Local Plan Map LPM22 complies with the following:- (a) development predominantly comprises medium intensity residential uses and commercial business uses with short term or permanent residential uses occurring generally at floor levels above the ground <i>storey</i>; (b) development does not detract from or compete with major retailing activities in Precinct MAR LPP-1 (City Core); (c) development facilitates and supports the creation of 		

Performa	ince Outcomes	Accentable	Outcomes
Fenonna	(d) development with a <i>frontage</i> to	Acceptable	outcomes
	Aerodrome Road provides for the		
	consolidation of existing lot		
	accesses along Aerodrome Road		
	and for rear access to lots to be		
	obtained from other streets where		
	reasonably practicable;		
	(e) development provides for bicycle		
	and pedestrian infrastructure		
	which connects the Maroochydore		
	Station transit interchange and the		
	transit station and interchange		
	(CAMCOS) to the Cotton Tree		
	waterfront and the eastern surf		
	beaches.		
PO31	Development provides for all	AO31	No acceptable outcome provided.
	showrooms to have a maximum gross		
	leasable floor area of 3,000m ² per		
	tenancy.		
	nent in the Principal Centre Zone in F	Precinct in N	MAR LPP-3 (Maroochy Boulevard/Dalton
Drive) PO32	Dovelopment in the Principal assta	AO32	No accontable outcome provided
rU32	Development in the Principal centre zone in Precinct MAR LPP-3 (Maroochy	AU32	No acceptable outcome provided.
	Boulevard/Dalton Drive), identified on		
	Local Plan Map LPM22, complies with		
	the following:-		
	(a) development predominantly		
	comprises medium intensity		
	business and residential activities		
	including <i>offices</i> and smaller scale		
	shops and showrooms;		
	(b) development does not detract		
	from or compete with major		
	retailing activities in Precinct MAR		
	LPP-1 (City Core).		
PO33	Development provides for the	AO33	No acceptable outcome provided.
	following:-		
	(a) all <i>showrooms</i> to have a		
	maximum gross leasable floor		
	area of 3,000m ² per tenancy;		
	(b) the total maximum gross		
	leasable floor area of all retail		
	business uses (other than showroom) to not exceed		
	showroom) to not exceed 20,000m ² for the precinct.		
PO34	Development provides for Maroochy	AO34	No acceptable outcome provided.
	Boulevard and Dalton Drive to be		
	established as attractive landscaped		
	boulevards incorporating significant tree		
	planting, public transport infrastructure,		
	wide pedestrian paths and limited lot		
	access for vehicles.		
PO35	Development to the north of the Dalton	AO35	No acceptable outcome provided.
	Drive east-west extension is integrated		
	with the adjoining development in the		
	Priority Development Area, having		
	regard to block size, access		
	arrangements, intended uses, built form		
	and stormwater flow requirements.		
PO36	Development provides for appropriate	AO36	No acceptable outcome provided.
	buffering to the Sunshine Motorway and		
	the Dedicated Transit Corridor		
		1	
	(CAMCOS), such that development		
	achieves a high level of amenity and the safety and efficiency of these major		

Part 7

Perform	ance Outcomes	Acceptable	Outcomes
	transport infrastructure elements is maintained.		
PO37	Development provides a built form that is sympathetic to adjoining development, with a transitioning of building height, bulk and scale on the edges of the precinct.	AO37	No acceptable outcome provided.
PO38	 Development fronting Dalton Drive or Maroochy Boulevard provides for the following:- (a) showroom development that maintains a strong built form along Dalton Drive and Maroochy Boulevard and incorporates land uses that activate these frontages; (b) car parking that is located behind buildings and does not dominate the street frontage; (c) consolidated access points to Dalton Drive and Maroochy Boulevard. 	AO38	No acceptable outcome provided.
PO39	Development fronting Maroochy Boulevard provides for buildings to be of a consistent height that frames Maroochy Boulevard as the gateway entry to the Maroochydore Principal Regional Activity Centre.	AO39	Development fronting Maroochy Boulevard has a minimum height of 8 metres.

Table 7.2.19.4.3Maroochydore/Kuluin local plan supplementary table of consistent uses
and potentially consistent uses in the Principal centre zone

Note—this table overrides the consistent and potentially consistent uses specified in the zone codes in Part 6 (Zones) for the precincts specified.

Column 1		Column 2		
Cor	isistent Uses	Potentially Consistent Uses		
Prir	ncipal centre zone (Precinct MAR LPP-2 – Ae	erodrome Road and Precinct MAR LPP-3 – Maroochy		
Βοι	Ilevard/Dalton Drive			
Res	idential activities			
(a)	Caretaker's accommodation	None		
(b)	Community residence			
(c)	Dual occupancy (where forming part of a mixed use			
	development)			
(d)	Dwelling unit			
(e)	Multiple dwelling			
(f)	Residential care facility			
(g)	Resort complex			
(h)	Retirement facility			
(i)	Rooming accommodation			
(j)	Short-term accommodation			
Bus	iness activities			
(a)	Adult store	(a) Garden centre (where exceeding a gross leasable floor		
(b)	Agricultural supplies store	area of 450m²)		
(c)	Bar	(b) Hardware and trade supplies (where exceeding a gross		
(d)	Car wash	leasable floor area of 450m ²)		
(e)	Food and drink outlet	(c) Showroom (where each individual tenancy exceeds a		
(f)	Function facility	gross leasable floor area of 3,000m ²)		
(g)	Funeral parlour	(d) Tourist attraction		
(h)	Garden centre (where not exceeding a gross			
	<i>leasable floor area</i> of 450m²)			
(i)	Hardware and trade supplies (where not exceeding			
	a gross leasable floor area of 450m²)			
(j)	Health care services			
(k)	Home based business (where other than a high			
	impact home based business activity)			
(I)	Hotel			
(m)	Market			
(n)	Office			
(0)	Sales office			

	umn 1	Column 2 Retentially Consistent Lloss
	nsistent Uses	Potentially Consistent Uses
(p)	Service station	
(q)	Shop (if not involving a <i>department store</i>)	
(r)	Shopping centre (if not involving a department	
(-)	store)	
(s)	Showroom (where each individual tenancy does not	
(1)	exceed a gross leasable floor area of 3,000m ²)	
(t)	Theatre	
(u)	Veterinary services	
	ustrial activities	
Ser	vice industry	(a) Low impact industry
		(b) Research and technology industry
Con	nmunity activities	
(a)	Child care centre	None
(b)	Community care centre	
(c)	Community use	
(d)	Educational establishment	
(e)	Emergency services	
(f)	Hospital	
(g)	Place of worship	
Spo	ort and recreation activities	
(a)	Club	None
(b)	Indoor sport and recreation	
(c)	Park	
Oth	er activities	
(a)	Major electricity infrastructure (where for	None
	underground high voltage sub-transmission	
	powerlines and associated transition structures)	
(b)	Parking station	
(c)	Telecommunications facility (where other than a	
	freestanding tower)	
(d)	Utility installation (where a local utility)	

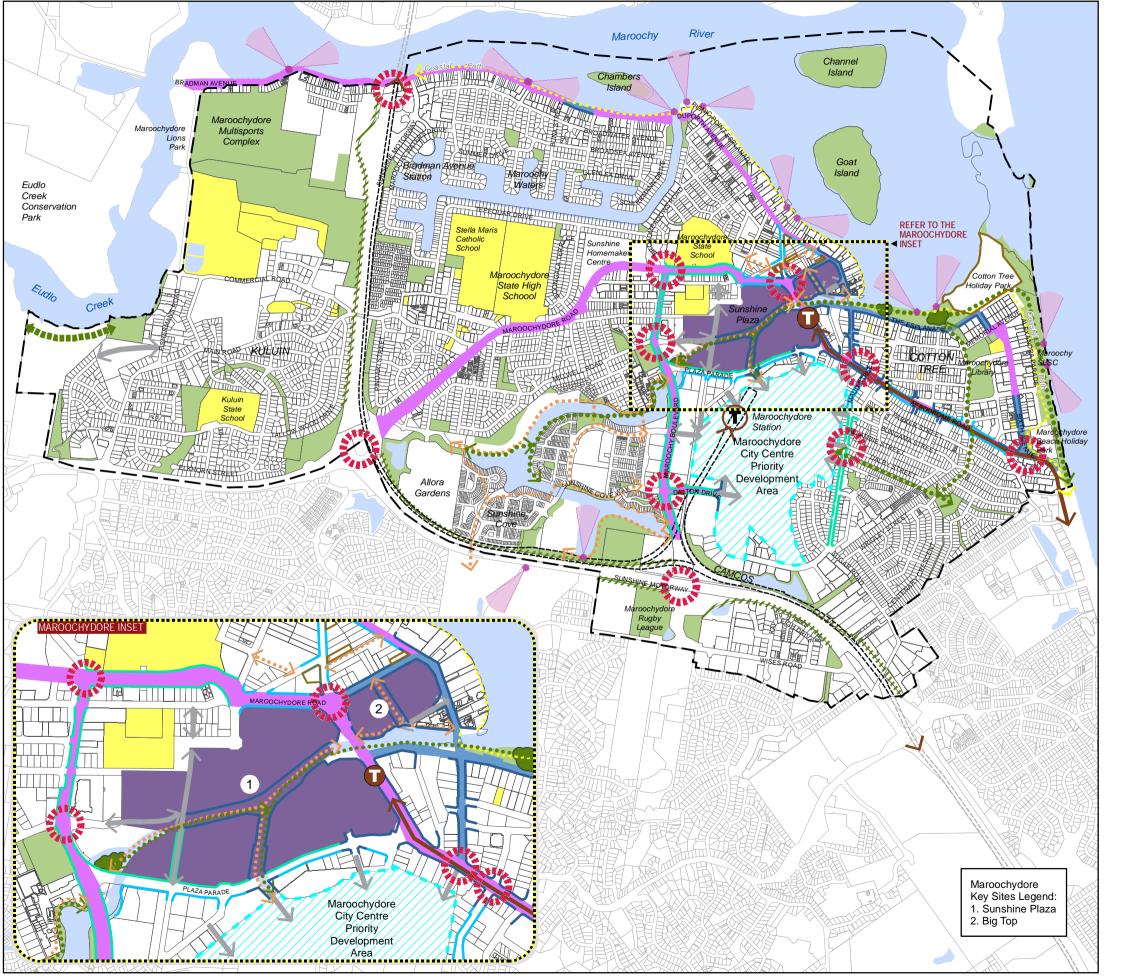
Table 7.2.19.4.4 Maroochydore/Kuluin local plan supplementary table of consistent uses and potentially consistent uses in the Open space zone

Note—this table overrides the consistent and potentially consistent uses specified in the zone codes in Part 6 (Zones) for Lot 6 SP239529.

_	umn 1 sistent Uses	Column 2
	idential activities	Potentially Consistent Uses
	etaker's accommodation	None
	siness activities	
(a)	Food and drink outlet (where located on Council owned or controlled land, conducted in association with an open space or sport and recreation use on the same site and having a <i>gross leasable floor</i> <i>area</i> not exceeding 100m ²) <i>Market</i>	<i>Food and drink outlet</i> (where other than as specified in column 1)
(b)	market	
(a)	Community use (where located on Council owned or controlled land and undertaken by or on behalf of the Council)	None
(b)	Emergency services	
	ort and recreation activities	
(a) (b)	Outdoor sport and recreation (where located on <i>Council</i> owned or controlled land, undertaken by or on behalf of the <i>Council</i> or a <i>not-for-profit</i> organisation and the gross floor area of any building associated with the use does not exceed 150m ²) Park	<i>Outdoor sport and recreation</i> (where other than as specified in column 1)
	er activities	
(a)	Environment facility (where located on Council owned or controlled land, undertaken by or on behalf of the Council)	None
(b) (c)	Major electricity infrastructure (where for underground high voltage sub-transmission powerlines and associated transition structures) Utility installation (where a local utility)	



Sunshine Coast Planning Scheme 2014 Maroochydore/Kuluin Local Plan Area



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LEGEND			
	Local Plan Area Boundary		
	Waterway ^{Note 1}		
	Primary Active Street Frontage		
	Secondary Active Street Frontage		
	Landscape Setback		
	Primary Streetscape Treatment Area		
	Boulevard Treatment Area		
41	Local Ecological Linkage Greenspace ^{Note 1}		
	Community Activity/Facility ^{Note 1}		
{···· >	Greenspace Link		
	Character Vegetation		
/////	Landscape Buffer		
Street.	Gateway/Entry Point		
•	Significant View		
	Heritage Place ^{Note 2}		
∢···· >	Key Pedestrian/Cycle Linkage		
↔··· >	Coastal Path ^{Note 4}		
======	Dedicated Public Transport Corridor (CAMCOS)		
\leftrightarrow	CoastConnect Priority Public Transport Corridor		
	Transit Hub		
Ū	Future Transit Hub		
\rightarrow	Indicative Road Linkage/Access Point		
	Key Site (Refer to Key Sites Legend)		
	Priority Development Area (subject to the <i>Economic Development Act 2012</i>)		
Note 2	1: For contextual purposes only. 2: Refer to Heritage and Character Overlay maps in Schedule 2 (Mapping). 4: Indicative alignment, subject to further investigation in some areas. 0 100 200 400 600 800 0 100 200 400 600 800		
1:21,116 Disclaimer While every care is taken to ensure the accuracy of this product, neither the Sunshine Coast Regional Council nor the State of Queensland makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the product being inaccurate or incomplete in any way or for any reason.			

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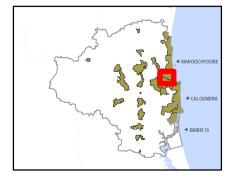
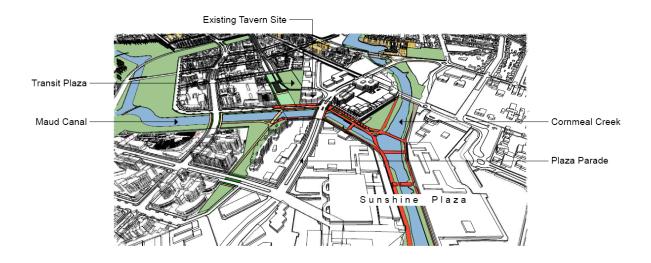
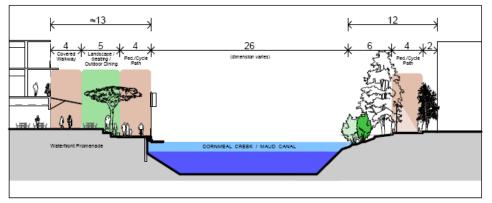


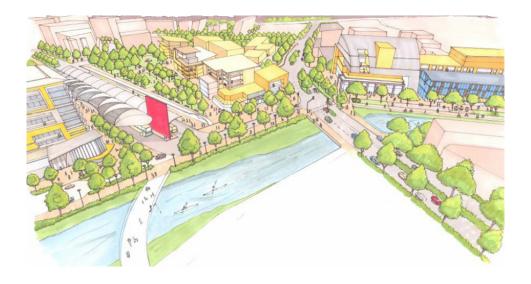
Figure 7.2.19A (Maroochydore/Kuluin Local Plan Elements)

Figure 7.2.19B Maroochydore Public Pedestrian Promenade Design





Public Pedestrian Promenade Indicative Section



7.2.20 Mooloolaba/Alexandra Headland local plan code

7.2.20.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Mooloolaba/Alexandra Headland local plan area as shown on Map ZM34 contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Mooloolaba/Alexandra Headland local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.20.3 (Purpose and overall outcomes);
 - (b) Table 7.2.20.4.1 (Performance outcomes and acceptable outcomes for assessable development); and
 - (c) Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements).

7.2.20.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act* 1992 and is intended to assist in the interpretation of the Mooloolaba/Alexandra Headland local plan code.

The Mooloolaba/Alexandra Headland local plan area is located centrally in the eastern part of the Sunshine Coast to the south of Maroochydore and includes the coastal area from Alexandra Headland to Mooloolaba extending west to the Sunshine Motorway. The local plan area takes in a diverse range of land uses including tourist accommodation and associated services and events, business centres, marine industries, a variety of residential areas, as well as a range of community and sport and recreation uses. The local plan area has a land area of approximately 536 hectares.

The Mooloolaba/Alexandra Headland local plan area is a renowned and popular tourist destination and is characterised by its frontage to a spectacular natural coastline, which includes Alexandra Headland, Mooloolaba Beach, Mooloolaba Spit and the Mooloolah River. Extensive foreshore parklands include surf lifesaving clubs, playgrounds, barbeque facilities, tourist parks and the Coastal Path. Impressive water views are available from foreshore areas and particularly from Alexandra Headland.

Business and commercial uses are concentrated in the Mooloolaba District Centre focussed on Brisbane Road and Walan Street. This area provides a range of retail, business and entertainment venues at the main entry road into Mooloolaba. A range of local businesses extend along the southern part of Brisbane Road, providing local convenience shopping and business activities for the surrounding residential community.

The beachfront areas are characterised by medium rise residential development catering for visitor and permanent accommodation. These uses are supported by small scale boutique shopping, cafes, restaurants and tourist and entertainment facilities located at key nodes along Alexandra Parade and Mooloolaba Esplanade and at Underwater World/Mooloolaba Wharf. Other low to medium rise multiple dwellings are located around the activity centres. Traditional low rise residential areas are located on the slopes to the west of Alexandra Headland and around Mooloolaba Waters.

The Mooloolaba marina, boat ramp and Yacht Club are popular recreational boating facilities within the local plan area. The Mooloolaba State Boat Harbour caters for commercial fishing operations and associated marine industries, including seafood retail and wholesale operations. Community services such as Air Sea Rescue and the Coast Guard also operate in the Mooloolaba State Boat Harbour.

Pedestrian and cycle pathways are located along the foreshore and along major roads. The CoastConnect Priority Public Transport Corridor is intended to travel along Brisbane Road, Walan Street, Mooloolaba Esplanade and Alexandra Parade providing opportunities for transit oriented redevelopment. Alexandra Parade, Brisbane Road and Buderim Avenue provide the major road links into the local plan area.

Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.20.3 Purpose and overall outcomes

- (1) The purpose of the Mooloolaba/Alexandra Headland local plan code is to provide locally relevant planning provisions for the assessment of development within the Mooloolaba/Alexandra Headland local plan code.
- (2) The purpose of the Mooloolaba/Alexandra Headland local plan code will be achieved through the following overall outcomes:-
 - (a) Mooloolaba/Alexandra Headland local plan area is a diverse coastal urban area with a strong focus on tourism. The local plan area comprises a number of urban and suburban residential areas and high density visitor accommodation areas supported by a district activity centre at Mooloolaba, community and sport and recreation facilities, a harbour and associated waterfront and marine uses.
 - (b) Urban development in the Mooloolaba/Alexandra Headland local plan area is limited to land within the urban growth management boundary so as to protect the environmental and landscape value of foreshore areas and the Mooloolah River.
 - (c) Development in the local plan area is sited and designed to protect significant environmental areas and retain the key landscape elements that contribute to the setting, character and identity of Mooloolaba and Alexandra Headland, including beaches and dunal systems, foreshore parkland, Alex Forest Conservation Area, Mooloolaba environmental reserve, Nelson Park, Charles Clarke Park, character *vegetation* along the foreshore and views either to or from important landscape features.
 - (d) Development recognises and reinforces the beachside location of the local plan area by providing for high quality, contemporary sub-tropical building and landscape design that emphasises the casual, outdoor lifestyle. Development is of a scale and form which protects and enhances the existing character and identity of established parts of the local plan area.
 - (e) Development on land with *frontage* to Alexandra Parade, Brisbane Road, Mooloolaba Esplanade and River Esplanade achieves a high standard of urban design and contributes to *streetscape*, landscape, public art and public space improvements which enhance gateway locations, create attractive boulevards along these roads and promote the beachside character of the local plan area.
 - (f) Development in the District centre zone contributes to the Mooloolaba Town Centre's role as a district activity centre providing a range of business, community and residential uses to service the needs of residents and visitors. Mixed uses and uses which enhance the tourism focus and district level role and function of the Mooloolaba Town Centre are encouraged.
 - (g) Development in the District centre zone contributes to the economic vitality of Mooloolaba Town Centre through the provision of improved streetscape and landscape treatments, active street *frontages* and improved public spaces.
 - (h) Development in the District centre zone on Key Site 1 (Brisbane Road Carpark) provides for an integrated, high quality *mixed use development* incorporating a range of centre activities and residential accommodation. Development provides for significant streetscape and landscape improvements to all *frontages*, strong pedestrian connections to the adjoining tourist accommodation area and a well-designed and integrated public carpark.
 - (i) Development in the Tourist accommodation zone reinforces these areas, and in particular the *frontage* to Mooloolaba Esplanade, as the primary tourism focus areas with vibrant and pedestrian friendly active street *frontages* providing a range of small-scale boutique retail and outdoor dining experiences with residential accommodation above, and strong visual and pedestrian linkages with the foreshore areas and surrounding residential, business and community activities.
 - (j) Development in Precinct MAH LPP-1 (Mooloolaba Hospitality Area) provides a range of entertainment activities including *food and drink outlets*, *function facilities*, *bars* and *hotels* that may operate after hours and include live music which creates a vibrant atmosphere.
 - (k) Development in the Tourism area zone on Key Site 2 (Underwater World/Mooloolaba Wharf) provides for an integrated, high quality *mixed use development* which complements the existing range of tourism facilities on the site and contributes to the vitality and attractiveness

Jart 7

of Mooloolaba, and in particular Underwaterworld/Mooloolaba Wharf, as a visitor and entertainment destination, whilst maintaining the operation of the marina and protecting the amenity of surrounding residences. Development provides for Hancock Street to be enhanced with streetscaping, landscaping and public art to create an improved entrance from River Esplanade into the *site*, and includes an accessible, safe and integrated public parking facility.

- (I) Redevelopment of Key Site 2 (Underwater World/Mooloolaba Wharf) provides for a pedestrian friendly, activated village square or plaza which links to the Mooloolaba Town Park and provides improved pedestrian and visual connections through to the Mooloolah River.
- (m) Development in the Tourist accommodation zone on Key Site 3 (Club Eatery) provides for an integrated, high quality *mixed use development* which incorporates facilities capable of attracting and accommodating a five-star international standard accommodation hotel and reinforces the role of Mooloolaba as a premier tourist destination and visitor accommodation area. Development provides for exemplar architecture, streetscape and landscape design, through a sub-tropical design response that recognises the beachfront and landmark nature of the *site*.
- (n) Development in the Local centre zone along Brisbane Road functions as a local (not full service) activity centre servicing the local convenience needs of nearby residents and visitors. Development in this area supports the role of the Mooloolaba Town Centre (District centre zone) as the district activity centre for the local area and contributes to the establishment of a vibrant centre and entry boulevard to Mooloolaba.
- (o) Development in the Low density residential zone maintains the traditional beachside residential character of these parts of local plan area.
- (p) Development in the Medium density residential zone in Alexandra Headland respects the existing topography and contributes to a high level of residential amenity and design quality consistent with the scale and character of the *streetscape* and surrounding development.
- (q) Development in the Waterfront and marine industry zone provides for the continued operation of Mooloolaba State Boat Harbour and associated industries and small-scale complementary business uses, to support the ongoing viability of the commercial fishing operations at Mooloolaba.
- (r) The existing tourist park sites located on Mooloolaba Esplanade and Parkyn Parade are maintained or redeveloped as tourist parks to provide short term, affordable visitor accommodation to complement Mooloolaba's role as a tourism focus area.
- (s) The State government uses at Mooloolaba Spit are rationalised and provide for low key government functions which are dependent on water access, with a limited number of small scale business uses which contribute to the activation of the area and the attractiveness and safety of Mooloolaba Spit as well as improved access to adjoining parkland.
- (t) Development in the Sport and recreation zone at the Yacht Club and boat ramp contributes to tourism opportunities in Mooloolaba by providing for enhanced recreational boating opportunities and associated business uses and improving public access between Parkyn Parade and the Mooloolah River.
- (u) Development provides strong pedestrian and visual links to the coastal foreshore and Mooloolah River including through block pedestrian connections, and facilitates safe and convenient pedestrian and cycle connections to and between other key destinations within the local plan area. The coastal foreshore area provides an important continuous pedestrian, cycle and open space link from the mouth of the Mooloolah River north along the full length of the local plan area.
- (v) Development adjacent to the CoastConnect Priority Public Transport Corridor is for transit oriented development which is fully integrated with the corridor, in particular through the protection and provision of land required for major *infrastructure* in the corridor and the provision of works to minimise vehicle *access* points to roads in the corridor.
- (w) Development in the High density residential zone in the vicinity of Muraban Street and Naroo Court, Mooloolaba, provides for a future road link between Muraban Street and Naroo Court to improve local connectivity.

7.2.20.4 Performance outcomes and acceptable outcomes

 structures and landscaping that are consistent with and reflect and enhance the coastal urban character of Mooloolaba and Alexandra Headland in terms of form, composition and use of materials. a mix of lightweight and texture and detailing; (a) a mix of lightweight and texture and detailing; (b) articulated, pitched, skillion of curve droof forms; (c) open or transparent balustrade and coherent streetscapes and gateways to enhance the sense of entry to, and the beachside character of, Mooloolaba and Alexandra Headland, including bulevard treatments along Alexandra Parade, Brisbane Road, Mooloolaba Esplanade and River Esplanade. A02.2 A02.2 A02.3 A02.4 A02.4 A02.4 A02.5 A02.5 A02.6 A02.6 A02.1 Bevelopment adjacent to a primal streetscape treatment area, boulding design. A02.1 Bevelopment algacent to a primal streetscape treatment area or gatewaylentry point identified on Figure 7.2.20 (Mooloolaba/Alexandra Headland headnara Parade, Brisbane Road, Mooloolaba Esplanade and River Esplanade. A02.1 A02.2 A02.2 A02.3 A02.4 A02.4 A02.4 A02.4 A02.5 A02.4 A02.6 A02.7 A02.7 A02.8 A02.9 A02.9 A02.1 Correctes and low-reflective roofing an child scape improvements; (a) provides landscaping, public a and privations or projected and recessed elemen and the beachside character or Mooloolaba A02.1 A02.2 Corporates design elements suct as a varied roof forms, changes in the complements of streetscape worth the addiand, and emphasise complecient arequirements of streetscape worth in the local area to ensure		development				
PO1 Development provides for buildings, structures and landscaping that are consistent with and reflect and enhance the coastal urban character of Mocioolaba and Alexandra Headland in terms of form, composition and use of materials. AO1.1 Development for a residential, business or community activity provides for lightweight and texture at composition and use of materials. (a) a mix of lightweight and texture at composition and use of materials. (a) a mix of lightweight and texture at detailing; (b) at fuculated, pitched, skillion of curved roof forms; (c) open or transparent balustrade and coherent streetscapes and gateways to enhance the sense of entry to, and the bachside character of Mocioolaba and Alexandra Headland, including boulevard treatments along Alexandra Parade, Brisbane Road, Mooloolaba Esplanade and River Esplanade. AO2.1 Development uses of atrive two and and public space individual provides for streetscape treatments which enhance the sense of entry to, and the beachside character of Mocioolaba and Alexandra Headlan durbe character of Mocioolaba and Alexandra Parade, Brisbane Road, Mooloolaba Esplanade and River Esplanade. AO2.2 AO2.2 AO2.2 AO2.2 AO2.4 AO2.2 AO2.5 AO2.4 AO2.6 AO2.7						
 PO2 Development contributes to the establishment of attractive and coherent streetscapes and gateways to enhance the sense of entry to, and the beachside character of, Mooloolaba and Alexandra Headland, including boulevard treatments along Alexandra Parade, Brisbane Road, Mooloolaba Esplanade and River Esplanade. AO2.1 AO2.1 Constructing boulevard treatment area, boulevard treatments along Alexandra Parade, Brisbane Road, Mooloolaba Esplanade and River Esplanade. AO2.2 AO2.3 AO2.4 AO2.4 Construction of the sense of entry to, and the beachside character of Mooloolaba and Alexandra Headland, and emphasise come locations; and (c) incorporates design elements succas avaried roof forms, changes i materials, and variations oprojected and recessed elemen and facades. AO2.2 AO2.2 AO2.2 AO2.2 AO2.3 		Development provides for buildings, structures and landscaping that are consistent with and reflect and enhance the coastal urban character of Mooloolaba and Alexandra Headland in terms of form,		 Development for a residential, business or community activity provides for building design which incorporates the following features:- (a) a mix of lightweight and textured external building materials, including timber finishes or masonry construction with variation provided in texture and detailing; (b) articulated, pitched, skillion or curved roof forms; (c) open or transparent balustrades; and (d) landscaping integrated into the 		
 AO2.2 AC2.2 streetscape treatment area, bouleval treatment area, or gateway/entry point dentified on Figure 7.2.20 (Mooloolaba and Alexandra Headland, including boulevard treatments along Alexandra Parade, Brisbane Road, Mooloolaba Esplanade and River Esplanade. (a) provides landscaping, public a and public space improvements; (b) incorporates a high standard or urban design and architectural an landscape treatments which enhance the sense of arrival to and the beachside character or Mooloolaba and Alexandra Headland, and emphasise correlications; and (c) incorporates design elements such as varied roof forms, changes i materials, and variations or projected and recessed element and facades. AO2.2 			AO1.2	Development uses understated colour schemes and low-reflective roofing and cladding materials.		
improvements which complement existing or proposed streetscape work in the local area to ensure continuity of streetscapes and landscape design. Note—Section 9.4.2 (Landscape code sets out requirements for streetscap landscapes including entry stateme landscapes. Note—a landscape master plan may provid further guidance regarding particular	PO2	establishment of attractive and coherent <i>streetscapes</i> and gateways to enhance the sense of entry to, and the beachside character of, Mooloolaba and Alexandra Headland, including boulevard treatments along Alexandra Parade, Brisbane Road, Mooloolaba	AO2.1	 Development adjacent to a primary streetscape treatment area, boulevard treatment area or gateway/entry point identified on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements):- (a) provides landscaping, public art and public space improvements; (b) incorporates a high standard of urban design and architectural and landscape treatments which enhance the sense of arrival to, and the beachside character of, Mooloolaba and Alexandra Headland, and emphasise corner locations; and (c) incorporates design elements such as varied roof forms, changes in materials, and variations of projected and recessed elements 		
			AO2.2	existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design. Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including entry statement landscapes. Note—a landscape master plan may provide further guidance regarding particular		

Table 7.2.20.4.1 Performance outcomes and acceptable outcomes for assessable development

Int 7

Performance	e Outcomes	Acceptable (Outcomes
PO3	Development provides for the retention and enhancement of significant views and vistas contributing to the setting, character and sense of place of Mooloolaba and Alexandra Headland.	AO3	Development on sites fronting Mooloolaba Esplanade, Alexandra Parade and Parkyn Parade are designed to minimise the impact on significant views to and from important landmark sites and landscape features including Alexandra Headland Beach, Alexandra Headland, Mooloolaba Beach, Mooloolaba Spit, Point Cartwright, the Pacific Ocean and elevated parts of the local plan area including where identified on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements).
PO4	Development protects and enhances the major open space links and scenic qualities offered by the foreshore park and reserve system, Alex Forest Conservation Area, Mooloolaba environmental reserve,	AO4.1	Development protects and enhances the greenspace links identified on Figure 7.2.20A (Mooloolaba/ Alexandra Headland local plan elements).
	Nelson Park, Charles Clarke Park and the character <i>vegetation</i> along the foreshore area.	AO4.2	Development provides for the retention and enhancement of character <i>vegetation</i> along the foreshore and Mooloolah River. Note—in some circumstances, the eradication of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Accentable Outcome
PO5	Development is fully integrated with the CoastConnect Priority Public Transport Corridor, including through the protection and provision of the land required for the major <i>infrastructure</i> corridor that is located on the premises and the provision of works to minimise vehicular <i>access</i> points to roads in the corridor.	AO5.1	 may also satisfy the Acceptable Outcome. Development on sites identified on Figure 7.2.20B (Brisbane Road upgrade) as subject to road widening provides for:- (a) development to be sufficiently set back to accommodate the protection of the major <i>infrastructure</i> corridor located on the premises that is required for road widening to service the Sunshine Coast; and (b) land to be provided as required to accommodate the protection of the major <i>infrastructure</i> corridor located on the premises that is required to accommodate the protection of the major <i>infrastructure</i> corridor located on the premises that is required for road widening to service the Sunshine Coast.
		AO5.2	Development provides for integrated vehicular <i>access</i> which minimises the number of <i>access</i> points to Brisbane Road, Mooloolaba Esplanade, Alexandra Parade, Hancock Street, Walan Street and Venning Street in the CoastConnect Priority Public Transport Corridor.
PO6	Development improves pedestrian accessibility by providing through block linkages as shown on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements).	A06	No acceptable outcome provided.
Developmen	nt in the District Centre Zone Generall	y in the second s	
P07	Development in the District centre zone:- (a) contributes to the creation of a	A07	Development in the District centre zone:- (a) provides <i>primary active street</i> <i>frontages</i> , built to boundary, where

Performanc	e Outcomes	Acceptable (Dutcomes
Performance	 e Outcomes coastal built form and <i>streetscape</i>; (b) provides for any new or extended large floor plate retail uses to be sleeved and located behind smaller scale, fine grain built form elements; (c) creates vibrant and active streets and public spaces; (d) provides a continuous pedestrian friendly facade including all weather protection for pedestrians; and; (e) provides integrated and functional parking and access arrangements that do not dominate the street. 	Acceptable	Dutcomes identified on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements); (b) provides for any residential uses to be effectively integrated with business uses; (c) has building openings overlooking the street; (d) provides all weather protection in the form of continuous awnings and/or light verandah structures over footpath areas with mature or semi-mature shade trees planted along the <i>site frontage</i> adjacent to the kerbside; (e) ensures that signage is integrated with buildings; (f) includes provision of landscaping,
P08	Development in the District centre zone provides functional and integrated car parking and vehicular	A08	 shaded seating and consistent and simple paving materials on footpaths; (g) provides for loading docks and service areas to be located and screened so as to be visually unobtrusive; and (h) provides for car parking below ground level in a basement structure(s) or which is sleeved behind buildings. Development between Brisbane Road and Smith Street amalgamates sites to create access from Smith Street and
Developmer	access, which rationalises the number of access points to Brisbane Road. Int in the District Centre Zone (Key Site	a 1 – Brisbane	rationalise <i>access</i> from Brisbane Road.
	 zone on Key Site 1 (Brisbane Road Carpark) identified on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements):- (a) provides for the site to be redeveloped as a high quality, integrated, mixed use development incorporating a range of centre activities and residential accommodation; (b) provides for outstanding building, streetscape and landscape design which is highly articulated and epitomises sub-tropical and sustainable design and that recognises the landmark nature of the site; (c) provides an attractive and pedestrian friendly central community meeting space such as a village square or plaza; and 		
PO10	 (d) effectively integrates with visitor mixed use areas along Mooloolaba Esplanade and surrounding centre activities. Development in the District centre zone on Key Site 1 (Brisbane Road 	AO10	No acceptable outcome provided.

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Dorformono		Accontable (
Performanc	Carpark) identified on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements) provides for well designed, accessible and integrated public car parking to meet the public parking needs. Development in the District centre	Acceptable (No acceptable outcome provided.
	 zone on Key Site 1 (Brisbane Road Carpark) identified on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements), where integrating a multi-storey public car parking facility, may:- (a) increase site cover to a maximum of 90% for that part of the building up to 4 storeys and a maximum of 65% for that part of the building exceeding 4 storeys; and (b) build to the primary active street frontages for that part of the building up to 4 storeys. 		
Developme	nt in the Tourist Accommodation Zon	e Generally	
P012 P013	Development in the Tourist accommodation zone provides a focus for high-density visitor accommodation and a range of ancillary retail and entertainment/catering uses that contribute to the tourism focus of the Mooloolaba/Alexandra Headland local plan area and support the role of the Mooloolaba Town Centre. Development in the Tourist accommodation zone:- (a) contributes to the vitality of Mooloolaba Esplanade, Alexandra Parade and other key streets; (b) provides a continuous pedestrian friendly facade; (c) contributes to the creation of a contemporary coastal built form and streetscape; and (d) provides functional and integrated parking and access arrangements that do not dominate the street.	A012 A013.1	No acceptable outcome provided. Development in the Tourist accommodation zone ensures that the ground storey level of premises on a site having a primary active street frontage where identified on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements):- (a) is built to the front boundary; (b) provides a fine scale built form; (c) has building openings overlooking the street; (d) incorporates shopfronts, indoor/outdoor cafes and restaurants and other activities that are likely to foster casual, social and business interaction for extended periods; (e) provides all weather protection in the form of continuous awnings and/or light verandah structures with non-load bearing posts over footpath areas with mature or semi-mature shade trees planted along the <i>site frontage</i> adjacent to the kerbside; (f) ensures that signage is integrated with the building; and (g) includes provision of landscaping, shaded seating and consistent and simple paving materials on footpaths.

	- O	Assessed	2.4.
Performanc	e Outcomes	Acceptable (
		AO13.2	Development in the Tourist
			accommodation zone:-
			(a) provides for loading docks and
			service areas to be located and
			screened so as to be visually
			unobtrusive;
			(b) provides for car parking below
			ground level in a basement
			structure(s) or which is sleeved
			behind buildings; and
			(c) provides for vehicular <i>access</i> to be
			rationalised and minimises access
			across active street frontages.
Dovelopmen	nt in the Tourist Accommodation Zon	o (Kov Sito 2	
PO14			
P014	Development in the Tourist	AU14	No acceptable outcome provided.
	accommodation zone on Key Site 3		
	(Club Eatery) identified on Figure		
	7.2.20A (Mooloolaba/Alexandra		
	Headland local plan elements):-		
	(a) provides for the <i>site</i> to be		
	redeveloped as a high quality,		
	integrated, <i>mixed</i> use		
	development; and		
	(b) provides for exemplar		
	architecture, <i>streetscape</i> and		
	landscape design which is		
	highly articulated and		
	epitomises sub-tropical and		
	sustainable design and that		
	recognises the beachfront and		
	landmark nature of the <i>site</i> .		
	Note-for the purposes of this		
	performance outcome, exemplar		
	architecture will be demonstrated through		
	a sub-tropical design response to create		
	a landmark building, which results in a development with a form and function		
	that epitomises the Sunshine Coast		
	lifestyle and effectively links the		
	development to public spaces through an		
	integrated landscape and built-form		
	response.		
	Editor's note—a peer review will be		
	required to demonstrate best practice		
	sub-tropical design principles have been		
	appropriately considered and		
	incorporated in the proposed design.		
PO15	Development in the Tourist	AO15	No acceptable outcome provided.
	accommodation zone on Key Site 3		
	(Club Eatery) on Figure 7.2.20A		
	(Mooloolaba/Alexandra Headland		
	local plan elements) where		
	incorporating a five-star international		
	standard accommodation hotel		
	component may provide for:-		
	(a) a maximum <i>building height</i> to		
	RL 50m AHD, as identified in		
	Specific Site Note 1 on the		
	applicable Height of Buildings		
	and Structures Overlay Map;		
	and		
	(b) a maximum <i>site cover</i> of 90%		
	for that part of the building up to		
	2 storeys and a maximum site		
	<i>cover</i> of 65% for that part of the		
		1	
	building exceeding 2 storeys,		

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Performanc	e Outcomes	Acceptable (Dutcomes
	provided the development		
	includes a minimum building		
	setback of 6.0m to River		
	Esplanade (that includes a 10m		
	by 10m corner truncation		
	setback for the south east		
	corner of the site) for the part of		
	the building exceeding 2		
	storeys.		
	Note—for the purposes of this		
	performance outcome, the following		
	physical components are required to be		
	incorporated to demonstrate that the		
	proposal will provide for and operate as a		
	five-star international standard accommodation hotel component of the		
	development:		
	exemplar architecture and		
	landscape design (refer PO14);		
	 over-sized guest rooms; 		
	 expansive lobby; 		
	 multiple restaurants; 		
	conference facilities;		
	 wide passageways; 		
	 high ceiling heights; dedicated service lift; 		
	 dedicated service lift; housekeeping and linen store on 		
	every floor;		
	 covered porte cochere capable of 		
	bus set down; and		
	publicly accessible rooftop		
	amenities and facilities (e.g.		
	restaurant, day spa and pool).		
	Note—the five-star international standard		
	accommodation hotel component is to		
	comprise a minimum of 50% of the		
	apartments/suites in the overall		
	development.		
	Note—for the purpose of determining <i>site cover</i> for this performance outcome, <i>site</i>		
	<i>cover</i> shall be determined based upon		
	the floor plane of each level and not the		
	aggregate of all levels, when viewed in		
	plan view.		
	nt in Precinct MAH LPP-1 (Mooloolaba		
PO16	Development in Precinct MAH LPP-1	AO16	No acceptable outcome provided.
	(Mooloolaba Hospitality Area)		
	identified on Local Plan Map		
	LPM34 provides for a range of		
	entertainment/catering business		
	uses and other business uses		
	including food and drink outlets,		
	function facilities, bars and hotels		
	that may operate after hours and		
	include live music which creates a		
	vibrant atmosphere.		
Developmen	rld/Mooloolaba W/barfl		
PO17	nt in the Tourism Zone (Key Site 2 – U Development in the Tourism zone on	AO17	No acceptable outcome provided.
	Key Site 2 (Underwater		
	World/Mooloolaba Wharf) identified		
	on Figure 7.2.20A		
	(Mooloolaba/Alexandra Headland		
	local plan elements):-		
	(a) provides for the site to be		
	redeveloped as a high quality,		
	I reactioned as a might quality,		

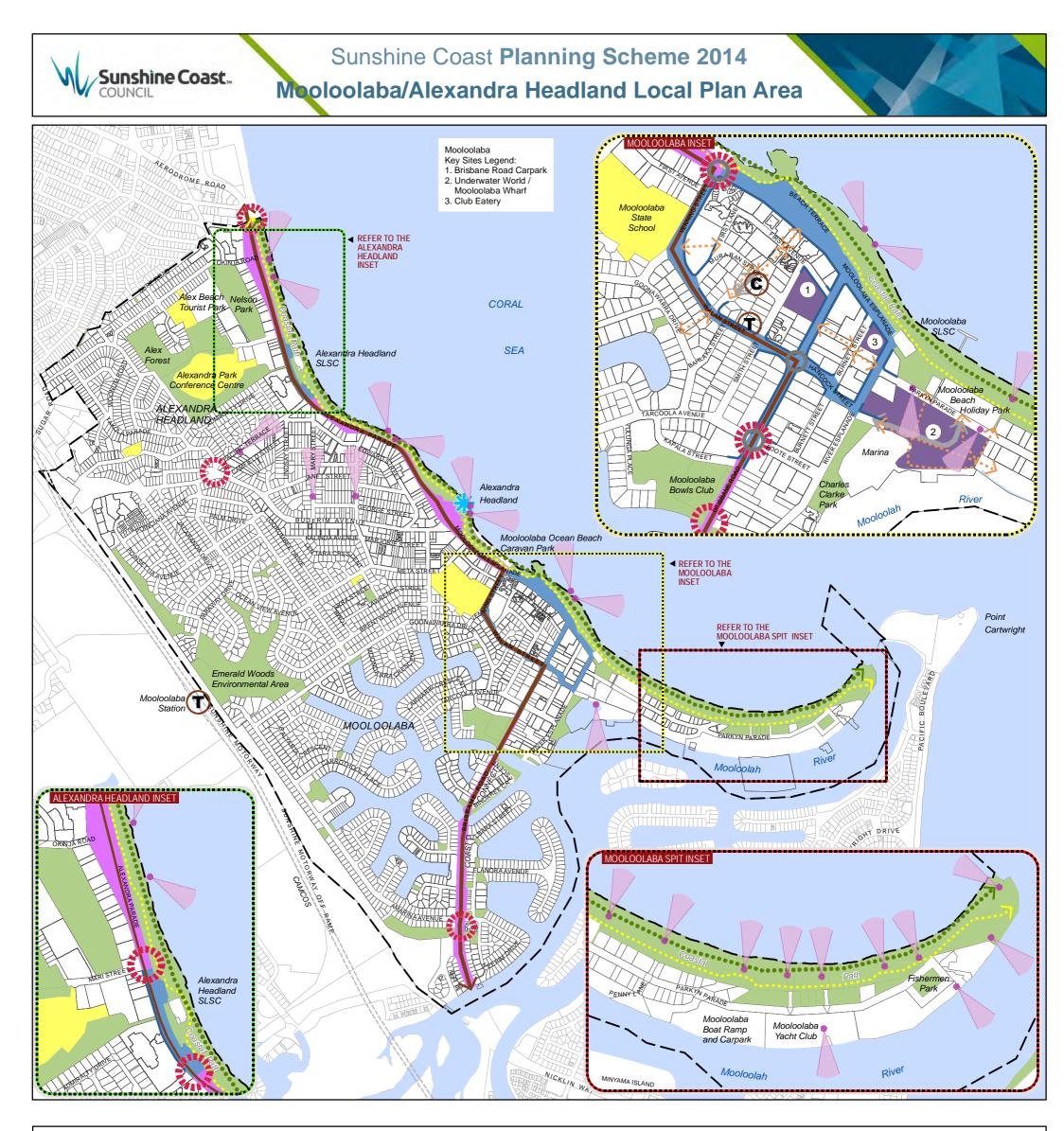
Performance	e Out	comes	Acceptable C	Outcomes
		integrated, mixed use		
		development providing for a	1	1
		range of uses that complement	1	1
		existing tourism uses and	1	1
		providing for the continued operation of the marina;	1 '	1
	(b)	provides for outstanding	1	1
	(~,	building, <i>streetscape</i> and	1	1
		landscape design which is	1 '	1 1
		highly articulated, epitomises	1 '	1
		sub-tropical and sustainable	1	1
		design and recognises the	1	1
	(c)	landmark nature of the site; provides for buildings which are	1	1
	(0)	sited and designed to minimise	1 '	1 1
		building bulk and achieve	1	1
		visual permeability through the	1	1
		site to maintain views to the	1 '	1 1
		Mooloolah River from the	1	1
		Mooloolaba Town Park, River	1 '	1 1
	(d)	Esplanade and Parkyn Parade; complements the amenity of	1	1
	(u)	adjoining uses and provides	1	1
		strong links to open space on	1	1
		Parkyn Parade and River	1 '	1 1
		Esplanade;	1 '	1
	(e)	incorporates active uses such	1 '	1
		as outdoor dining on terraces,	1	1
		in courtyards and on verandahs at ground and first <i>storey</i>	1 '	1
		levels;	1 '	1
	(f)	provides an attractive and	1 '	1
	\ <i>\</i>	pedestrian friendly central	1 '	1
		community meeting space such	1	1
		as a village square or plaza	1 '	1
		which links to and effectively	1 '	1 1
		extends the Mooloolaba Town Park located on the northern	1	1
		side of Parkyn Parade;	1 '	1
	(g)	provides an attractive address	1	1
		to all street <i>frontages</i> and to	1	1
		the Mooloolah River;	1 '	1
	(h)	provides a <i>public open space</i>	1	1
		esplanade, and improved through block pedestrian and	1 '	1
		through block pedestrian and cycle access, including along	1	1
		the full length of the Mooloolah	1 '	1
		River frontage linking existing	1	1
		parklands along the wharf	1 '	1
		frontage to Charles Clarke	1	1
	(1)	Park; and	1	1
	(i)	protects bank stability, water quality and hydrological	1 '	1
		processes within the Mooloolah	1	1
		River.	!	
PO18		elopment in the Tourism zone on	AO18.1	Development provides for vehicular site
	Key		1	access which provides for:-
	Wor	rld/Mooloolaba Wharf) identified Figure 7.2.20A	1	(a) a road connection from Hancock Lane through to Parkyn Parade as
		oloolaba/Alexandra Headland	1 '	indicated conceptually on Figure
		al plan elements):-	1	7.2.20A (Mooloolaba/Alexandra
	(a)	improves vehicular accessibility	1	Headland local plan elements);
		into and through the site with	1 '	(b) improved primary access into the
		primary access provided for	1	site through the upgrade of the
		from a road other than Parkyn	1	Hancock Lane intersection and the
		Parade;	<u>'</u>	creation of a landscaped entry

Performanc	e Outcomes	Acceptable (Outcomes
	 (b) improves pedestrian connectivity through the site and along the Mooloolah River frontage; and (c) provides for well designed, accessible and integrated public car parking. 	AO18.2 AO18.3	boulevard; (c) improved secondary <i>access</i> from Parkyn Parade; and (d) improved facilities for tourist buses. Development provides improved pedestrian linkages through the site and along the Mooloolah River frontage as indicated conceptually on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements). Development provides a well designed and integrated public carpark to service the development and meet public parking needs.
	nt in the Local Centre Zone (Brisbane		
PO19	 Development in the Local centre zone:- (a) supports the role and function of the local business areas as local (not full service) activity centres providing basic convenience goods and services to local residents and visitors; and (b) does not detract from the role of the Mooloolaba Town Centre (District centre zone) as the district activity centre for the local plan area. Development in the Local centre zone provides:- (a) a coherent and attractive streetfront address and achieves a high level of visual amenity, particularly along Brisbane Road; (b) a high level of comfort and convenience to pedestrians; and (c) functional and integrated car parking and vehicular access that does not dominate the street. 	AO19 AO20	 No acceptable outcome provided. Development in the Local centre zone:- (a) provides primary active street frontages, built to boundary, where identified on Figure 7.2.20A (Mooloolaba/Alexandra Headland local plan elements); (b) respects the layout, scale (including height and setback) and character of development on adjoining sites; (c) reduces the dominance of signage elements, particularly along Brisbane Road; (d) has building openings overlooking the street; (e) provides all weather protection in the form of continuous awnings and/or light verandah structures over footpath areas with mature or semi-mature shade trees planted along the site frontage adjacent to the kerbside; (f) ensures that signage is integrated with the building; (g) includes provision of landscaping, shaded seating and consistent and simple paving materials on footpaths; and (h) provides on-site car parking in basements or at the rear or one side of the development, integrated with other vehicle movement areas.

Performanc	e Out	comes	Acceptable (Outcomes
				treet and Naroo Court, Mooloolaba)
PO21		elopment in the High density		No acceptable outcome provided.
	resid	dential zone in the vicinity of		
	Mur	aban Street and Naroo Court,		
	Mod	loolaba provides for a future		
		d, pedestrian and cycle link		
	betv	veen Muraban Street and Naroo		
	Cou	rt as indicated on Figure		
		20A (Mooloolaba/Alexandra		
		dland local plan elements) to		
		rove local connectivity.		
	nt in a	the High Density Residential Zo	one in Precinc	t MAH LPP-3 (Mooloolaba Heart Street
Activation)				
PO22		elopment in Precinct MAH LPP-3	AO22	No acceptable outcome provided.
	•	oloolaba Heart Street Activation)		
		tified on Local Plan Map		
		134 provides for a range of <i>food</i>		
		drink outlets and small scale		
		iling businesses, which:-		
	(a)			
		mixed use building; and		
	(b)			
		frontages, built to boundary, as		
		indicated on Figure 7.2.20A		
		(Mooloolaba/Alexandra		
		Headland local plan		
		elements).		
		he Medium Density Residential 2		
PO23		elopment in the Medium density	AO23	No acceptable outcome provided.
		dential zone at Alexandra		
		dland is sited and designed in a		
		iner which:-		
	(a)	is of a domestic scale that does		
		not dominate the <i>streetscape</i> or		
		skyline;		
	(b)			
		streetscape character; and		
	(c)	respects the topography by		
		providing for building forms		
D /		which step down the slope.	(
		the Waterfront and Marine Indust		No accentable outcome provided
PO24		elopment in the Waterfront and	AO24	No acceptable outcome provided.
	mar			
	(a)	ine industry zone:-		
	(a)	provides for the continued		
	(a)	provides for the continued operation of the Mooloolaba		
	(a)	provides for the continued operation of the Mooloolaba State Boat Harbour and		
	(a)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and		
		provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services;		
	(a) (b)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment		
		provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i>		
		provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited		
		provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i>		
		provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support		
	(b)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses;		
		provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the		
	(b)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey		
	(b) (c)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey boat storage facility;		
	(b)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey boat storage facility; provides for <i>ancillary</i> business		
	(b) (c)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey boat storage facility; provides for <i>ancillary</i> business uses to be located on the		
	(b) (c)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey boat storage facility; provides for <i>ancillary</i> business uses to be located on the <i>frontage</i> to Parkyn Parade that		
	(b) (c)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey boat storage facility; provides for <i>ancillary</i> business uses to be located on the <i>frontage</i> to Parkyn Parade that contribute to the activation of		
	(b) (c)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey boat storage facility; provides for <i>ancillary</i> business uses to be located on the <i>frontage</i> to Parkyn Parade that contribute to the activation of this <i>frontage</i> ;		
	(b) (c)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey boat storage facility; provides for <i>ancillary</i> business uses to be located on the <i>frontage</i> to Parkyn Parade that contribute to the activation of this <i>frontage</i> ; provides required car parking		
	(b) (c) (d)	provides for the continued operation of the Mooloolaba State Boat Harbour and associated industries and community harbour services; provides for the establishment of predominantly <i>marine</i> <i>industry</i> uses and limited complementary <i>ancillary</i> business uses which support such uses; does not provide for the establishment of a multi-storey boat storage facility; provides for <i>ancillary</i> business uses to be located on the <i>frontage</i> to Parkyn Parade that contribute to the activation of this <i>frontage</i> ;		

Part 7

Performanc	e Outcomes	Acceptable (Dutcomes
r chonnane	improvements along Parkyn	Acceptable	
	Parade; and		
	(g) protects bank stability, water		
	quality and hydrological processes within the Mooloolah		
	River.		
Developmer	nt in the Sport and Recreation Zone (1	TheYacht Club	and Boat Ramp)
PO25	Development in the Sport and	AO25	No acceptable outcome provided.
	recreation zone at The Yacht Club		
	and boat ramp:-		
	(a) provides for the continued operation of the Mooloolaba		
	State Boat Harbour including		
	enhanced recreational boating		
	opportunities and associated		
	ancillary uses;		
	(b) improves public access between Parkyn Parade and		
	the Mooloolah River;		
	(c) provides required car-parking		
	on site;		
	(d) contributes to streetscape improvements along Parkyn		
	Parade; and		
	(e) protects bank stability, water		
	quality and hydrological		
	processes within the Mooloolah River.		
Developme	nt in the Community Facilities Zone		
PO26	Development provides for the	AO26	No acceptable outcome provided.
	existing tourist park sites located on		
	Mooloolaba Esplanade and Parkyn		
	Mooloolaba Esplanade and Parkyn Parade to be retained or		
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community	A027	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP-	AO27	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government	A027	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map	AO27	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government	AO27	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses	AO27	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access	AO27	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water	A027	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated	AO27	No acceptable outcome provided.
PO27	Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i> . Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water	AO27	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and 	AO27	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; 	AO27	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; (c) a limited number of small scale 	AO27	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; 	AO27	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; (c) a limited number of small scale business uses such as café's and restaurants located adjacent to the foreshore 	A027	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; (c) a limited number of small scale business uses such as café's and restaurants located adjacent to the foreshore parkland which contribute to 	A027	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; (c) a limited number of small scale business uses such as café's and restaurants located adjacent to the foreshore parkland which contribute to the activation of this frontage; 	AO27	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; (c) a limited number of small scale business uses such as café's and restaurants located adjacent to the foreshore parkland which contribute to 	AO27	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; (c) a limited number of small scale business uses such as café's and restaurants located adjacent to the foreshore parkland which contribute to the activation of this frontage; and (d) improved pedestrian connections to the adjoining 	A027	No acceptable outcome provided.
PO27	 Mooloolaba Esplanade and Parkyn Parade to be retained or redeveloped as <i>tourist parks</i>. Development in the Community facilities zone in Precinct MAH LPP- 2 (Mooloolaba Spit Government Uses) identified on Local Plan Map LPM34 provides for:- (a) State Government uses to be rationalised and limited to uses dependant on water access such as maritime safety, water police, fisheries and associated functions; (b) building design which addresses the street and adjoining parkland; (c) a limited number of small scale business uses such as café's and restaurants located adjacent to the foreshore parkland which contribute to the activation of this frontage; and (d) improved pedestrian 	A027	No acceptable outcome provided.



LEGEND



Local Plan Area Boundary

Primary Active Street Frontage

Primary Streetscape Treatment Area

Boulevard Treatment Area

GreenspaceNote 1

Community Activity/Facility^{Note 1}



Headland

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Significant View



Coastal PathNote 4

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Dedicated Public Transport Corridor (CAMCOS) ==

CoastConnect Priority Public Transport Corridor

Future Transit Hub

Intersection Upgrade

Indicative Road Linkage/Access Point

Future Community/Arts Hub

57

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1:16,647 **Disclaimer** While every care is taken to ensure the accuracy of this product, neither the Sunshine Coast Regional Council nor the State of Queensland makes any representations or warranties about its accuracy, reliability, completeness or utability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the product being inaccurate or incomplete in any way or for any reason.

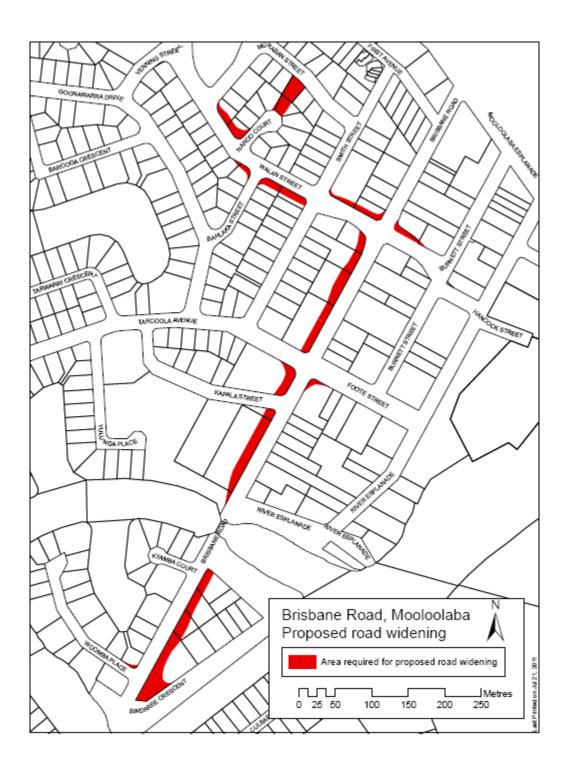
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Note 1: For contextual purposes only. Note 4: Indicative alignment, subject to further investigation in some areas.

Figure 7.2.20A (Mooloolaba/Alexandra Headland Local Plan Elements)

Path: W:ICommonIGeoIProjects SecureI140153_Planning_Scheme_AmendmentsIRound3CIMapsIPart7I7_2_20A_SCC_PS_LPE_MooloolabaAlex_20160406.mxd





7.2.21 Mooloolah local plan code

7.2.21.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Mooloolah local plan area as shown on Map ZM41 contained within **Schedule 2** (Mapping); and
 - (b) identified as requiring assessment against the Mooloolah local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.21.3 (Purpose and overall outcomes);
 - (b) Table 7.2.21.4.1 (Performance outcomes and acceptable outcomes for assessable development); and
 - (c) Figure 7.2.21A (Mooloolah local plan elements).

7.2.21.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act* 1992 and is intended to assist in the interpretation of the Mooloolah local plan code.

The Mooloolah local plan area is located in the southern part of the Sunshine Coast on the North Coast Rail Line between Landsborough and Eudlo. The local plan area comprises the small rural town of Mooloolah and adjacent urban and rural residential areas. The local plan area has a land area of approximately 790 hectares.

The Mooloolah local plan area is framed to the west by the Blackall Range, to the south by the tall eucalypts of the Dularcha National Park, Mooloolah Forest Reserve and Tunnel Ridge and to the north by the Mooloolah Range. The local plan area is traversed by the Mooloolah River and South Mooloolah River and their tributaries and has a generally flat to gently undulating landform reflecting its location adjacent to the Mooloolah floodplain. Steeper parts are found on the edges of the local plan area where the land rises around the adjacent ranges.

The Mooloolah local plan area derives its character from its picturesque rural and natural landscape setting, village character and strong community feel. Mooloolah Connection Road provides a physical and visual gateway to the town, with a distinct sense of arrival provided by striking views to the Blackall Range, and the current railway crossing and traditional style pedestrian overpass. The town has a strong horse riding community with a pony club and riding school both located in close proximity to the town centre. Riders often travel through the town, adding to the rural character.

The Mooloolah Town Centre provides important commercial, community, social, and recreational facilities to service the local level needs of its resident population as well as the needs of the surrounding rural residential and rural communities. The town centre is currently divided into two parts by the North Coast Rail Line, with the western side of the rail line focussed on Bray Road and Jones Street, and the eastern side predominantly along Mooloolah Connection Road. The open level crossing provides good connectivity between the two sides of the town centre and functions as a gateway to the town.

Although the buildings in the centre are relatively new, they comprise characteristics of traditional rural towns, particularly on the western side of the railway. The town centre is complemented by the open space reserves of the Village Green and Martin Rungert Park. A number of community facilities are located within the local plan area including a local State primary school, community centre, public hall and recreation reserve (pony club). The Mooloolah railway shelter is of local heritage significance.

The local plan area consists of small residential lots focused on Jones Street and the northern side of Paget Street with the remaining residential areas of the town characterised by dwelling houses on larger sized lots.

The rural residential and rural lands surrounding the town are constrained by flooding, sloping topography and native vegetation which also contribute to the scenic amenity and character of the local plan area.

The North Coast Rail Line is planned to be subject to realignment and duplication. As part of the duplication, provision has been made for a potential road overpass and closure of the current open level crossing. Closure of the open level crossing will physically and visually segregate the town and has the potential to impact significantly on the character and functionality of the town centre. If this option is pursued, maintaining connectivity for pedestrians, cyclists and horse riders will be critical.

Mooloolah Road/Connection Road is the major road link within the local plan area. Other important local road links include Neil Road, Bray Road and King Road. Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.21.3 Purpose and overall outcomes

- (1) The purpose of the Mooloolah local plan code is to provide locally relevant planning provisions for the assessment of development within the Mooloolah local plan area.
- (2) The purpose of the Mooloolah local plan code will be achieved through the following overall outcomes:-
 - (a) Mooloolah remains a small rural town with an intimate rural character and identity, primarily servicing the local community and visitors to the area. Some expansion of local business, residential and rural residential uses is provided for.
 - (b) Urban and rural residential development within the Mooloolah local plan area is limited to land within the urban and rural residential growth management boundaries respectively so as to protect and reinforce the character and identity of Mooloolah, provide for the efficient provision of *infrastructure* and services, avoid constrained land and protect the character and productivity of surrounding rural land.
 - (c) Development retains the key landscape, built form and natural environment elements that contribute to the setting, character and identity of the Mooloolah local plan area as a rural town with a strong sense of place and associations with the past.
 - (d) The Mooloolah Town Centre functions as a local (full service) activity centre providing a range of convenience goods and services to residents of the local plan area and surrounding rural and rural residential areas and provides a focus for small scale retail, commercial and community activity.
 - (e) Whilst the retail and commercial functions of Mooloolah centre may expand and be enhanced, the town centre remains compact and focused on the western side of the railway, with any expansion limited to land included within the Local business zone. Residents of Mooloolah continue to rely upon larger centres such as Beerwah, Sippy Downs or Caloundra to fulfil higher order business and industry needs.
 - (f) The 'rural town' feel, traditional built form and streetscape character of the Mooloolah Town Centre is retained and reinforced with Bray Road, Jones Street and Mooloolah Road enhanced as wide, attractive and pedestrian friendly main streets. Development in the Local centre zone addresses the street and complements and enhances the traditional streetscape and building form established on the western side of the railway line.
 - (g) Development in the Local centre zone on Lot 2 on RP8474 and Lots 1 and 2 on RP8476, Mooloolah Road, provides for the establishment of a *hotel* (tavern) and *short-term accommodation*. Such development is configured, designed and operated in a manner which minimises impacts on local residential amenity and *adjoining premises*.
 - (h) Development is designed and sited to protect significant views from Mooloolah Connection Road and the Mooloolah Town Centre to the Blackall Range.
 - (i) Development in the Medium density residential zone provides for the establishment of medium density housing which contributes to a high level of residential amenity and design quality consistent with the rural character of the Mooloolah local plan area, the scale and character of the *streetscape* and surrounding development.
 - (j) Development in the Low density residential zone and Rural residential zone, including road and lot layouts and *streetscape*, reflects traditional rural town residential qualities such as low rise detached housing on large lots, open *streetscape* and mature street trees. Development is designed and sited to sensitively respond to the physical characteristics of the land including

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flooding and slope constraints, and provides for the retention and enhancement of native *vegetation* and appropriate riparian buffers to the Mooloolah River, South Mooloolah River and tributaries. Where applicable, development provides for the effective treatment and disposal of effluent on-site.

- (k) Home based business, bed and breakfast accommodation and other complementary uses support local employment and take advantage of the comparatively large lot size and the town's picturesque rural and natural setting. These complementary uses are located and designed to protect the local environment and the amenity of surrounding areas.
- (I) Development in the local plan area is supported by a network of open space to meet the needs of the local community and facilitates safe and convenient pedestrian and cycle connections to, between and around key destinations within the local plan area.
- (m) Development does not compromise or adversely impact upon the future provision or operation of the North Coast Rail Line realignment and duplication and preserves the option for an associated road overpass and pedestrian and cycle connections.

7.2.21.4 Performance outcomes and acceptable outcomes

 Table 7.2.21.4.1
 Performance outcomes and acceptable outcomes for assessable development

Performa	ince Outcomes	Acceptable	Outcomes
	nent in the Mooloolah Local Plan Area G		
PO1	Development provides for buildings, structures and landscaping that reflects and enhances the rural town character of Mooloolah in terms of form, composition and use of materials.	A01.1	Buildings and structures incorporate traditional external building materials, such as timber cladding and corrugated iron roofs. Roof forms use simple, traditional
			Queensland style roof designs including gable, hip, pitched or multiple gable roof forms.
		AO1.3	Development uses understated colour schemes and low-reflective roofing and cladding materials.
PO2	Development provides for the retention and enhancement of key landscape elements including historical structures, significant views and vistas, existing character trees and areas of significant	AO2.1	Development provides for the retention or relocation and adaptive re-use of, the Mooloolah railway shelter and pedestrian overpass.
	<i>vegetation</i> contributing to the setting, character and sense of place of Mooloolah.	AO2.2	Development protects and emphasises, and does not intrude upon, the important views to the Blackall Range, particularly from Mooloolah Road and the town centre, and other views to surrounding rural and natural areas including Dularcha National Park and adjacent ranges where identified on Figure 7.2.21A (Mooloolah local plan elements).
		AO2.3	Development provides for the retention and enhancement of existing mature trees and character <i>vegetation</i> that contribute to the <i>streetscape</i> character and vegetated backdrop to the town including:- (a) character <i>vegetation</i> in Martin Rungert Park and the Village Green where identified on Figure 7.2.21A (Mooloolah local plan elements);
			and (b) riparian <i>vegetation</i> along the Mooloolah River and South

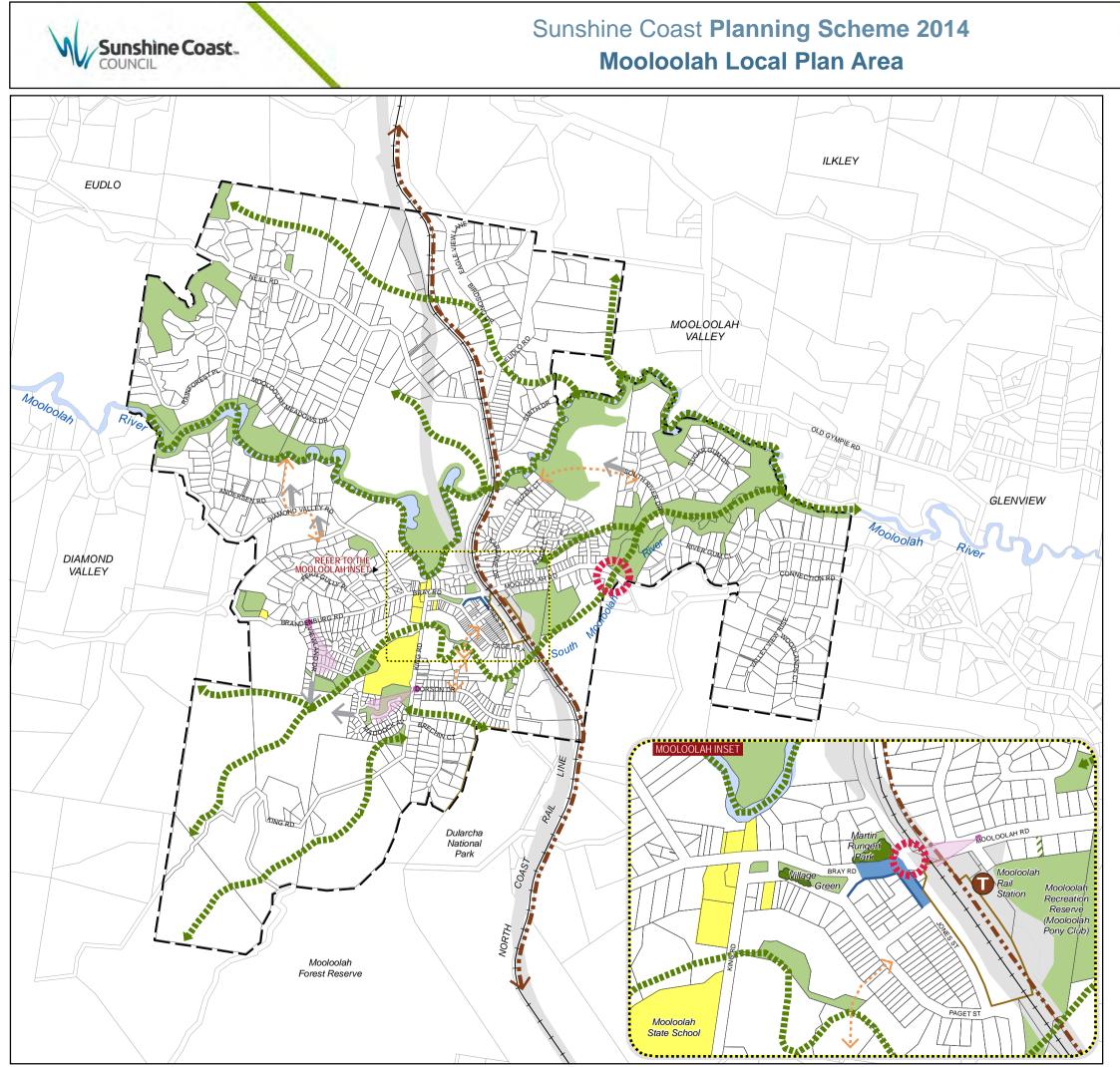
Perform	ance Outcomes	Acceptable	Outcomes
			Mooloolah River and their tributaries.
			Note—in some circumstances, the eradication of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
PO3	Development contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways to enhance the sense of entry to, and the rural town character of, Mooloolah.	AO3.1	Development adjacent to the primary streetscape treatment area or the identified gateway/entry point within the town centre on Figure 7.2.21A (Mooloolah local plan elements) incorporates architectural and landscape treatments and other design elements which:- (a) enhance the sense of arrival to, and the rural town character of, Mooloolah; and (b) emphasise corner sites and locations.
		AO3.2	Development adjacent to the gateway/entry point on Mooloolah Road at the South Mooloolah River identified on Figure 7.2.21A (Mooloolah local plan elements) provides for the retention and enhancement of riparian <i>vegetation</i> and maintains the dominance of natural features over built features in order to maintain the natural character of this gateway/entry point.
		AO3.3	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design.
			Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including entry statement landscapes.
			Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area.
			Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as required.
PO4	Development for a food and drink outlet does not:- (a) provide for the establishment of a high volume convenience restaurant; or (b) incorporate a drive-through facility.	A04	No acceptable outcome provided.
PO5	Development on land with frontage to the Mooloolah River and South Mooloolah River, or on land otherwise identified as a local ecological linkage on Figure 7.2.21A (Mooloolah local plan elements), facilitates the provision of the local ecological linkage.	AO5	No acceptable outcome provided. Editor's Note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.
PO6	Development does not compromise the	AO6	No acceptable outcome provided.

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Performa	ince Outcomes	Acceptable	Outcomes
	transport networks including:-		
	(a) the proposed North Coast Rail		
	Line realignment and duplication;		
	(b) the potential future road overpass		
	connecting Mooloolah Road and		
	Jones Street; and		
	(c) the pedestrian and cycle overpass		
	linking the two business areas of		
	the town.		
Develop	ment in the Local Centre Zone Generally		
PO7	Development in the Local centre zone	A07	No acceptable outcome provided.
	provides for small scale uses and mixed		
	uses that:-		
	(a) support Mooloolah Town Centre's		
	role and function as a local (full		
	service) activity centre; and		
	(b) provide a wide range of		
	convenience goods and services		
	to residents and visitors.		
PO8	Development in the Local centre zone:-	AO8	Development in the Local centre zone:-
1.00		700	(a) provides for Bray Road, Jones
	(a) is sympathetic to the rural character and identity of		Street and Mooloolah Road to be
	Mooloolah;		maintained and enhanced as wide,
			attractive and pedestrian friendly
	(b) complements the traditional built form and <i>streetscape</i> ;		main streets:
	(c) provides an active interface to the		(b) respects the layout, scale (including
	street; and		height and setback) and character of
	(d) provides integrated and functional		development on adjoining sites;
	parking and <i>access</i> arrangements that do not dominate the street.		(c) reflects and enhances the character
	that do not dominate the street.		of existing buildings on the western
			side of the railway;
			(d) provides primary active street
			frontages, built to the front
			boundary, where identified on
			Figure 7.2.21A (Mooloolah local
			plan elements);
			(e) provides all weather protection in
			the form of continuous cantilevered
			awnings and/or light verandah
			structures with non-load bearing
			posts over footpath areas with
			mature or semi-mature shade trees
			planted along the site frontage
			adjacent to the kerb;
			(f) has simple, traditional Queensland
			style roof designs, such as hipped or
			gabled, and parapets facing the
			street;
			(g) has building openings overlooking
			the street including a well defined
			shopfront and entry doors;
			(h) uses colour schemes and external
			finishes consistent with the theme
			established on the western side of
			the railway;
			(i) ensures that signage is integrated
			with the building;
			(j) includes provision of landscaping,
			shaded seating, public art and
			consistent and simple paving
			materials on footpaths; and
			(k) provides on-site car parking at the
			rear of the development, integrated
			with other vehicle movement areas.
	L		

	ance Outcomes ment in the Local Centre Zone (Lot 2 o		Outcomes nd Lots 1 and 2 on RP8476, Mooloolah
-			
Road) PO9	 Development in the Local centre zone on Lot 2 on RP8474 and Lots 1 and 2 on RP8476, Mooloolah Road, provides for the establishment of a <i>hotel</i> (tavern) and <i>short-term accommodation</i>, provided that such development:- (a) provides for Lot 2 on RP8476 to be developed for residential purposes, with <i>hotel</i> related activities occurring on the remainder of the site oriented towards Way Street and Mooloolah Road; (b) provides for a minimum 3 metre wide densely planted landscape <i>buffer</i> and 1.8 metre solid screen fence to adjoining residential premises; (c) does not provide for gaming or betting activities or a drive through bottle shop; (d) is designed to minimise adverse amenity impacts, including impacts associated with excessive noise; and (e) is subject to a safety, security and emergency management plan 	AO9	No acceptable outcome provided.
	developed in conjunction with the <i>Council</i> and relevant emergency services.		
PO10	Development of Lot 2 on RP8474 and Lots 1 and 2 on RP8476, Mooloolah Road, is limited to residential uses should the tavern not proceed in order to facilitate consolidation of business uses in the town centre on the western side of the railway line.	AO10	No acceptable outcome provided.
Develop	ment in the Medium Density Residential	Zone	
P011	 Development in the Medium density residential zone:- (a) provides for the establishment of medium density housing compatible with a rural town setting; (b) is of a domestic scale that does not dominate the <i>streetscape</i> and is compatible with surrounding development; (c) provides for building form that reflects the traditional Queensland style; (d) contributes positively to local <i>streetscape</i> character; (e) provides for generous open space to be maintained between buildings to preserve a predominantly open feel; (f) provides for on-site car parking to be located and designed such that it does not dominate the <i>streetscape</i>; and (g) avoids constrained land. 	A011	 Development in the Medium density residential zone:- (a) provides an attractive street address to Paget Street and the Village Green; (b) provides buildings which have the appearance of one or more individual buildings on the <i>site</i> with each building being of a <i>dwelling house</i> scale; (c) provides for building form which reflects the traditional Queensland style with the use of timber, pitched roofs, roof overhangs, prominent entry treatments, subdued colours and non-reflective materials; (d) incorporates verandah to at least 40% of the front facade length; (e) provides for on-site car parking to be located at the rear of buildings and separated into discrete areas so that it does not dominate the <i>streetscape</i>; and

Performa	ance Outcomes	Acceptable	Outcomes
			native <i>vegetation</i> areas and
			provides appropriate riparian buffers
			to South Mooloolah River.
	ment in the Low Density Residential Zon		
PO12	Reconfiguring a lot in the Low density residential zone and Rural residential zone provides for lot sizes and a configuration of lots that:- (a) is sympathetic to the rural town character and identity of the	AO12.1 AO12.2	Development in the Low density residential zone provides for lots which are a minimum of 1,000m ² in area. Development in the Rural residential zone provides for lots which are a minimum of
	Mooloolah local plan area; and (b) where applicable, provides for safe and effective treatment and disposal of effluent on site.	10/0	4,000m ² in area, or larger where required to provide for adequate on-site effluent disposal.
PO13	 Reconfiguring a lot within the Low density residential zone and Rural residential zone:- (a) provides for an interconnected system of local roads, pedestrian, cycle and open space links with adjoining land; (b) avoids flood prone land and responds sensitively to areas with slope and landslide constraints; (c) protects native <i>vegetation</i> areas and provides appropriate riparian buffers to Mooloolah River, South Mooloolah River and their tributaries; and (d) provides an open feel and transition between the town and adjoining rural residential and rural areas. 	AO13	 Reconfiguring a lot:- (a) incorporates an interconnected internal road system, pedestrian, cycle and open space links including where identified on Figure 7.2.21A (Mooloolah local plan elements); (b) avoids land subject to flooding, slope and landslide constraints; (c) protects native vegetation and dedicates land for ecological purposes along waterways, where identified as a local ecological linkage on Figure 7.2.21A (Mooloolah local plan elements), that links to existing land in the Open space zone or Environmental management and conservation zone; and (d) provides for larger lot sizes adjoining land in the Rural zone or Rural residential zone.



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LEGEND	
1	Local Plan Area Boundary
	Waterway ^{Note 1}
	Primary Active Street Frontage
	Primary Streetscape Treatment Area
	Local Ecological Linkage
	Greenspace ^{Note 1}
	Community Activity/Facility ^{Note 1}
`/////.	Landscape Buffer
	Character Vegetation
and the second	Gateway/Entry Point
•	Significant View
	Heritage Place ^{Note 2}
∢····· >	Through Block Pedestrian/Cycle Linkage
~···	Dedicated Public Transit Corridor
Ū	Transit Hub
\rightarrow	Indicative Road Linkage/Accesss Point
	Proposed Rail Corridor Upgrade

Note 1: For contextual purposes only. Note 2: Refer to Heritage and Character Overlay maps in Schedule 2 (Mapping).

0	100	200	400	600	800
			1.50 000		Metres

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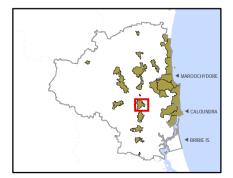


Figure 7.2.21A (Mooloolah Local Plan Elements)

7.2.22 Nambour local plan code

7.2.22.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Nambour local plan area as shown on Map ZM18 contained within **Schedule 2** (Mapping); and
 - (b) identified as requiring assessment against the Nambour local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.22.3 (Purpose and overall outcomes);
 - (b) Table 7.2.22.4.1 (Performance outcomes and acceptable outcomes for assessable development); and
 - (c) Figure 7.2.22A (Nambour local plan elements).

7.2.22.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act* 1992 and is intended to assist in the interpretation of the Nambour local plan code.

The Nambour local plan area is located in the central hinterland of the Sunshine Coast on the North Coast Rail Line and west of the Bruce Highway. The local plan area takes in the town centre and surrounding urban areas of Nambour, which is the largest rural town on the Sunshine Coast. The local plan area has a land area of approximately 1,990 hectares.

The local plan area has a picturesque setting, framed by surrounding hills and hillside vegetation. The local plan area itself is characterised by variable topography with steeper slopes around the margins of the area and undulating land in the central parts. Petrie Creek, Paynter Creek, Whalleys Creek and Tuckers Creek are the main waterways that traverse the local plan area, with central parts of the local plan area, including the fringes of the town centre, being subject to periodic flooding.

Areas of significant riparian vegetation, open space and natural bushland are contained within the local plan area, with Petrie Creek and tributaries providing an important ecological and open space spine. Bushland parks such as Koala Park and Cilento Bushland Conservation Reserve contain high quality remnant vegetation and contribute to the visually attractive setting of Nambour. Nambour also enjoys significant vistas to the Blackall Range in the west and east along the Petrie Creek floodplain to the coast.

Nambour serves an important role as a major regional activity centre providing higher order retail, employment and service needs of its resident population and surrounding hinterland areas, including the nearby rural towns of Woombye, Palmwoods, Montville, Mapleton and Yandina.

These services are mainly provided by the traditional town centre of Nambour focused around Currie Street and Howard Street. A number of smaller local business centres provide for the convenience needs of residential neighbourhoods within the local plan area.

The local plan area also accommodates industrial uses and development, including established industrial estates located in and around Windsor Road, Daniel Street and Rigby Street. The north-eastern corner of the local plan area, focused around the Bruce Highway/Bli Bli Road interchange, includes large extractive industry operations as well as major municipal uses including a regional waste management facility and wastewater treatment plant.

A range of State and Commonwealth Government services are provided in the town and Nambour is also the centre of local government administration for the Sunshine Coast Council. Nambour is also the main regional hub for health and medical services on the Sunshine Coast accommodating two major hospitals, being Nambour General Hospital and the Nambour Selangor Private Hospital. The local plan area contains a range of educational facilities, including a number of primary and secondary schools as well as the Sunshine Coast Institute of TAFE, which is one of the key centres for learning in the region.

Dart 7

A range of cultural and sport and recreation facilities are also located in the local plan area, including the Nambour Civic Centre, police citizens youth club, indoor sports centre, Nambour Showgrounds and numerous other clubs and societies that provide a valuable community focus for the surrounding hinterland and the wider Sunshine Coast.

Nambour provides a mix of residential types to meet community needs, including several retirement communities. However, housing remains predominantly detached in character. Significant consolidation and redevelopment opportunities are available in the local plan area, particularly within walking distance to the town centre and railway station. The older residential parts of the local plan area contain pockets of character housing in the traditional Queensland style. Consolidation is intended to be undertaken in a manner which is sympathetic to the established character of these areas, including the retention of existing character buildings within the development design.

The main north-south road access through the local plan area is via Nambour Connection Road. Bli Bli Road and Petrie Creek Road provide the main road connections between the local plan area and the coastal urban area to the east. Nambour-Mapleton Road provides the main road connection between the local plan area and rural towns and communities to the west. The Bruce Highway passes through the north-eastern corner of the local plan area.

Nambour provides a key transit hub connecting the passenger rail system from Brisbane to the Sunshine Coast's public transport (bus) network. The proposed realignment and duplication of the North Coast Rail Line north to Nambour will further enhance opportunities for transit oriented development in and around the town centre.

Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.22.3 Purpose and overall outcomes

- (1) The purpose of the Nambour local plan code is to provide locally relevant planning provisions for the assessment of development within the Nambour local plan area.
- (2) The purpose of the Nambour local plan code will be achieved through the following overall outcomes:-
 - (a) Nambour is progressively developed as a major regional activity centre, providing a broad range of higher order uses and activities capable of servicing its resident population as well as surrounding rural towns, villages, rural residential and rural communities.
 - (b) Significant urban consolidation and redevelopment opportunities are provided for within Nambour, with a focus on transit oriented development in and around the town centre and railway station.
 - (c) Urban development within the Nambour local plan area is limited to land within the urban growth management boundary so as to protect and reinforce the separate identity of Nambour, provide for the efficient provision of *infrastructure* and services, avoid constrained land and protect the landscape character and productivity of surrounding rural lands.
 - (d) A broad range of higher order retail, commercial, community, cultural, health, entertainment and employment generating uses that support the role and function of Nambour as the dominant major regional activity centre for the central Sunshine Coast hinterland are provided to service the needs of Nambour and surrounding areas including Woombye, Palmwoods, Montville, Mapleton and Yandina.
 - (e) Development in the Major centre zone provides for mixed use premises incorporating residential uses above the ground *storey* so as to provide greater vitality and causal surveillance within the town centre and achieve residential densities that support centre functions and public transport. Whilst the retail and commercial functions of Nambour Town Centre will increase in scale and intensity, the town centre remains compact, with any expansion consolidated and contained to land included within the Major centre zone.
 - (f) Development in Precincts NAM LPP-1 (Nambour Hospitality Area) and NAM LPP-2 (Former Mill Site and Hospitality Area) provides a range of business uses and entertainment activities including food and drink outlets, function facilities, bars, hotels and nightclub entertainment facilities that may operate after hours and include live music which creates a vibrant atmosphere.

- (g) Development in Precinct NAM LPP-2 (Former Mill Site and Hospitality Area) consolidates Nambour's role as a major regional activity centre and integrates the site with the traditional town centre through a permeable pedestrian and street network. Building form and urban design on the site provides for an outwardly focussed, main street development which is sympathetic to Nambour's traditional built form and *streetscape* character.
- (h) The State heritage-listed Mill Houses form part of a courtyard setting for passive recreation and social interaction. The heritage significance of the Mill Houses is maintained and development provides for the retention and re-use of these buildings for business, community, cultural, entertainment and catering uses.
- (i) Development in Precinct NAM LPP-3 (Town Centre Frame) provides for *mixed use development* with retail business uses at a scale and intensity less than in other parts of the Major centre zone in accordance with Table 7.2.22.4.2 (Nambour local plan supplementary table of consistent uses and potentially consistent uses in the Major centre zone). Development in Precinct NAM LPP-3 also provides for low intensity, small scale industry uses where adverse amenity impacts to surrounding uses are avoided. Physical and visual accessibility from the town centre frame to Nambour's transit hub and town centre core is maximised.
- (j) Development within the Nambour Town Centre provides for visually interesting building elements which respond to and respect the established patterns of development in Nambour and are created to provide high levels of pedestrian comfort and convenience, meaningful architectural expression and interesting urban forms.
- (k) Development within the local plan area protects and retains the established character areas of Nambour and buildings identified as having cultural heritage or *streetscape* significance as important elements of local character and identity.
- (I) Development retains key landscape character and natural environment elements and protects significant views contributing to the character and landscape setting of Nambour including the prominent vegetated hills, escarpments and ridgelines surrounding the town.
- (m) Development in Precinct NAM LPP-4 (Nambour Health Hub) provides for the consolidation of a sub-regional employment opportunity area, focussed around the Nambour General Hospital and Nambour Selangor Private Hospital. Development in the Local centre zone in the vicinity of the hospitals provides for the establishment of a range of health-related business uses and allied and compatible uses which are sympathetic to the residential amenity and character of the area in accordance with Table 7.2.22.4.3 (Nambour local plan supplementary table of consistent uses and potentially consistent uses in the Local centre zone). Development in this area does not detract from the role and function of Nambour's town centre as the key focus for office and retail activities.
- (n) Development in the Medium density residential zone provides for a mix of housing types and densities with *dwellings* that are generally of a domestic scale or are provided in small groups so as to reduce the perceived scale and mass of development relative to its surrounds.
- (o) Reconfiguring a lot in the Low density residential zone and Emerging community zone incorporates road and lot layouts which sensitively respond to site characteristics and are consistent with the established subdivision pattern of the town, characterised by regular shaped lots, grid street layout, open *streetscape* and mature street trees. Development occurs in an integrated manner and provides an interconnected network of roads, pedestrian and cycle paths and open space and buffering to surrounding rural lands.
- (p) Development in the Community facilities zone at Carter Road/Doolan Street Nambour (Sundale Nambour Garden Village) is master planned to ensure that development occurs in a functionally efficient and integrated manner. Development provides for a range of *residential care facilities* and *retirement facilities* complemented by a range of supporting small-scale business and community activities. Such activities do not detract from the role and function of the Nambour Town Centre as the key focus for business activities. Development provides a transition of *building height* adjacent to Carter Road/Doolan Street to minimise amenity impacts and achieve appropriate building massing and scale relative to its surroundings. Development also contributes to the retention of the preferred built form charater for the Nambour local plan area.

- (q) Development is designed and sited to protect significant environmental and riparian areas and to sensitively respond to the physical characteristics and constraints of land in the local plan area, including flooding, steep slopes and *ecologically important areas*.
- (r) Development in the local plan area is supported by a network of open space to meet the needs of the local community and facilitate safe and convenient pedestrian and cycle connections to, between and around key destinations within the local plan area.
- (s) Development does not compromise or adversely impact upon the planned realignment and duplication of the North Coast Rail Line.

7.2.22.4 Performance outcomes and acceptable outcomes

Table 7.2.22.4.1	Performance outcomes and acceptable outcomes for assessable
	development

Perform	nance Outcomes	Acceptable	Outcomes
	pment in the Nambour Local Plan Area G		
PO1	Developmentprovidesforvisuallyinteresting building elements which:-(a) respond toand respect thetraditionalstreetscapearchitectural character of Nambourin terms of scale, siting, form,composition and use of materials;and(b) facilitate high levels of pedestriancomfort,meaningfularchitecturalexpressionandinterestingurbanforms.	AO1	No acceptable outcome provided.
PO2	Development provides for the retention and enhancement of key landscape elements including historical landmarks, significant views and vistas, existing	AO2.1	Development provides for the retention of old stone retaining walls, historical landmarks, memorials and monuments.
	character trees and areas of significant <i>vegetation</i> contributing to the character, setting and sense of place of Nambour.	AO2.2	Development protects and emphasises, and does not intrude upon, important view lines to the Blackall Range and other views to surrounding rural and natural areas where identified on Figure 7.2.22A (Nambour local plan elements).
		AO2.3	 Development retains and protects existing mature trees and character <i>vegetation</i> contributing to the vegetated backdrop setting and <i>streetscape</i> character of the local plan area including:- (a) riparian <i>vegetation</i> adjacent to Petrie Creek, Paynter Creek, Whalleys Creek, Tuckers Creek and tributaries; (b) native <i>vegetation</i> areas along ridgelines and on prominent hillsides and escarpments framing the town; and (c) other character <i>vegetation</i> identified on Figure 7.2.22A (Nambour local plan elements).
			Note—in some circumstances, the eradication of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
PO3	Development provides for the retention and possible future operation of the former sugar cane train railway along the Mill Street/Howard Street route between the former mill site and the former	AO3	No acceptable outcome provided.

Perform	ance Outcomes	Acceptable	Outcomes
	marshalling yards off Howard Street, for	rocoptuble	
	the purpose of tourism, transportation,		
	connectivity and retention of heritage		
PO4	values. Development contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways to enhance	AO4.1	Development adjacent to a primary streetscape treatment area or identified gateway/entry point on Figure 7.2.22A
	the contemporary rural town character of, and sense of entry and arrival to, Nambour.		(Nambour local plan elements) incorporates architectural and landscape treatments and other design elements which enhance the sense of entry and arrival to, and contemporary rural town character of, Nambour, and emphasise corner locations.
		AO4.2	Development adjacent to the gateway/entry point on Nambour Connection Road at Panorama Drive, identified on Figure 7.2.22A (Nambour local plan elements) provides for the retention and enhancement of significant views and maintains the dominance of natural features over built features in order to maintain the natural character of this gateway/entry point.
		AO4.3	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design.
			Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including entry statement landscapes.
			Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area.
			Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as required.
PO5	Development on land with frontage to Petrie Creek, Paynter Creek, Whalleys Creek and Tuckers Creek, or on land	AO5	No acceptable outcome provided. Editor's Note—Section 8.2.3 (Biodiversity,
	otherwise identified as a local ecological linkage on Figure 7.2.22A (Nambour local plan elements) , facilitates the provision of the local ecological linkage.		waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.
PO6	Development protects prominent hillsides, ridgelines and escarpments in the local plan area through sensitive and innovative lot layouts and building siting and design.	A06	No acceptable outcome provided.
PO7	Development improves local connectivity by providing pedestrian and cycle connections to and between key destinations including, but not limited to, those connections identified conceptually on Figure 7.2.22A (Nambour local plan elements).	A07	No acceptable outcome provided.
PO8	Development does not compromise the provision and operation of <i>transport networks</i> , including the proposed realignment and duplication of the North	AO8	No acceptable outcome provided.

Perform	ance Outcomes	Acceptable	Outcomes
	Coast Rail Line.		
	oment in the Major Centre Zone Generally		
PO9 PO10	 Development in the Major centre zone provides large scale and mixed uses that:- (a) support Nambour's role and function as the dominant major regional activity centre for the central Sunshine Coast hinterland, subservient only to the Maroochydore Principal Regional Activity Centre; and (b) provide a wide range of higher order goods and services to Nambour's resident population and surrounding areas, including Woombye, Palmwoods, Montville, Mapleton and Yandina. 	AO9 AO10	No acceptable outcome provided.
	 (a) is sympathetic to and reinforces the rural character and heritage values of Nambour; (b) provides a walkable town centre which includes a permeable street network, wide tree lined footpaths and continuous weather protection for pedestrians along active or semi-active streetfront areas; (c) creates vibrant and active streets and public spaces; (d) maximises the physical and visual accessibility to Nambour's transit hub; and (e) provides integrated and functional car parking and access arrangements that do not dominate the street. 		 (a) respects the layout, scale and character of development on adjoining sites; (b) provides for primary active street frontages, built to the front boundary, where identified on Figure 7.2.22A (Nambour local plan elements); (c) provides for adaptive reuse, with limited modification, of heritage places or character buildings that is sympathetic to the inherent character of the building and the Nambour town centre context; (d) provides for vertical and horizontal building elements created through the visible expression of building design elements such as columns, doors and doorways, windows, awnings, screens, shade structures, low relief decorative elements, parapet details and shadow lines; (e) incorporates variety in storey height, recessed upper levels, single and double storey colonnades and recesses for balconies and verandahs such that long unbroken blank wall planes with repetitive elements and continuous roof lines are avoided; (f) provides for building proportions that divide the building elevation into three (3) or more major vertical parts for every 20 metres of street frontage as identified on Figure 7.2.22B (Typical vertical proportions along part of Currie Street); (ii) roof forms designed to diminish the visual impact of large floor plate buildings and large flat roof forms by articulated roof designs (pitched or sloped) with multiple ridge lines and incorporating articulated upper facades as identified on Figure 7.2.22C

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Doutour		Accepteble	Outcomoo	
Perforn	nance Outcomes	Acceptable	Outcomes (Articulated and 'fine grain'	
			skyline); and	
			(iii) understated colour schemes and	
			low-reflective roofing and cladding	
			materials;	
			(g) ensures that signage is integrated	
			with the building;	
			(h) includes provision of landscaping,	
			shaded seating and consistent and	
			simple paving materials on footpaths;	
			(i) provides all weather protection along	
			active street frontages in the form of	
			continuous cantilevered awnings	
			and/or lightweight verandah	
			structures with no load bearing posts	
			over footpath areas in conjunction	
			with mature or semi-mature shade	
			trees planted along the <i>site frontage</i> ;	
			(j) provides for the continuation of	
			existing laneways and pedestrian and	
			cycle linkages where identified on	
			Figure 7.2.22A (Nambour local plan elements); and	
			(k) provides for on-site car parking at the	
			rear or below ground level of the	
			development.	
P011	Development in the Major centre zone	A011	No acceptable outcome provided.	
	facilitates pedestrian movement and			
	connectivity by providing pedestrian			
	through-block links that:-			
	(a) are located to connect key activity			
	nodes, including the Nambour			
	transit hub, and pedestrian			
	crossings of streets;			
	(b) provide a safe alternative to the			
	street-based movement network;			
	and			
	(c) provide a comfortable pedestrian			
	environment in terms of access,			
	width, shelter, materials and			
Develo	function.	ecinct NAM	LPP-1 (Nambour Hospitality Area) and	
Precinc	ct NAM LPP-2 (Former Mill Site and Hospi	tality Area)		
PO12	Development in Precinct NAM LPP-1	AO12	No acceptable outcome provided.	
	(Nambour Hospitality Area) and NAM LPP-2 (Former Mill Site and Hospitality			
	Area) identified on Local Plan Map			
	LPM18 provides for a range of			
	entertainment/catering business uses			
	and other business uses including food			
	and drink outlets, function facilities, bars,			
	hotels and nightclub entertainment			
	facilities that may operate after hours			
	and include live music which creates a			
	vibrant atmosphere.			
	pment in the Major Centre Zone in Precin			
PO13	Development in Precinct NAM LPP-2	AO13	No acceptable outcome provided.	
	(Former Mill Site and Hospitality Area)			
	identified on Local Plan Map LPM18			
	provides for a proportional share of the			
	total commercial business and retail			
	I pupped there are the Nembour			
	business floor space for the Nambour			-
	town centre through the establishment of			
	town centre through the establishment of only one <i>full line supermarket</i> or			Č
	town centre through the establishment of			1 + 0

Perform	ance Outcomes	Acceptable	Outcomes
	4,000m ² .		
P014	Development in Precinct NAM LPP-2 (Former Mill Site and Hospitality Area) provides for any large floor plate retail use to be located to the north of the Bury Street extension and on the western side of the Mill Lane extension identified on Figure 7.2.22A (Nambour local plan elements) .	A014	No acceptable outcome provided.
PO15	 Development in Precinct NAM LPP-2 (Former Mill Site and Hospitality Area):- (a) provides for the establishment of an outwardly focused, active main street format; and (b) visually and physically integrates with the established town centre of Nambour and the State heritage- listed Mill Houses. 	A015	 Development in Precinct NAM LPP-2 (Former Mill Site and Hospitality Area) is provided in a main street configuration and ensures that:- (a) any large floor plate retail use is separated from the street by sleeving; (b) sleeving comprises active retail business uses or catering business uses located at ground level with residential uses and commercial business uses located on upper building levels; (c) sleeving extends to the Bury Street and Mill Street boundaries and is provided adjacent to the Mill House Courtyard; (d) a civic space (mini plaza) is provided opposite the Mill House Courtyard; (e) site interpretative features, such as public artwork, are provided; and (f) service lanes and loading bays are appropriately screened and are located adjacent to the rail line corridor in areas of least visibility.
PO16	 Development in Precinct NAM LPP-2 (Former Mill Site and Hospitality Area) provides a functional and permeable street network that:- (a) is integrated with the street network in the Nambour Town Centre; (b) is in the configuration identified on Figure 7.2.22A (Nambour local plan elements); and (c) incorporates the following road network and intersection improvements:- (i) the widening and extension of Mill Lane to connect to Mill Street adjacent to the Mill Houses; (ii) the extension of Bury Street into the Former Mill Site; (iii) the extension of Mitchell Street into the Former Mill Site; (iv) intersections upgraded at Mill Street/Mill Lane; and (v) a new intersection located at the Bury Street and new Mill Lane extension. 	A016	No acceptable outcome provided.
P017	Development in Precinct NAM LPP-2 (Former Mill Site and Hospitality Area) ensures that the State heritage listed Mill Houses:- (a) are sensitively reused for a range of business, community and cultural activities; and	AO17	Development in Precinct NAM LPP-2 (Former Mill Site and Hospitality Area) provides for the establishment of a 'Mill Houses Courtyard' that:- (a) is in the location identified on Figure 7.2.22A (Nambour local plan elements);

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Perform	nance Outcomes	Acceptable	Outcomes	
	(b) form part of a courtyard setting for passive recreation and social interaction as part of the overall redevelopment of the Former Mill Site.		 (b) is designed and constructed in accordance with a detailed master plan; and (c) provides for the following:- (i) adaptive reuse of the buildings for a range of business and community activities that are 	
			 sympathetic with cultural heritage values; (ii) soft and hard landscaped surfaces that provide a public 'courtyard' as an outdoor focus for the activities in the Mill Houses; (iii) retention of mature <i>vegetation</i>; (iv) shelter over the space that includes a mix of <i>vegetation</i> and roofed structures; (v) reinforced pedestrian connections to the commercial activities in the Nambour Town Centre; (vi) public art works and signage elements that celebrate the Mill Houses' heritage values; (vii) public accessibility at all times; (viii) clear sight lines and visibility corridors to the Mill Houses; and 	
			(ix) compliance with disability access and CPTED principles and standards.	
PO18	Development in Precinct NAM LPP-2 (Former Mill Site and Hospitality Area) on or adjacent to the 'Mill House Courtyard':- (a) clearly displays its physical relationship to the Mill Houses and the Mill Houses Courtyard; and (b) enhances the heritage values associated with the Mill House Courtyard through its use, form and function.	AO18	No acceptable outcome provided.	
	oment in the Major Centre Zone in Precin			
PO19	 Development in the Major centre zone in Precinct NAM LPP-3 (Town Centre Frame) identified on Local Plan Map LPM18 provides for:- (a) <i>mixed use development</i> that incorporates medium to high density residential uses; (b) a range of commercial and entertainment/catering business uses; (c) retail business uses at a scale and intensity less than in other parts of the Major centre zone; (d) <i>showrooms</i>; and (e) low intensity and small scale industry uses, provided that there are no adverse amenity impacts on surrounding uses. 	AO19 AO20	No acceptable outcome provided.	7
	Precinct NAM LPP-3 (Town Centre Frame) identified on Local Plan Map LPM18 provides for:- (a) a use listed as a consistent use in			Dart 7
L		1		

Perform	nance Outcomes	Acceptable	Outcomes
	Column 1 of Table 7.2.22.4.2		
	(Nambour local plan		
	supplementary table of		
	consistent uses and potentially consistent uses in the Major		
	centre zone) to occur in the		
	precinct; and		
	(b) a use listed as a potentially		
	consistent use in Column 2 of Table 7.2.22.4.2 to occur in the precinct		
	only where further assessment has		
	determined that the use is		
	appropriate in the precinct having		
	regard to such matters as its		
	location, nature, scale and intensity.		
	Note—a use not listed in Table 7.2.22.4.2 is		
	an inconsistent use and is not intended to		
	occur in the Major centre zone in Precinct NAM LPP-3.		
	Note—consistent and potentially consistent uses for other areas within the Major centre		
	zone at Nambour are identified in Part 6		
	(Zone codes) in Table 6.2.6.2.1 (Consistent		
	uses and potentially consistent uses in the Major centre zone).		
PO21	Development in that part of Precinct	AO21	No acceptable outcome provided.
	NAM LPP-3 (Town Centre Frame)		
	centred on Price Street:-		
	(a) maximises the physical and visual accessibility to the transit hub and		
	town centre core retail area; and		
	(b) does not inhibit, prevent or delay the		
	provision and delivery of the North		
	Coast Rail Line corridor upgrade and transit hub.		
Develop	oment in the Local Centre Zone in Precine	ct NAM LPP-4	4 (Nambour Health Hub)
PO22	Development in the Local centre zone in	AO22	No acceptable outcome provided.
	Precinct NAM LPP-4 (Nambour Health		
	Hub) identified on Local Plan Precinct Map LPM18:-		
	(a) contributes to the creation of a		
	cluster of health-related business		
	uses which complement the nearby		
	hospital uses;		
	(b) provides for a limited range of other business and community activities		
	which provide a service to the		
	health-related uses and residential		
	uses in the immediate area; and		
	(c) has an intensity and scale which		
	does not detract from the role and function of the Nambour Town		
	Centre as the key focus for office		
	and retail activities.		
PO23	Development in the Local centre zone in	AO23	No acceptable outcome provided.
	Precinct NAM LPP-4 (Nambour Health		
	Hub) identified on Local Plan Map LPM18 provides for:-		
	(a) a use listed as a consistent use in		
	Column 1 of Table 7.2.22.4.3		
	(Nambour local plan		
	supplementary table of		
	consistent uses and potentially consistent uses in the Local		
	centre zone) to occur in the		
		I	<u> </u>

Perform	nance Outcomes	Acceptable	Outcomes
PO24	 precinct; and (b) a use listed as a potentially consistent use in Column 2 of Table 7.2.22.4.3 to occur in the precinct only where further assessment has determined that the use is appropriate in the precinct having regard to such matters as its location, nature, scale and intensity. Note—a use not listed in Table 7.2.22.4.3 is an inconsistent use and is not intended to occur in the Local centre zone in Precinct NAM LPP-4. Note—consistent and potentially consistent uses for other areas within the Local centre zone at Nambour are identified in Part 6 (Zone codes) in Table 6.2.8.2.1 (Consistent uses in the Local centre zone). 	Acceptable	
P024	 Development in the Local centre zone in Precinct NAM LPP-4 (Nambour Health Hub):- (a) is sympathetic to the traditional built form and <i>streetscape</i> character of residential development and identified character areas in the locality; (b) provides an attractive streetfront address; (c) provides a high level of accessibility and permeability for pedestrians; and (d) provides an integrated approach to the provision of on-site car parking and the management of car parking demand in a manner which does not dominate the street. 	AO24.1 AO24.2 AO24.3	Development provides for the retention and adaptive re-use of existing residential buildings, with limited external modification. OR New buildings are sited and designed to be of an appearance and scale that is sympathetic to existing residential development in the locality. Development provides for business uses to address the street with attractive buildings and landscaping established along <i>frontages</i> to Blackall Terrace, Nambour-Mapleton Road, and Hospital Road. Development provides for safe, efficient and legible pedestrian access to the
		AO24.4 AO24.5	hospitals and associated medical and related uses in the locality. Development provides for on-site car parking areas to be located behind, under or at one side of buildings such that parking areas do not dominate the street or interfere with the continuity of the <i>streetscape</i> . Development is undertaken in accordance
		A024.5	with a car parking and public transport management plan which identifies how the operational needs of the development are to be met through a combination of travel modes such that there is a reduction in demand for on-site car parking. Where located in a character area identified on a Heritage and character areas overlay map, development provides for shared access driveways between <i>sites</i> where there is restricted access

Developme PO25 D re (a) (b) (c) (c) (c)	 ance Outcomes ant in the Medium Density Residential Development in the Medium density Development in the establishment of medium density housing compatible with a rural town setting; D) is sympathetic to and respects the character of established residential areas and identified character areas; C) is of a domestic scale that does not dominate the streetscape and is compatible with surrounding development; D) provides for building form that reflects the traditional Queensland style; D) contributes positively to local streetscape character; F) provides for generous open space to be maintained between buildings to preserve a predominantly open feel; D) provides for on-site car parking to be located and designed such that it does not dominate the streetscape; and h) avoids constrained land. 	Zone	 Outcomes Development in the Medium density residential zone:- (a) provides buildings which have the appearance of one or more individual buildings on the site with each building being of a dwelling house scale; (b) where located within an identified character area identified on a Heritage and character areas overlay map:- (i) provides for the retention and adaptive re-use of existing residential buildings, with limited external modification; (ii) provides for shared access driveways between sites where there is restricted access; (c) provides for building form which reflects the traditional Queensland style with the use of timber, pitched roofs, roof overhangs, prominent entry treatments, subdued colours and non-reflective materials; (d) incorporates verandah to at least 40% of the front facade length; (e) provides for on-site car parking to be
PO25 D re (c (c (c (f) (f) (f)	 bevelopment in the Medium density esidential zone:- a) provides for the establishment of medium density housing compatible with a rural town setting; b) is sympathetic to and respects the character of established residential areas and identified character areas; c) is of a domestic scale that does not dominate the <i>streetscape</i> and is compatible with surrounding development; d) provides for building form that reflects the traditional Queensland style; e) contributes positively to local <i>streetscape</i> character; f) provides for generous open space to be maintained between buildings to preserve a predominantly open feel; g) provides for on-site car parking to be located and designed such that it does not dominate the <i>streetscape</i>; and 		 residential zone:- (a) provides buildings which have the appearance of one or more individual buildings on the <i>site</i> with each building being of a <i>dwelling house</i> scale; (b) where located within an identified character area identified on a Heritage and character areas overlay map:- (i) provides for the retention and adaptive re-use of existing residential buildings, with limited external modification; (ii) provides for shared access driveways between sites where there is restricted access within one site to gain rear access; (c) provides for building form which reflects the traditional Queensland style with the use of timber, pitched roofs, roof overhangs, prominent entry treatments, subdued colours and non-reflective materials; (d) incorporates verandah to at least 40% of the front facade length;
Developme PO26 R da (a	be located and designed such that it does not dominate the <i>streetscape</i> ; and		 entry treatments, subdued colours and non-reflective materials; (d) incorporates verandah to at least 40% of the front facade length; (e) provides good pedestrian and cycle connectivity to the town centre;
PO26 R de (a			 (f) provides for on-site car parking to be located at the rear of buildings and separated into discrete areas so that it does not dominate the <i>streetscape</i>; and (g) avoids land subject to constraints.
PO26 R de (a	ent in the Low Density Residential Zor	ne	
	 Reconfiguring a lot within the Low lensity residential zone:- a) is designed to sensitively respond to site characteristics and avoids significant scarring of the landscape; b) is compatible with the predominant landscape character of its location and setting; and c) provides for an interconnected system of local roads, pedestrian, cycle and open space links with adjoining land. 	AO26	 Reconfiguring a lot in the Low density residential zone:- (a) provides for a subdivision layout which minimises the extent of cut and fill required to accommodate new lots and roads; (b) avoids or minimises vegetation clearing; (c) provides street trees and landscaping which complements nearby bushland, contributing to the re-forestation of the hillsides and riparian corridors and softening the visual impact of urban development; and (d) incorporates an interconnected internal road system, pedestrian, cycle and open space links including where identified on Figure 7.2.22A (Nambour local plan elements).
Developm	ent in the Emerging Community Zone	I	
PO27 D cc cr er st w (a		AO27	No acceptable outcome provided.

Perform	ance Outcomes	Acceptable	Outcomes
I enom	landscape;	Acceptable	outcomes
	(b) are integrated with and connect to		
	established residential development		
	to the north and the east;		
	(c) have legible and permeable local		
	street systems and movement		
	networks;		
	(d) provide for the coordinated		
	provision of <i>infrastructure</i> ; and		
	(e) retain, enhance and connect native		
	vegetation areas and other		
	ecologically important areas.		
PO28	Development in the Emerging	AO28	No acceptable outcome provided.
	community zone provides for the		
	establishment of a mix of land uses and		
	housing types at a scale and intensity		
	and in a configuration that is sympathetic		
	to the character and amenity of		
	established residential neighbourhoods.		
	ment in the Community Facilities Zone (
PO29	Development in the Community facilities	AO29	No acceptable outcome provided.
	zone (Sundale Nambour Garden		
	Village):-		
	(a) occurs in accordance with an		
	approved master plan for the whole		
	of the <i>site</i> that provides for facility		
	elements to be configured in a		
	functionally efficient and integrated		
	manner;		
	(b) provides for a range of <i>residential</i>		
	care facilities and retirement facilities;		
	(c) contributes to the creation of a		
	cluster of health-related business		
	uses which complement the		
	residential care facility/retirement		
	facility on the same site;		
	(d) provides for a limited range of other		
	business and community activities		
	which complement the residential		
	care facility/retirement facility on the		
	same <i>site</i> and residential uses in		
	the immediate area; and		
	(e) ensures that business activities		
	have an intensity and scale which		
	do not detract from the role and		
	function of the Nambour Town		
	Centre as the key focus for		
	commercial and retail activities.		
PO30	Development in the Community facilities	AO30	In partial fulfilment of Performance
	zone (Sundale Nambour Garden Village)		Outcome PO30:-
	provides a built form that is sympathetic		
	to surrounding residential development,		Development in the community facilities
	with a transition of <i>building height</i> , bulk		zone (Sundale Nambour Garden Village)
	and scale at the Carter Road/Doolan		where adjoining or opposite a residential
	Street frontages.		use or land included in a <i>residential zone</i> ,
			provides for buildings and structures to be
			setback from the corresponding site
			boundary a minimum distance equal to
DO34	Development in the Community for 999	A024	the height of the building or structure.
PO31	Development in the Community facilities	AO31	No acceptable outcome provided.
	zone (Sundale Nambour Garden		
	Village):- (a) preserves the amenity of adjacent		
	land and <i>dwelling houses</i> ;		
	(b) does not dominate the <i>streetscape</i>		
		1	1

Performanc	e Outcomes	Acceptable Outcomes
(c)	and contributes positively to local <i>streetscape</i> character; provides for buildings which are designed to address and optimise casual surveillance to public streets,	
	pedestrian pathways, Petrie Creek and other areas of community activity;	
(d)	maintains an adequate area suitable for landscapes adjacent to the road frontages;	
(e)	provides for on-site car parking to be located and designed such that it does not dominate the <i>streetscape</i> ;	
(f)	maintains the visual continuity and pattern of buildings and landscape elements within the immediate area;	
(g)	provides for the protection and buffering of <i>ecologically important</i> <i>areas</i> and local ecological linkages identified on Figure 7.2.22A	
	(Nambour local plan elements); and	
(h)	maintains and, wherever practicable, enhances pedestrian and cycle connectivity along Petrie Creek and to existing and planned pedestrian/cycle pathways.	

Table 7.2.22.4.2Nambour local plan supplementary table of consistent uses and
potentially consistent uses in the Major centre zone

Note—this table overrides the consistent and potentially consistent uses specified in the zone codes in **Part 6 (Zones)** for the precincts specified.

Column 1 Consistent uses		Column 2 Potentially consistent uses		
	or Centre Zone (Precinct NAM LPP-3 – Town Centre			
	idential activities			
(k)	Caretaker's accommodation	Nor	ie	
(I)	Community residence			
(m)	Dual occupancy (where forming part of a mixed use			
	development)			
(n)	Dwelling unit			
	Multiple dwelling			
· · ·	Residential care facility			
· · · ·	Resort complex			
· · ·	Retirement facility			
• •	Rooming accommodation			
<u>(t)</u>	Short-term accommodation			
	iness activities			
(v)	Adult store (where not located in an adult store	(e)		
	sensitive use area)		floor area of 300m ²)	
	Agricultural supplies store	(f)	Hardware and trade supplies (where exceeding	
(x)			a gross leasable floor area of 300m²)	
())	Car wash			
(z)	Food and drink outlet (where not incorporating a			
	drive-through facility)			
	Funeral parlour			
(bb)	Garden centre (where not exceeding a gross			
<i>(</i>)	leasable floor area of 300m ²)			
(cc)	Hardware and trade supplies (where not exceeding			
	a gross leasable floor area of 300m ²)			
· · /	Health care services			
(ee)	Home based business (where other than a high			
(66)	impact home based business activity)			
· ·	Office			
	Sales office			
· · · ·	Service station			
(ii)	Shop (where occupying not more than 200m ² of			

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Column 1		Column 2
Consistent uses		Potentially consistent uses
gross leasable floor	area)	
(jj) Showroom		
(kk) Veterinary services		
Industrial activities		
(c) Service industry		Research and technology industry
	(where occupying not more	
than 200m ² of gross le	asable floor area)	
Community activities		
(h) Child care centre		None
(i) Community care centre	е	
(j) Community use		
(k) Educational establishin	nent	
(I) Emergency services		
(m) Place of worship		
Sport and recreation activ	<i>vities</i>	
(d) Club		None
(e) Indoor sport and recre	ation	
(f) Park		
Other activities		
(c) Parking station		None
	acility (where other than a	
freestanding tower)		
(e) Utility installation (whe	re a <i>local utility</i>)	

Table 7.2.22.4.3Nambour local plan supplementary table of consistent uses and
potentially consistent uses in the Local centre zone

Note—This table overrides the consistent and potentially consistent uses specified in the zone codes in **Part 6 (Zones)** for the precincts specified.

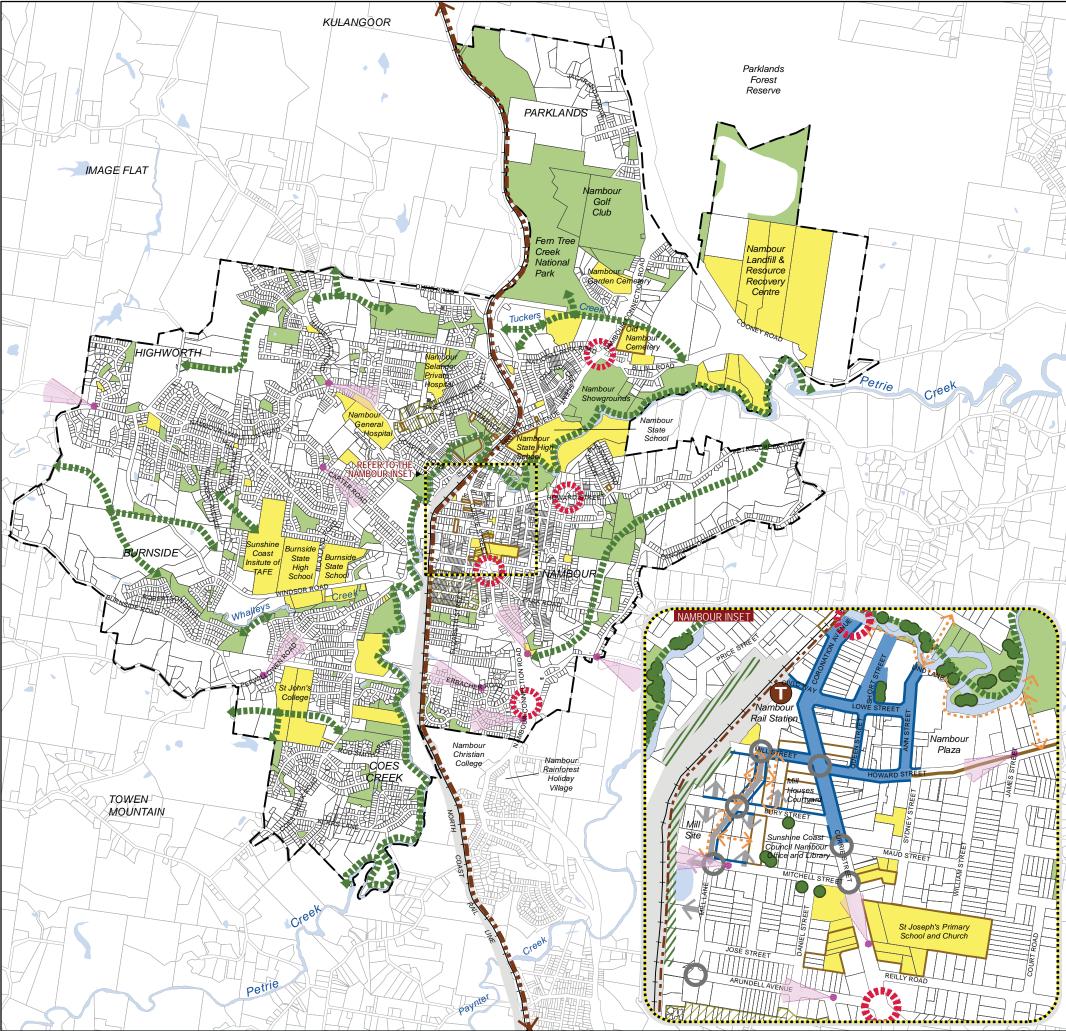
Column 1	Column 2					
Consistent uses	Potentially consistent uses					
Local Centre Zone (Precinct NAM LPP-4 – Nambour Health Hub) Residential activities						
 (a) Caretaker's accommodation (b) Community residence (c) Dual occupancy (where forming part of a mixed use development) (d) Dwelling unit (e) Multiple dwelling (f) Rooming accommodation (g) Short-term accommodation 	 (a) Retirement facility (b) Residential care facility 					
Business activities						
 (a) Food and drink outlet (other than where incorporating a drive-through facility or where for a high volume convenience restaurant) (b) Funeral parlour (c) Health care services (d) Home based business (other than where involving a high impact home based business activity) (e) Office (f) Sales office (g) Shop (where having a gross leasable floor area not exceeding 200m²) (h) Shopping centre (where having a total gross leasable floor area not exceeding 1000m² and any individual shop tenancy does not exceed a gross leasable floor area of 200m²) 	<i>Theatre</i> (other than a multiplex cinema)					
Industrial activities	None					
Service industry Community activities						
(a) Child care centre (b) Community care centre (c) Community use (d) Educational establishment (e) Emergency services (f) Hospital (g) Place of worship	None					
Sport and recreation activities						
Park						
Other activities (a) Parking station	None					

Column 1	Column 2
Consistent uses	Potentially consistent uses
(b) Utility installation (where a local utility)	





Sunshine Coast Planning Scheme 2014 Nambour Local Plan Area



LEGEND



Local Plan Area Boundary WaterwayNote 1

Primary Active Street Frontage



Primary Streetscape Treatment Area

4Local Ecological Linkage



GreenspaceNote 1



Community Activity/Facility^{Note 1}



Character Vegetation





Gateway/Entry Point



Heritage PlaceNote 2



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Neighbourhood Character Area^{Note 2}



Through Block Pedestrian/Cycle Linkage Dedicated Public Transport Corridor è ←..

Transit Hub

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Indicative Road Linkage/Access Point

Intersection Upgrade

Proposed Rail Corridor Upgrade

Note 1: For contextual purposes only. Note 2: Refer to Heritage and Character Overlay maps in Schedule 2 (Mapping)



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Figure 7.2.22A (Nambour Local Plan Elements)

Path: W:\Common\Geo\Projects\130101_SunshinecoastPlanningScheme2014\Maps\Part7\7_2_22A_SCC_PS_LPE_Nambour_20140220.mxd

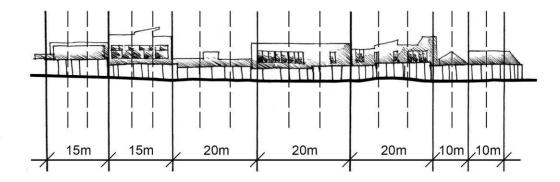
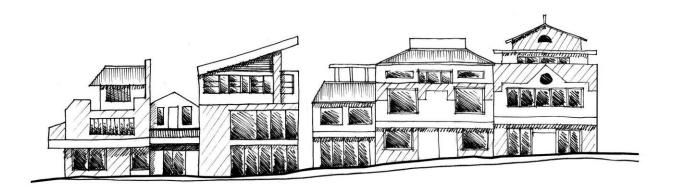


Figure 7.2.22C Articulated and 'fine grain' skyline





7.2.23 Palmwoods local plan code

7.2.23.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Palmwoods local plan area as shown on Map ZM28 contained within **Schedule 2** (Mapping); and
 - (b) identified as requiring assessment against the Palmwoods local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.23.3 (Purpose and overall outcomes);
 - (b) Table 7.2.23.4.1 (Performance outcomes and acceptable outcomes for assessable development); and
 - (c) Figure 7.2.23A (Palmwoods local plan elements).

7.2.23.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Palmwoods local plan code.

The Palmwoods local plan area is located in the central part of the Sunshine Coast on the North Coast Rail Line immediately south of Nambour and Woombye. The local plan area comprises the rural town of Palmwoods and adjacent residential and rural residential areas. It takes in a land area of approximately 496 hectares.

The local plan area is set within a picturesque rural and natural landscape on the foothills of the Blackall Range. Paynter Creek forms part of the western boundary of the local plan area and a number of other smaller water courses traverse the local plan area generally in a north-south direction. The local plan area is characterised by an undulating and gently sloping topography and is surrounded by large areas of productive rural land.

Palmwoods is a moderate sized rural town with a small town centre that services the local needs of its resident population as well as the needs of rural and residential communities immediately surrounding the town.

The Palmwoods Town Centre is based along Main Street and Margaret Street and has a traditional main street character with a number of older buildings that provide a strong sense of history and links to the past. The town centre meets the local shopping and convenience needs of Palmwoods and residents of nearby rural and rural residential areas whilst also providing tourist services to visitors. A small light industry area extends along Main Street south of the town centre, and a substantial food processing facility is located on Palmwoods-Montville Road.

The existing historic buildings in Palmwoods, especially fronting Main Street, and other heritage elements, such as the old stone retaining walls, contribute significantly to the character and identity of the town. The Palmwoods Hotel at the corner of Main and Church Streets is an important local landmark and heritage building.

The residential parts of Palmwoods are characterised by predominantly dwelling houses on large suburban lots.

The Palmwoods local plan area is dissected by a number of open space corridors that contain significant areas of remnant vegetation. The local plan area also contains a number of existing sporting facilities and notable parks, such as Kolora Park, with its duck ponds and playground facilities.

The North Coast Rail Line is planned to be subject to re-alignment and duplication, with the proposed new alignment through Palmwoods shifting the rail line and station to the east and freeing up existing rail land for alternative uses and potential improvements to the town centre. The realignment of the rail line also impacts upon opportunities for residential expansion in northern and southern parts of the local plan area with these

Part 7

areas intended to be predominantly retained for rural uses until the upgrade is completed and associated infrastructure and access issues can be resolved.

Major road links within the local plan area include Palmwoods-Montville Road, Woombye-Palmwoods Road, Eudlo Road and Chevallum Road.

Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.23.3 Purpose and overall outcomes

- (1) The purpose of the Palmwoods local plan code is to provide locally relevant planning provisions for the assessment of development within the Palmwoods local plan area.
- (2) The purpose of the Palmwoods local plan code will be achieved through the following overall outcomes:-
 - (a) Palmwoods remains a moderate sized rural town with a distinct heritage character, primarily servicing the local needs of its resident population and immediately surrounding rural communities.
 - (b) Urban development within the Palmwoods local plan area is limited to land within the urban growth management boundary so as to protect and reinforce the separate identity of Palmwoods, provide for the efficient provision of *infrastructure* and services, avoid constrained land and protect the landscape character and productivity of surrounding rural lands.
 - (c) Development retains important built form, *streetscape*, landscape character and natural environment elements that contribute to the character, setting, and identity of Palmwoods as a rural town with a strong sense of place and associations with the past.
 - (d) Development in the Local centre zone supports the role and function of the Palmwoods Town Centre as a local (full service) activity centre, providing a wide range of convenience goods and services to meet the needs of its resident population and immediately surrounding rural communities.
 - (e) The "country town" feel, traditional main street built form and heritage and streetscape character of the Palmwoods Town Centre is retained and reinforced, with Main Street and Margaret Street enhanced as attractive and pedestrian friendly streets. Development addresses the street, complements the traditional streetscape and building form and retains historical buildings and landmarks contributing to the character and identity of the town.
 - (f) Development provides for centre uses to be consolidated along Main Street, with development along Margaret Street limited to small scale, low intensity business uses with low traffic generation.
 - (g) Redevelopment of disused rail land fronting Main Street in the vicinity of Church Street:-
 - provides for community activities and/or business activities and, in particular, a supermarket;
 - (ii) does not compromise or adversely impact upon the current or future operation of the North Coast Rail Line;
 - (iii) retains existing heritage buildings and features;
 - (iv) provides for safe and convenient pedestrian access to the railway station;
 - (v) provides an attractive and active streetfront address to Main Street and the future pedestrian link to the railway station;
 - (vi) retains public parking servicing the railway station integrated within the development design; and
 - (vii) is designed such that opportunities for possible future expansion are retained following realignment of the rail line.
 - (h) Development in the Low density residential zone and Emerging community zone protects and is sympathetic to the traditional rural town character and identity of Palmwoods, typified by low-rise *dwelling houses* in generous landscaped grounds. Reconfiguring a lot in the Low density residential zone and Emerging community zone incorporates road and lot layouts which sensitively respond to site characteristics and are consistent with the established subdivision pattern of older parts of the town, characterised by regular shaped lots, grid or

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modified grid layout, open *streetscape* and mature street trees. Development in these zones provides an interconnected network of roads, pedestrian and cycle paths and open space.

- (i) Development in the Medium density residential zone is sympathetic to the traditional rural town character and heritage values of Palmwoods and is of a bulk and architectural scale that does not dominate the *streetscape* or the hillside, is compatible with surrounding development and provides strong pedestrian links to the town centre.
- (j) Development in the Low impact industry zone and Medium impact industry zone provides a range of small to medium scale industry uses compatible with a rural town setting. Industry uses are located, designed and operated in manner that does not adversely impact upon environmental values or the amenity of nearby residential land.
- (k) Development provides for the establishment of a linked system of open space focussed on continuous vegetated corridors along Paynter Creek and the major drainage lines which traverse the local plan area.
- (I) Development is designed and sited to protect significant environmental and riparian areas and to sensitively respond to the physical characteristics and constraints of land in the local plan area, including flood prone land, steep slopes and native vegetation.
- (m) Development in the local plan area is supported by a network of open space to meet the needs of the local community and facilitates safe and convenient pedestrian and cycle connections to, between and around key destinations within the local plan area.
- (n) Development does not compromise or adversely impact upon the operation or future upgrading of the North Coast Rail Line. Rural land located within the urban growth management boundary is not developed for urban purposes prior to the re-alignment of the North Coast Rail Line.
- (o) In the event that the North Coast Rail Line is re-aligned within the life of the planning scheme, the pattern of land use and the provision of transport and other *infrastructure* in the Palmwoods local plan area is adapted to:-
 - appropriately utilise surplus railway land to consolidate and provide for improvements to the Palmwoods town centre, particularly in terms of the provision of community facilities and urban open space, with some expansion of business uses provided for; and
 - (ii) provide for the development of rural land within the urban growth management boundary that has been identified as being potentially suitable for urban purposes but that cannot be efficiently integrated within the town fabric prior to the realignment of the North Coast Rail Line.
- (p) Development of surplus railway land and rural land within the urban growth management boundary that becomes available as a consequence of the re-alignment of the North Coast Rail Line occurs in a logical manner, consistent with the availability of *infrastructure* and services. Development that brings forward a requirement for new *infrastructure* only occurs if that *infrastructure* is provided as part of the development.
- (q) Development of surplus railway land and rural land within the urban growth management boundary that becomes available as a consequence of the re-alignment of the North Coast Rail Line is master planned.

7.2.23.4 Performance outcomes and acceptable outcomes

Table 7.2.23.4.1 Performance outcomes and acceptable outcomes for assessable development

Performa	ince Outcomes	Acceptable	Outcomes
Develop	ment in the Palmwoods Local Plan Area	Generally	
PO1	Development provides for buildings, structures and landscaping that is consistent with and reflects the traditional <i>streetscape</i> and built form and rural town character of Palmwoods.		Development provides for the retention and/or adaptive re-use, with limited modification, of buildings which have cultural heritage or character significance. Editor's note—Section 8.2.9 (Heritage and character areas overlay code) sets out

Performa	ince Outcomes	Acceptable	Outcomes
			requirements for development on heritage places and in character areas.
		AO1.2	Buildings and structures incorporate traditional external building materials, such as timber cladding and corrugated iron roofs.
		AO1.3	For residential, business and community activities, roof forms are simple, traditional Queensland-style roof designs including gable, hip, pitched or multiple gable roof forms.
PO2	Development provides for the retention and enhancement of key landscape elements including historical landmarks, significant views and vistas, existing	AO2.1	Development provides for the retention of old stone retaining walls, historical landmarks, memorials and monuments.
	character trees and areas of significant <i>vegetation</i> contributing to the character, setting, and sense of place of Palmwoods.	AO2.2	Development protects and emphasises, and does not intrude upon, important view lines to the Blackall Range and other views to surrounding rural and natural areas where identified on Figure 7.2.23A (Palmwoods local plan elements).
		AO2.3	 Development protects and enhances existing mature trees and character <i>vegetation</i> including:- (a) riparian <i>vegetation</i> along Paynter Creek and the major drainage lines running north from Rifle Range Road across Palmwoods School Road and Dunning Street; (b) <i>vegetation</i> in Kolora Park identified on Figure 7.2.23A (Palmwoods local plan elements); (c) bushland along Woombye-Palmwoods Road, Eudlo Road and Palmwoods-Montville Road; and (d) other character <i>vegetation</i> identified on Figure 7.2.23A (Palmwoods local plan elements).
		100.4	of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
PO3	Development contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways to enhance the rural town character of, and sense of entry and arrival to, Palmwoods.	AO3.1	Development adjacent to a primary streetscape treatment area or identified gateway/entry point on Figure 7.2.23A (Palmwoods local plan elements) incorporates architectural and landscape treatments and other design elements which enhance the sense of entry and arrival to, and rural town character of, Palmwoods, and emphasise corner locations.
		AO3.2	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design.
			Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including entry statement landscapes.

Performa	ince Outcomes	Acceptable	Outcomes
			Note—a landscape master plan may provide
			further guidance regarding particular streetscape treatments in a local plan area.
			Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as required.
PO4	 Development provides through block pedestrian linkages which:- (a) are located to reflect the desire lines of pedestrian movement between major points of attraction and public spaces; (b) provide a safe alternative to the street based pedestrian and cycle movement network; and (c) provide a comfortable pedestrian environment in terms of access, width, shelter, materials and function. 	A04	Development provides visible, safe, comfortable and attractive through block pedestrian linkages where identified on Figure 7.2.23A (Palmwoods local plan elements) .
PO5	Development is sited and designed in a manner which sensitively responds to local topography.	AO5	Development on sloping sites provides for building form that steps down the slope and minimises the extent of cut and fill required to accommodate development.
PO6	Development on land with frontage to Paynter Creek and the major drainage lines running north from Rifle Range Road across Palmwoods School Road and Dunning Street, or on land otherwise identified as a local ecological linkage on Figure 7.2.23A (Palmwoods local plan elements), facilitates the provision of the local ecological linkage.	AO6	No acceptable outcome provided. Editor's note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.
PO7	Development does not compromise or adversely impact upon the operation or future upgrading of the North Coast Rail Line.	A07	No acceptable outcome provided.
PO8	 Development for a food and drink outlet does not:- (a) provide for the establishment of a high volume convenience restaurant; or (b) incorporate a drive-through facility. 	AO8	No acceptable outcome provided.
Developr	ment in the Local Centre Zone		
PO9	 Development in the Local centre zone provides for small scale uses and mixed uses that:- (a) support Palmwoods' role and function as a local (full service) activity centre; and (b) provide a wide range of goods and services to meet the convenience needs of Palmwoods' resident population and immediately surrounding rural community. 	AO9	No acceptable outcome provided.
PO10	 Development in the Local centre zone provides for:- (a) Main Street to be retained as the primary focus for centre activities; and (b) development along Margaret Street to be limited to small scale, low intensity business uses with low 	AO10	No acceptable outcome provided.

Part 7

Performa	ince Outcomes	Acceptable	Outcomes
	traffic generation.		
P011	 Development in the Local centre zone:- (a) is sympathetic to the rural town character and identity of Palmwoods; (b) addresses the street; (c) complements the traditional built form and <i>streetscape</i>; (d) creates vibrant and active streets and public spaces; (e) provides continuous weather protection for pedestrians; (f) uses traditional building materials; and (g) provides functional and integrated access, car parking and servicing areas which preserve the integrity of existing stone retaining walls and do not dominate the street. 	A011	 Development in the Local centre zone:- (a) provides for Main Street and Margaret Street to be maintained and enhanced as attractive and pedestrian friendly main streets; (b) provides for <i>primary active street</i> <i>frontages</i>, built to the front boundary, where identified on Figure 7.2.23A (Palmwoods local plan elements); (c) maintains the appearance of fine- grained shopfronts addressing the street; (d) respects the layout, scale (including height and <i>setback</i>) and character of existing buildings; (e) provides all-weather protection for pedestrians in the form of continuous awnings and/or light verandah structures with decorative (non-load bearing) posts over footpath areas in conjunction with mature or semi- mature shade trees planted along the <i>site frontage</i> adjacent to the kerbside; (f) has simple, traditional Queensland- style roof designs such as hipped or gabled and parapet walls of various shapes facing the street; (g) has building openings overlooking and addressing the street; (h) incorporates vertical proportions on the front façade and well defined shopfronts and entry doors; (i) uses understated colour schemes and low-reflective roofing and cladding materials; (k) ensures that signage is integrated with the building; (i) includes provision of landscaping, shaded seating and consistent and simple paving materials on footpaths; (m) provides for on-site car parking and provides for on-site car parking behind buildin
P012	 Redevelopment of disused railway land adjacent to Main Street in the vicinity of Church Street:- (a) provides for the development of community activities and/or business activities, in particular, a <i>supermarket</i> (where not otherwise established in the local plan area); (b) does not compromise or adversely impact upon the current or future operation of the North Coast Rail Line; (c) provides for the retention and/or 	AO12	No acceptable outcome provided.

Dorforme		Accontable	Outcomos
Performa	ance Outcomes	Acceptable	Outcomes
	adaptive re-use of existing heritage		
	buildings and features;		
	(d) provides for safe and convenient		
	pedestrian access to the railway		
	station;		
	(e) provides an attractive and active		
	streetfront address to Main Street		
	and the future pedestrian link to the		
	railway station;		
	(f) retains public parking servicing the		
	railway station integrated within the		
	development design; and		
	(g) is designed such that opportunities		
	for possible future expansion are		
	retained following realignment of		
	the rail line.		
Develop	ment in the Medium Impact Industry Zon		
PO13	Development in the Medium impact	AO13	No acceptable outcome provided.
	industry zone:-		
	(a) provides safe and efficient		
	vehicular <i>access</i> ;		
	(b) is effectively screened from		
	Palmwoods-Montville Road;		
	(c) provides appropriate riparian		
	buffers to Paynter Creek and		
	protects water quality; and		
	(d) protects the amenity of surrounding		
	or nearby residential areas.		
Develop	ment in the Low Impact Industry Zone	•	
PO14	Development in the Low impact industry	AO14	No acceptable outcome provided.
	zone:-		
	(a) is limited to small scale and low		
	impact industry uses that are		
	compatible with a rural town		
	setting;		
	(b) integrates with existing developed		
	areas;		
	(c) provides safe and efficient		
	vehicular access:		
	(d) is effectively screened from, or		
	provides an attractive street front		
	address, to Main Street; and		
	(e) protects the amenity of surrounding		
	or nearby residential areas.		
Develop	ment in the Low Density Residential Zon	e	
P015	Reconfiguring a lot in the Low density	AO15.1	Reconfiguring a lot in the Low density
-	residential zone provides for lot sizes	-	residential zone has a minimum lot size of
	and a configuration of lots that is		800m ² .
	sympathetic to the rural town character		
	and identity of the Palmwoods local	AO15.2	Reconfiguring a lot in the Low density
	plan area.		residential zone provides for regular-
1	'		shaped lots with a grid street layout and
			subdivision pattern.
PO16	Reconfiguring a lot within the Low	AO16	Reconfiguring a lot in the Low density
	density residential zone:-		residential zone:-
1	(a) is designed to sensitively respond		(a) provides for a subdivision layout
	to site characteristics and avoids		which minimises the extent of cut and
			fill required to accommodate new lots
	significant scarring of the		
	significant scarring of the landscape; and		
	landscape; and		and roads; and
	landscape; and (b) provides for an interconnected,		and roads; and (b) incorporates an interconnected
	landscape; and (b) provides for an interconnected, legible and permeable system of		and roads; and (b) incorporates an interconnected internal road system, pedestrian,
	 landscape; and (b) provides for an interconnected, legible and permeable system of local roads, pedestrian, cycle and 		and roads; and (b) incorporates an interconnected internal road system, pedestrian, cycle and open space links, including
	 landscape; and (b) provides for an interconnected, legible and permeable system of local roads, pedestrian, cycle and open space links with adjoining 		and roads; and (b) incorporates an interconnected internal road system, pedestrian, cycle and open space links, including where identified on Figure 7.2.23A
	 landscape; and (b) provides for an interconnected, legible and permeable system of local roads, pedestrian, cycle and 		and roads; and (b) incorporates an interconnected internal road system, pedestrian, cycle and open space links, including

Part 7

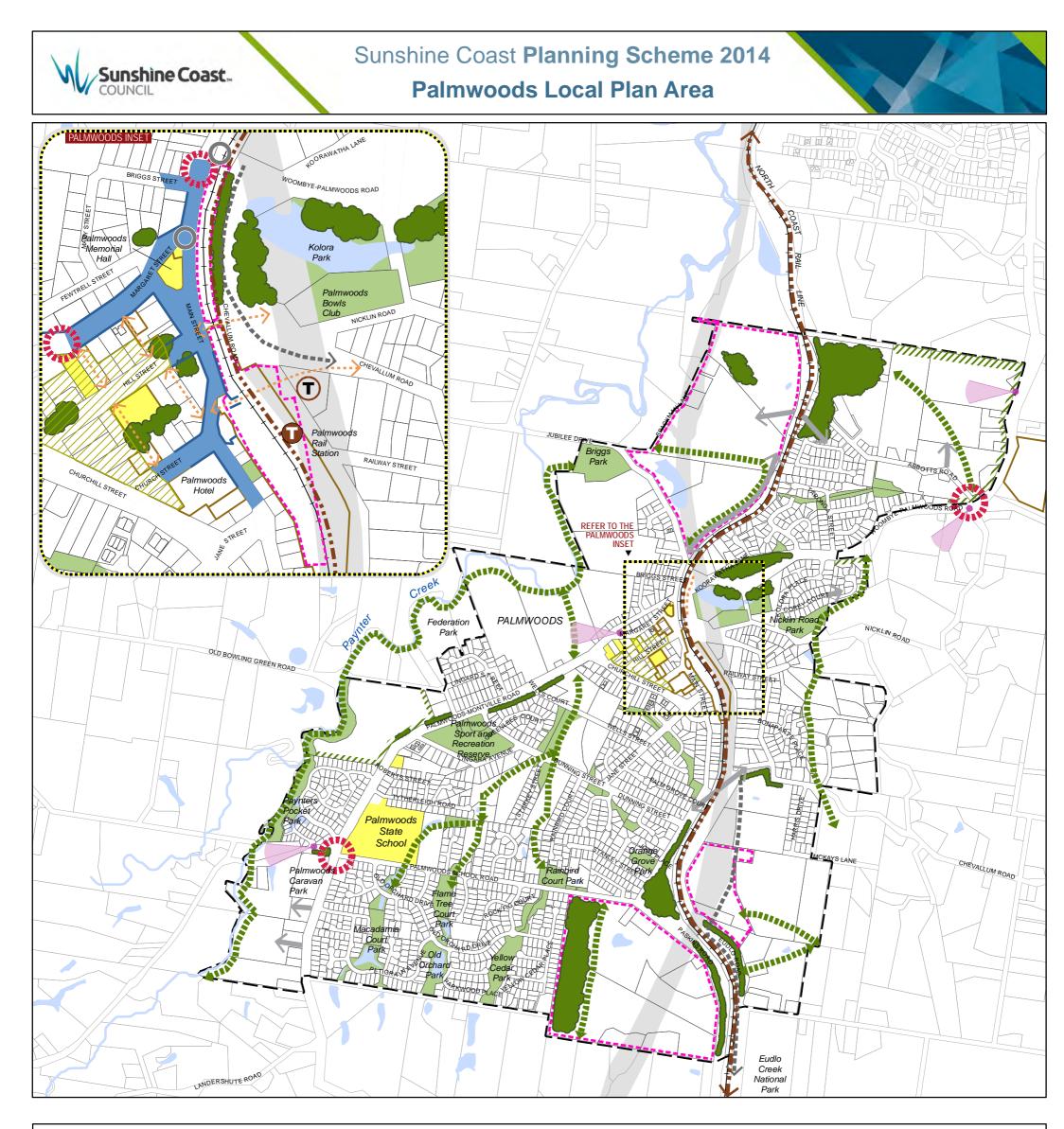
Perform	ance Outcomes	Acceptable	e Outcomes
	ment in the Low Density Residential Zon		
PO17	Development in the Low density	A017	Development in the Low density
	residential zone (west of Landershute		residential zone (west of Landershute
	Road) provides for coordinated road		Road) provides road access/egress as
	access/egress from Landershute Road,		indicated on Figure 7.2.23A
	with no direct access to Palmwoods-		(Palmwoods local plan elements).
	Montville Road.		· · · · · · · · · · · · · · · · · · ·
Develop	ment in the Medium Density Residential	Zone	
PO18	Development in the Medium density	AO18	No acceptable outcome provided.
	residential zone:-		· · · · · · · · · · · · · · · · · · ·
	(a) provides for the establishment of a		
	range of housing types compatible		
	with a rural town setting;		
	(b) sensitively responds to local		
	topography;		
	(c) allows for integration of existing		
	character buildings into any		
	redevelopment including the		
	retention and adaptive re-use of		
	existing character buildings, with		
	limited external modification;		
	(d) is of a domestic scale that does not		
	dominate the <i>streetscape</i> or hillside		
	or detract from the visual amenity		
	of adjoining properties;		
	(e) provides for building form which		
	reflects the traditional Queensland		
	style with the use of timber, pitched		
	roofs, verandahs and subdued		
	colours;		
l	(f) contributes positively to local		
I	streetscape character;		
l	(g) provides for generous open space		
l	to be maintained between buildings		
I	to preserve a predominantly open		
l	feel; (h) provides for the retention of		
l	(n) provides for the retention of existing mature vegetation,		
	particularly on ridgelines and		
l	hilltops; and		
	(i) provides strong pedestrian links to		
l	the town centre.		
Develop	ment in the Emerging Community Zone C	Generally	
PO19	Development in the Emerging	AO19	No acceptable outcome provided.
FUIU	community zone is master planned to	AUIS	
l	ensure that development occurs in a		
l	logical and coordinated manner.		
PO20	Development in the Emerging	AO20	No acceptable outcome provided.
· •	community zone provides for:-		
I	(a) predominantly low density		
l	residential housing; and		
l	(b) lot sizes and a configuration of lots		
l	that is sympathetic to the rural town		
l	character and identity of the		
l	Palmwoods local plan area.		
PO21	Reconfiguring a lot within the Emerging	AO21	Reconfiguring a lot in the Emerging
• • •	community zone:-		community zone:-
	(a) is designed to sensitively respond		(a) provides for a subdivision layout
	to site characteristics and avoids		which minimises the extent of cut and
	significant scarring of the		fill required to accommodate new lots
	landscape; and		and roads; and
	(b) provides for an interconnected		(b) incorporates an interconnected,
l	system of local roads, pedestrian,		permeable internal road system,
l	cycle and open space links with		pedestrian, cycle and open space
1	adjoining land and the Palmwoods		links, including as indicated on
		1	

Performa	ance Outcomes	Acceptable	Outcomes
	Town Centre.		Figure 7.2.23A (Palmwoods local
			plan elements).
PO22	Development in the Emerging	AO22	No acceptable outcome provided.
	community zone provides for:-		
	(a) the protection and buffering of		
	ecologically important areas and		
	drainage areas, including the		
	character <i>vegetation</i> and local		
	ecological linkages identified on		
	Figure 7.2.23A (Palmwoods local		
	plan elements); and		
	(b) appropriate buffering and		
	separation to nearby agricultural		
	land and rural uses.		
Develop	ment in the Emerging Community Zone (
PO23	Development in the Emerging	AO23	No acceptable outcome provided.
	community zone in the north-eastern		
	part of the local plan area:-		
	(a) provides a physical and visual		
	<i>buffer</i> at the interface to rural land		
	directly to the north to reinforce and		
	maintain the sub-regional inter		
	urban break between Palmwoods		
	and Woombye;		
	(b) provides for a future road		
	connection to the west of the		
	existing North Coast Rail Line		
	corridor;		
	(c) provides for the retention of		
	existing mature <i>vegetation</i> ,		
	particularly in and adjacent to		
	Woombye-Palmwoods Road,		
	drainage lines and <i>wetland</i> areas;		
	(d) does not interfere with or adversely		
	impact on significant views to the		
	west from Woombye-Palmwoods		
	Road; and		
	(e) provides an appropriate interface to		
	the Woombye War Cemetery		
	located on the opposite (eastern)		
	side of Woombye-Palmwoods		
- /	Road.		
	ment in the Emerging Community Zone (
PO24	Development in the Emerging	AO24	No acceptable outcome provided.
	community zone in the south-eastern		
	part of the local plan area provides for		
	local road connections and does not		
	solely rely upon road access from Eudlo		
	Road.		
			he Urban Growth Management Boundary
	able for Urban Purposes at Commencem		
PO25	Development provides for the following	AO25	No acceptable outcome provided.
	land areas that are not available for		
	urban development at the		
	commencement of the planning scheme		
	to be developed only once the North		
	Coast Rail Line is re-aligned:-		
	(a) surplus railway land included in the		
	Community facilities zone in the		
	central part of the local plan area		
	immediately adjoining the		
	Palmwoods Town Centre; and		
	Palmwoods Town Centre; and (b) rural zoned land within the urban		
	Palmwoods Town Centre; and		

Performa	ince Outcomes	Acceptable Outcomes		
	eastern parts of the local plan area.			
PO26	Development of rural land within the	AO26	No acceptable outcome provided.	
	urban growth management boundary,			
	where identified on Figure 7.2.23A (Palmwoods local plan elements),			
	and made available in the life of the			
	planning scheme (once the North Coast			
	Railway is realigned):-			
	(a) provides for predominantly low			
	density residential development;			
	(b) is already connected to or can be efficiently connected to the			
	<i>infrastructure</i> required to service			
	the land;			
	(c) is sympathetic to the rural town			
	character and heritage of			
	Palmwoods;			
	(d) avoids development of land subject to constraints and protects			
	ecologically important areas;			
	(e) is designed to sensitively respond			
	to site characteristics and avoids			
	significant scarring of the			
	landscape;			
	(f) protects visual amenity from Woombye-Palmwoods Road,			
	Eudlo Road and the re-aligned rail			
	line;			
	(g) provides an integrated, legible and			
	permeable road, cycle and			
	pathway network which connects			
	residential neighbourhoods to the town centre, community, sport and			
	recreation facilities and open			
	space;			
	(h) provides appropriate open space to			
	service the local community; and			
	(i) provides effective buffering to adjoining rural areas and uses.			
PO27	Development of surplus railway land	AO27	No acceptable outcome provided.	
	immediately adjoining the Palmwoods			
	Town Centre, where identified on			
	Figure 7.2.23A (Palmwoods local			
	plan elements) , and made available in			
	the life of the planning scheme:- (a) provides for the improvement of the			
	town centre and the consolidation			
	of Main Street as the focus for			
	centre activities and community			
	interaction;			
	(b) provides for predominantly open space and community activities,			
	with limited business and			
	residential activities;			
	(c) is sympathetic to the rural town			
	character and heritage of			
	Palmwoods and provides a			
	coherent and attractive streetfront address;			
	(d) provides safe and convenient			
	access to the new railway station,			
	Kolora Park and surrounding			
	areas;			
	(e) effectively integrates with existing			
	developed areas and the new railway station; and			
		I	1]	

Performa	ance Outcomes	Acceptable	Outcomes
	(f) where for business uses, provides an active <i>frontage</i> to Main Street and the pedestrian link to the new railway station.		
PO28	Development provides for surplus railway land and rural land within the urban growth management boundary made available in the life of the planning scheme to be master planned and occur in a logical sequence, providing for the efficient and timely provision of <i>infrastructure</i> and services.	AO28	Development of surplus railway land or rural land within the urban growth management boundary is undertaken in accordance with a local master plan that has been subject to public consultation and implemented either through a planning scheme amendment or a variation approval.





LEGEND



WaterwayNote 1

Primary Active Street Frontage

Community Activity/Facility^{Note 1}

Local Plan Area Boundary

Primary Streetscape Treatment Area

Local Ecological Linkage

GreenspaceNote 1



Character Vegetation



Gateway/Entry Point



Landscape Buffer



Heritage PlaceNote 2



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Neighbourhood Character Area^{Note 2}

Significant View

Through Block Pedestrian/Cycle Linkage

←…→ Dedicated Public Transport Corridor

Transit Hub

T

T

C

Future Transit Hub

Indicative Road Linkage/Access Point

Intersection Upgrade

Proposed Rail Corridor Upgrade

Proposed road following ----Rail Corridor Upgrade

> Land for Potential Urban Purposes following Rail Corridor Upgrade (subject to master planning)

> > Note 1: For contextual purposes only. Note 2: Refer to Heritage and Character Overlay maps in Schedule 2 (Mapping).

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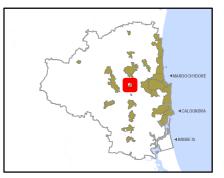


Figure 7.2.23A (Palmwoods Local Plan Elements)

 $Path: W: |Common|Geo|Projects | 130101_Sunshine coast PlanningScheme 2014 | SCPS 2014_A18R5 | Maps | Part7 | 7_2_23A_SCC_PS_LPE_Palmwoods_2014 0220.mxd$

7.2.24 Peregian South local plan code

7.2.24.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Peregian South local plan area as shown on Map ZM10 contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Peregian South local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.24.3 (Purpose and overall outcomes);
 - (b) Table 7.2.24.4.1 (Performance outcomes and acceptable outcomes for assessable development); and
 - (c) Figure 7.2.24A (Peregian South local plan elements).

7.2.24.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act* 1992 and assists in the interpretation of the Peregian South local plan code.

The Peregian South local plan area is located in the central eastern part of the Sunshine Coast, west of Peregian Beach and immediately west of the Sunshine Motorway. The local plan area includes the emerging communities of Peregian Springs/Coolum Ridges comprising a number of residential neighbourhoods, a local (full service) activity centre, a number of smaller local centres, schools and large areas of open space including the Peregian Springs Golf Course and several environmental parks. The local plan area has a land area of approximately 597 hectares.

The local plan area is located on coastal lowlands within the core conservation area of the National Wallum Estate and is bounded on three sides by adjuncts of the Noosa National Park. The protection of the extensive environmental parks and interconnected system of remnant vegetation corridors protecting and linking key natural conservation areas present in and surrounding the local plan area is an important factor in supporting the long-term viability of these state and national reserves.

The established residential parts of the local plan area are characterised by dwelling houses on residential lots of varying sizes surrounding a large private golf course. The local plan area also includes a State school and a private school (St Andrews Anglican College).

Major road links within the local plan area include the Sunshine Motorway, Emu Mountain Road and Peregian Springs Drive.

Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.24.3 Purpose and overall outcomes

- (1) The purpose of the Peregian South local plan code is to provide locally relevant planning provisions for the assessment of development within the Peregian South local plan area.
- (2) The purpose of the Peregian South local plan code will be achieved through the following overall outcomes:-
 - (a) The Peregian South local plan area is a discrete master planned residential area providing a mix of dwelling types in a number of residential neighbourhoods and supported by a local (full service) activity centre and several smaller local (not full service) activity centres providing convenience shopping and local commercial uses, as well as a range of community facilities and large areas of open space.

- (b) Urban development with the Peregian South local plan area is limited to land within the urban growth management boundary so as to protect significant environmental areas and landscape values and provide for the efficient provision of *infrastructure* and services.
- (c) Development is sited and designed to protect and enhance the natural environmental and scenic values of the Peregian South local plan area and adjacent areas including wetland, wallum heathland, paperbark and open eucalypt bushland vegetation communities, and provides for the establishment, protection and enhancement of a system of interconnected ecological and open space linkages.
- (d) Development adjacent to the Noosa National Park or other conservation areas incorporates appropriate measures to protect the long-term viability of these areas.
- (e) Development in the Local centre zone at the corner of Peregian Springs Drive and Ridgeview Drive supports its role and function as a local (full service) activity centre providing a wide range of business uses and community facilities to service the local level needs of residents within the local plan area.
- (f) A number of smaller local (not full service) activity centres are also located throughout the local plan area servicing the basic convenience needs of nearby residents. With the exception of areas already zoned for local centre purposes and additional small local centres to be located within the emerging community areas at Coolum Ridges and Old Emu Mountain Road, no additional local business centres are established within the local plan area. Residents continue to rely upon larger centres such as Noosa Business Centre or Maroochydore to fulfil higher order business and industry needs.
- (g) Development within the Low density residential zone, Medium density residential zone and Emerging community zone is effectively integrated with existing subdivision patterns and provides for walkable neighbourhoods with good pedestrian and cycle connectivity to local centres, community and sport and recreation facilities and open space, as well as a diverse range of lot sizes and housing choices.
- (h) Development provides for the Peregian Springs Golf Course to be retained as an important sport and recreation facility and valuable area of private open space contributing to the character and identity of the local plan area.
- (i) Development provides a network of open space to meet the needs of the local community and an integrated, legible and permeable road, cycle and pathway network which connects residential neighbourhoods to local centres, community and sport and recreation facilities and open space.
- (j) Development along the Sunshine Motorway and Emu Mountain Road protects the visual amenity of these roads as scenic routes and provides a wide, densely vegetated *landscape buffer* to effectively screen development from the road.
- (k) Development occurs in a logical sequence and provides for the efficient and timely provision of *infrastructure* and services.

Editor's note—development at Peregian Springs, Coolum Ridges and Old Emu Mountain Road is currently regulated in accordance with an approved master plan and plan of development.

7.2.24.4 Performance outcomes and acceptable outcomes

Table 7.2.24.4.1 Performance outcomes and acceptable outcomes for assessable development

Perforn	nance Outcomes	Acceptable Outcomes		
Develo	pment in the Peregian South Local Plan A	rea Generall	'y	
PO1	Development provides for buildings, structures and landscaping that are consistent with and reflect the coastal urban character and natural landscape setting of the Peregian South local plan area.	A01.1	Development provides for building design which incorporates the following features:- (a) a mix of lightweight and textured external building materials, including timber finishes or masonry construction with variation provided in texture and detailing; (b) articulated, pitched, skillion or curved	

Dart 7

Performa	ince Outcomes	Acceptable	Outcomes
		Acceptable	roof forms;
			 (c) open or transparent balustrades; and (d) landscaping integrated into the building design.
		AO1.2	Development uses understated colour schemes and low-reflective roofing and cladding materials.
		AO1.3	Development provides for existing mature trees to be retained and incorporated into the design of development.
PO2	 Development contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways to:- (a) enhance the sense of entry to the local plan area; and (b) enhance the landscape and visual amenity of the Sunshine Motorway. 	AO2.1	Development adjacent to identified gateway/entry points, where identified on Figure 7.2.24A (Peregian South local plan elements) , provides dense landscaping which effectively screens development from the Sunshine Motorway and enhances the natural landscape character of the local plan area.
		AO2.2	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design.
			Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including entry statement landscapes.
			Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area.
			Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as required.
PO3	Development on land adjacent to the Sunshine Motorway or Emu Mountain Road incorporates a <i>landscape buffer</i> to visually screen built form elements and maintain and enhance the visual amenity of these roads as scenic routes.	AO3	Development provides a minimum 20 metre wide densely vegetated <i>landscape buffer</i> along the Sunshine Motorway and Emu Mountain Road <i>frontage</i> , where identified on Figure 7.2.24A (Peregian South local plan elements).
PO4	Development provides for the Peregian Springs Golf Course to be retained as an important sport and recreation facility and open space area contributing to the character and identity of the local plan area.	A04	No acceptable outcome provided.
PO5	Development provides for the retention and enhancement of key landscape elements including <i>wetlands</i> , wallum heathland, bushland and other areas of significant <i>vegetation</i> contributing to the setting and character of the local plan area.	AO5	Development provides for the retention and enhancement of existing mature trees, stands of paperbarks, eucalypt, wallum heath and <i>wetlands</i> .
PO6	Development facilitates the provision of local ecological linkages connecting remnant <i>vegetation</i> areas within the local plan area to surrounding conservation areas where identified on Figure 7.2.24A (Peregian South local plan elements) .	AO6	No acceptable outcome provided. Editor's note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.

Pe <u>rforma</u>	ince Outcomes	Acceptable	Outcomes
P07	Development adjacent to the Noosa	AO7	No acceptable outcome provided.
	National Park or other ecologically		
	important areas provides a vegetated		Editor's note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets
	open space <i>buffer</i> to protect the sustainability of vegetation communities		out buffer distances and other requirements for
	and maintain visual amenity.		development on land adjacent to conservation
PO8	Development improves local	AO8	areas and other <i>ecologically important areas.</i> No acceptable outcome provided.
	connectivity by providing pedestrian	Acc	
	and cycle connections to and between		
	key destinations such as local centres,		
	existing and proposed public transport stops, community facilities, schools and		
	recreation facilities.		
	nent in the Local Centre Zone Generally		
PO9	Development in the Local centre zone	AO9	No acceptable outcome provided.
	supports the role and function of:-		
	(a) the local centre at the corner of Peregian Springs Drive and		
	Ridgeview Drive as a local (full		
	service) activity centre providing a		
	range of convenience goods and		
	services to local residents; and (b) other local centres as local (not		
	full service) activity centres		
	providing basic convenience		
DO 10	goods and services.	4010	
PO10	Development in the Local centre zone provides for the maximum gross	AO10	No acceptable outcome provided.
	leasable floor area of business uses to		
	not exceed:-		
	(a) for the local (full service) activity		
	centre at the corner of Peregian		
	Springs Drive and Ridgeview Drive, a total of 6,500m ² ;		
	(b) for the local centre on the corner		
	of Balgownie Drive and Peregian		
	Springs Drive, a total of 1,000m ² ;		
	and (c) for other local centres, a total of		
	$500m^{2}$, with no single tenancy		
	exceeding 100m ² .		
PO11	Development for a <i>supermarket</i> :-	PO11	No acceptable outcome provided.
	 (a) is only located within the Peregian South local (full service) activity 		
	centre at the corner of Peregian		
	Springs Drive and Ridgeview		
	Drive;		
	 (b) does not exceed a gross leasable floor area of 3,500m²; and 		
	(c) is sleeved and located behind		
	smaller scale fine grain built form		
	elements.		
PO12	Development in the Local centre zone:- (a) creates vibrant and active streets	AO12	Development in the Local centre zone:-
	 (a) creates vibrant and active streets and public spaces; 		 (a) respects the layout, scale (including height and setback) and character of
	(b) provides a coherent and attractive		development on adjoining sites;
	streetfront address and achieves		(b) where applicable, provides for new
	a high level of visual amenity;		or extended large floor plate retail
	 (c) provides a high level of comfort and convenience to pedestrians; 		uses to be sleeved and located behind smaller scale, fine grain built
	and		form elements;
	(d) provides functional and integrated		(c) incorporates shopfronts,
	car parking and vehicular <i>access</i>		indoor/outdoor cafes and
	that does not dominate the street.		restaurants and other activities that
			are likely to foster casual, social and

at the corner of Peregian Springs Drive and Ridgeview Drive:- (a) does not incorporate uses oriented towards passing trade on the Sunshine Motorway; (b) provides for a range of civic and community facilities and is designed to foster community interaction; (c) provides for any residential uses to be provided in a mixed use format above the ground storey; and (d) occurs in a manner which allows for the gradual and orderly expansion of the centre over time. No acceptable outcome provided. Development in the Medium Density Residential Zone residential zone:-	Porforme	nco Quitcomos	Accoptable		
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Performa	nce (Outcomes	Acceptable	Outcomes
	(d)	provides for a range of lot sizes	•	
	()	and in the case of Coolum Ridges,		
		provides medium density		
		residential development close to a		
		local centre;		
	(e)	provides an interconnected		
	• •	system of open space and		
		community facilities to meet the		
		needs of the local community;		
	(f)	provides an integrated, legible and		
		permeable road, cycle and		
		pathway network which connects		
		residential neighbourhoods to the		
		local centre, community, sport and		
		recreation facilities and open		
		space;		
	(g)	provides a new connection to the		
		Sunshine Motorway at the		
		southern end of the local plan		
	(1-)	area;		
	(h)	provides a wide, densely		
		vegetated <i>buffer</i> to the Sunshine Motorway and Emu Mountain		
		Road to effectively screen development and protect the		
		visual amenity of these roads as		
		scenic routes:		
	(i)	provides a wide, vegetated open		
	(.)	space <i>buffer</i> to the Noosa		
		National Park to protect the long		
		term viability of the National Park;		
		and		
	(j)	provides for the maintenance,		
		enhancement and reconnection of		
		native vegetation areas, wetlands		
		and other ecologically important		
		areas.		
<u> </u>				1



Sunshine Coast Planning Scheme 2014 **Peregian South Local Plan Area**



LEGEND	
123	Local Plan Area Boundary
	Waterway ^{Note 1}
4 1111)	Local Ecological Linkage
	Greenspace ^{Note 1}
	Community Activity/Facility ^{Note 1}
/////	Landscape Buffer
Steen a	Gateway/Entry Point
\longrightarrow	Indicative Road Linkage/Acccess Point

Note 1: For contextual purposes only.

0	70	140	280	420	560 Metres
			1:1	4,504	

Disclaimer While every care is taken to ensure the accuracy of this product, neither the Sunshine Coast Regional Council nor the State of Queensland makes any representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the moduct bains incarcurate or incomplete in any way or for any reacon oduct being inaccurate or incomplete in any way or for any



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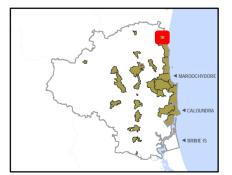


Figure 7.2.24A (Peregian South Local Plan Elements)

7.2.25 Sippy Downs local plan code

7.2.25.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Sippy Downs local plan area as shown on Map ZM33 contained within **Schedule 2** (Mapping); and
 - (b) identified as requiring assessment against the Sippy Downs local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.4.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.25.3 (Purpose and overall outcomes);
 - (b) Table 7.2.25.4.1 (Performance outcomes and acceptable outcomes for assessable development in the Sippy Downs local plan area generally);
 - (c) Table 7.2.25.4.2 (Additional performance outcomes and acceptable outcomes for assessable development in Precinct SID LPP-1 (Sippy Downs Town Centre)); and
 - (d) Figure 7.2.25A (Sippy Downs local plan elements).

7.2.25.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act 1992* and is intended to assist in the interpretation of the Sippy Downs local plan code.

The Sippy Downs local plan area is located in the central part of the Sunshine Coast, along the Sunshine Motorway, bordered to the west by the Bruce Highway, to the south by Sippy Creek and the Palmview declared master plan area and to the east by the Mooloolah River National Park. The local plan area includes the proposed Sippy Downs Town Centre, the University of the Sunshine Coast, the communities of Chancellor Park and Bellflower located to the south of the Sunshine Motorway and the Stringybark Road area north of the Sunshine Motorway. The local plan area takes in a land area of approximately 775 hectares.

The northern part of the local plan area is well vegetated and provides a bushland setting at the base of the Buderim escarpment and along Mountain Creek. The wallum heathland and open eucalypt woodlands of the Mooloolah River National Park, and remnant riparian vegetation along Sippy Creek provide an attractive landscape setting and natural edge to the local plan area in the east and south. The Chancellor Lakes system also provides an important open space link through the local plan area.

The proposed Sippy Downs Town Centre, located adjacent to the University of the Sunshine Coast, is a major regional activity centre and is intended to provide significant retail, commercial and community activities to service the needs of its resident population as well as the needs of surrounding communities, including the emerging community of Palmview located to the south of the local plan area. The proposed Sippy Downs Business and Technology Sub-precinct is located adjacent to the proposed Town Centre core and the University of the Sunshine Coast and is intended to support a broad range of science and technology based businesses and industries and maintain a strong nexus with the University.

The University of the Sunshine Coast is a regionally significant facility providing a focus for education, research and cultural activities on the Sunshine Coast. The University is intended to continue to grow and develop in conjunction with the new Town Centre. A number of schools are also located within the local plan area adjacent to the University including Chancellor State College primary and secondary campuses, Siena Catholic College and Siena Primary School and the Montessori International College.

The existing residential areas of the local plan area including the Chancellor Park and Bellflower estates comprise primarily single dwelling houses on suburban lots of varying sizes. Substantial retirement facilities are located within Chancellor Park and student accommodation is also provided adjacent to the University. Local centres at Chancellor Village Boulevard and Scholars Drive currently provide for the convenience needs of residents. Several showrooms are also located along Chancellor Village Boulevard.

Part 7

The Stringybark Road area in the northern part of the local plan area, currently comprises a small local business area and primarily low density and rural residential development, with small areas of multi-unit residential development. Parts of this area are intended to be redeveloped for medium density dwellings and low density residential development, given its proximity to the proposed Sippy Downs Town Centre.

The Sunshine Motorway is the major road link within the local plan area, traversing the local plan area in an east-west direction. Other key local road links include Sippy Downs Drive, University Way, Crosby Hill Road, Claymore Road, Dixon Road and Stringybark Road.

The local plan area has high levels of accessibility due to its location at the juncture of the Sunshine Motorway and the Bruce Highway.

Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.25.3 Purpose and overall outcomes

- (1) The purpose of the Sippy Downs local plan code is to provide locally relevant planning provisions for the assessment of development within the Sippy Downs local plan area.
- (2) The purpose of the Sippy Downs local plan code will be achieved through the following overall outcomes:-
 - (a) The Sippy Downs local plan area is a diverse urban area comprising a number of residential neighbourhoods and the University of the Sunshine Coast, supported by a major regional activity centre at Sippy Downs Town Centre.
 - (b) Urban and rural residential development in the Sippy Downs local plan area is limited to land within the urban and rural residential growth management boundaries respectively so as to protect the environmental and natural landscape values of the Mooloolah River National Park, Sippy Creek and bushland areas at the base of the Buderim escarpment, and to ensure the efficient provision of *infrastructure* and services.
 - (c) Development is sited and designed to protect and enhance the natural environmental and scenic values of the lower Buderim escarpment, Mountain Creek and Sippy Creek and adjacent areas including wetland, wallum heathland, paperbark and open eucalypt bushland vegetation communities, and provides for the establishment, protection and enhancement of an interconnected system of ecological and open space linkages. Development in the Sippy Downs Town Centre provides a biodiversity offset for native *vegetation* cleared as part of the development.⁵
 - (d) Development provides for high quality, sub-tropical building and landscape design that emphasises the casual, outdoor lifestyle. In the Major centre zone and High density residential zone, development:-
 - has a perimeter block form to maintain and define an active public realm and allow significant densities to be achieved without high rise buildings; and
 - achieves a comfortable pedestrian scale and quality in the public realm by providing buildings with a variety of heights to reduce the wall effects of development and create a varied skyline.
 - (e) Development supports the role and function of the Sippy Downs Town Centre (Precinct SID LPP-1) as a major regional activity centre, providing a broad range of higher order retail, commercial, community, entertainment and employment generating uses to service the needs of residential areas within the local plan area and surrounding areas, including residential areas south of Buderim and west of Mooloolaba and the emerging community of Palmview, as well as significant residential development to support transit oriented development outcomes.
 - (f) Development in the Sippy Downs Town Centre (Precinct SID LPP-1) does not detract from or have an adverse impact on the intended role and function of:-

⁵ Note—the clearing of native vegetation for the purposes of providing for the development of the Sippy Downs Town Centre Major Regional Activity Centre is considered to satisfy the community interests test set out in section 3.7.2.1(c) of the Strategic Framework. Notwithstanding this, vegetation is still to be retained in the specific circumstances required by this code. Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out the requirements for environmental offsets. Approval for clearing may still be required under State or Federal legislation.

- (i) Maroochydore as the principal regional activity centre for the Sunshine Coast; or
- (ii) nearby major regional activity centres at Nambour and Kawana.
- (g) Development supports the role and function of the University of the Sunshine Coast and the Sippy Downs Business and Technology Sub-precinct as regional employment opportunity areas which:-
 - (i) in the case of the University of the Sunshine Coast, provides a focus for tertiary education, training and research activities; and
 - (ii) in the case of the Sippy Downs Business and Technology Sub-precinct, provides a focus for science and technology related business and industries and has a strong nexus with the University of the Sunshine Coast.
- (h) Development in the Major centre zone in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core):-
 - (i) provides the main retail, commercial and civic uses for the local plan area in accordance with Table 7.2.25.4.3 (Sippy Downs local plan supplementary table of consistent uses and potentially consistent uses in the Major centre zone);
 - (ii) results in the creation of a traditional main street based town centre rather than a shopping centre or internalised mall type of development;
 - (iii) incorporates medium to high density residential uses as part of *mixed use* developments ⁶;
 - (iv) is characterised by its vibrant, active streets with high pedestrian activity and buildings with close street relationships;
 - (v) results in a walkable centre characterised by wide tree lined streets and public spaces marking prominent corners and provides expansive social space for community life and interaction;
 - (vi) provides a simple, grid-based urban form and movement network which ensures a high level of connectivity for pedestrians, cyclists and vehicles;
 - (vii) provides *public open space* in the form of a centrally located Town Square and a number of Mini Plazas at specific locations;
 - (viii) provides land for the establishment of a multi purpose, integrated community facility;
 - (ix) provides safe, efficient and legible pedestrian access to public transport infrastructure;
 (x) ensures retail uses are dispersed across the town centre core rather than being
 - (x) ensures retail uses are dispersed across the town centre core rather than being consolidated in one area;
 (xi) ensuring that all rate il ensuring a being a supersed to the total and the total across the total acros
 - (xi) provides that all retail premises being a *supermarket* or a *discount department store* are separated by a street and are not developed as an indoor retail shopping mall; and
 (xii) provides that all or most retail uses address and activate the street.
- (i) Development in the Major centre zone in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct):-
 - supports the creation of a 'knowledge-based' employment precinct that has a strong nexus with the University of the Sunshine Coast and provides opportunities to incubate and grow businesses;
 - (ii) comprises a range of commercial, educational, health care, government and some residential uses that support and complement the Town Centre Core (Sub-precinct SID LPSP-1a) and the University of the Sunshine Coast in accordance with Table
 7.2.25.4.3 (Sippy Downs local plan supplementary table of consistent uses and potentially consistent uses in the Major centre zone);
 - provides for uses including research facilities, laboratories, research and technologybased industries, offices and consulting rooms, a conference centre, studios, media production facilities, community and education-related uses and tourist and conference accommodation;
 - (iv) provides for medium density *mixed use developments* incorporating residential and non-residential uses;
 - (v) provides a simple grid-based urban form and movement network that links with extensions of the Town Centre Core (Sub-precinct SID LPSP-1a) grid and extensions of the University of the Sunshine Coast grid;
 - (vi) provides *public open space* in the form of a Town Plaza and a number of Mini Plazas at specific locations; and
 - (vii) provides for a small local (not full service) activity centre that:-

⁶ Note—*mixed use development* in the Sippy Downs Town Centre may be staged such that initial stages of development do not include a residential component provided that:-

⁽a) it is clear how future stages of development will achieve a *mixed use development* outcome; and

⁽b) the early stages of development do not prejudice the delivery of a *mixed use development* outcome.

- (A) serves the local residents, businesses and employees of the immediate area;
- (B) is located in the 'Main Street' designated area on the southern side of the Town Plaza; and
- (C) has a total maximum *gross leasable floor area* for retail and catering uses that does not exceed 500m².
- (j) The Chancellor Park West local centre located on Chancellor Village Boulevard, functions as a local (full service) activity centre servicing the local convenience needs of nearby residents. Development for retail premises in the Local centre zone and Specialised centre zone at Chancellor Park West does not expand beyond the specified maximum gross leasable floor area limit so as to protect the intended role and function of the Sippy Downs Town Centre.
- (k) Other designated local centres at Stringybark Road and Scholars Drive are retained as local (not full service) activity centres servicing the basic convenience needs of nearby residents.
- (I) Development in the High density residential zone in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) provides for a high quality, walkable residential neighbourhood comprising a range of medium to high density housing types in close proximity to the Sippy Downs Town Centre and focussed around a large central *public open space* in the form of a forest *park*. Development is configured in a grid layout which ensures a high level of connectivity internally and externally, particularly to the Sippy Downs Town Centre Core, and maintains a perimeter block form of development with buildings overlooking the street, parks and other public spaces.
- (m) Residential expansion occurs in the Stringybark Road area as large lots are developed for a range of residential dwelling types and densities in accordance with allocated zones. Development in this area occurs in an integrated manner and provides a high level of permeability and connectivity including new road links between Toral Drive and Jorl Court, Jorl Court and Walgarri Drive and Stringybark Road and Dixon Road (via Goshawk Boulevard and Power Road).
- (n) Development in the Emerging community zone at 137 Crosby Hill Road, Tanawha, provides for:-
 - business activities to be limited to small scale local convenience goods and services only;
 - (ii) a dedicated road link between Crosby Hill Road and Rainforest Sanctuary Drive; and
 - (iii) adequate and sensitive address of site constraints including flooding, *vegetation*, *waterways* and *wetlands*.
- (o) Development in the Medium density residential zone, Low density residential zone, Emerging community zone and Rural residential zone provides a network of open space to meet the needs of the local community and an integrated, legible and permeable road, cycle and pathway network which connects residential neighbourhoods to the Sippy Downs Town Centre, local centres, the University of the Sunshine Coast, local schools, community and sport and recreation facilities and open space.
- (p) Development along the Sunshine Motorway and Bruce Highway protects the visual amenity of these roads as scenic routes and provides a wide, densely vegetated *landscape buffer* to effectively screen development from these roads.
- (q) The *transport network* is progressively upgraded to meet the needs of the local plan area and provide increased connectivity and permeability. Development contributes to, and does not compromise the provision and operation of, proposed new roads within the Sippy Downs Town Centre and the Stringybark Road area, the Sunshine Motorway or the Bruce Highway.
- (r) Development occurs in a logical sequence and provides for the efficient and timely provision of infrastructure and services in a manner that does not compromise the future development of any adjoining lot or the planned ultimate development outcomes.
- (s) Development provides telecommunications *infrastructure* and services such that the Sippy Downs local plan area, and in particular the Sippy Downs Town Centre and the University of the Sunshine Coast, has *best practice* standard telecommunications capability.

7.2.25.4 Performance outcomes and acceptable outcomes

Table 7.2.25.4.1Performance outcomes and acceptable outcomes for assessable
development in the Sippy Downs local plan area generally

Perform	ance Outcomes	Acceptable	e Outcomes
	ment in the Sippy Downs Local Plan Are		
PO1	Development does not detract from the role and function of the Sippy Downs Town Centre (Major centre zone) as a major regional activity centre and the primary focus for retail, commercial and civic activities within the local plan area.	AO1	No acceptable outcome provided.
PO2	Development for a higher order business use is located in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core), including the following:- (a) a <i>full line supermarket</i> ; (b) a <i>discount department store</i> ; and (c) a <i>theatre</i> .	AO2	No acceptable outcome provided.
PO3	Development provides for buildings, structures and landscaping that are consistent with and reflect and enhance the coastal urban character of the Sippy Downs local plan area.	AO3.1	 Development provides for building design which incorporates the following features:- (a) a mix of lightweight and textured external building materials, including timber finishes or masonry construction with variation provided in texture and detailing; (b) articulated, pitched, skillion or curved roof forms; (c) open or transparent balustrades; and (d) landscaping integrated into the building design.
		AO3.2	Development uses understated colour schemes and low-reflective roofing and cladding materials.
		AO3.3	Development provides for existing mature trees and stands of native <i>vegetation</i> to be retained and incorporated into the design of development.
PO4	Development provides for the retention and enhancement of key landscape elements including <i>wetlands</i> , wallum heathland, bushland and other areas of significant <i>vegetation</i> contributing to the setting, character and sense of place of the Sippy Downs local plan area.	A04	 Development retains, protects and enhances existing mature trees and character <i>vegetation</i> contributing to the setting and character of the local plan area including:- (a) riparian <i>vegetation</i> along Mountain Creek and Sippy Creek; (b) bushland areas at the base of the Buderim escarpment identified on Figure 7.2.25A (Sippy Downs local plan elements); (c) bushland within the <i>landscape buffer</i> to the Sunshine Motorway; and (d) other character <i>vegetation</i> identified on Figure 7.2.25A (Sippy Downs local plan elements). Note—in some circumstances, the eradication of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
PO5	Development contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways to enhance	AO5.1	Development adjacent to gateway/entry points where identified on Figure 7.2.25A (Sippy Downs local plan elements):-

Performa	nce Outcomes	Acceptable	Outcomes
	the sense of entry to, and character of, the Sippy Downs local plan area.		 (a) incorporates architectural and landscape treatments which enhance the sense of arrival to, and the coastal urban character, of the local plan area, and emphasise corner locations; and (b) incorporates building materials such as varied roof forms, changes in materials and variations in projected and recessed elements and facades.
		AO5.2	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design.
			Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including entry statement landscapes.
			Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area.
			Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as required.
			Editor's note—Table 7.2.25.4.2 (Additional criteria for assessable development in Precinct SID LPP-1 (Sippy Downs Town Centre) sets out the requirements for streetscape improvements in Precinct SID LPP-1 (Sippy Downs Town Centre).
PO6	Development on land adjacent to the Sunshine Motorway or the Bruce Highway provides a wide densely vegetated <i>landscape buffer</i> to visually screen built form elements and maintain	A06	Development on land adjacent to the Sunshine Motorway or the Bruce Highway provides a minimum 20 metre wide densely vegetated <i>landscape buffer</i> .
	and enhance the visual amenity of these roads as scenic routes.		Editor's note—Table 7.2.25.4.2 (Additional criteria for assessable development in Precinct SID LPP-1 (Sippy Downs Town Centre) sets out the requirements for <i>landscape buffers</i> in Precinct SID LPP-1 (Sippy Downs Town Centre).
PO7	Development improves local connectivity by providing an integrated, legible and permeable road, cycle and pathway network which provides connections to and between key	A07.1	Development complements and extends pedestrian and cycle linkages, including where identified on Figure 7.2.25A (Sippy Downs local plan elements).
	destinations including the Sippy Downs Town Centre, local centres, the University of the Sunshine Coast, existing and proposed transit stations and public transport stops, community facilities, schools, recreation facilities and open space.	A07.2	Development provides a simple, grid- based road/street network which complies with and complements the proposed road/street network identified on Figure 7.2.25A (Sippy Downs local plan elements).
PO8	Development on land with frontage to Sippy Creek or Mountain Creek facilitates the provision of a local ecological linkage as identified on Figure 7.2.25A (Sippy Downs local plan elements).	AO8	No acceptable outcome provided. Editor's note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.
PO9	Development provides for, and does not compromise the future provision and operation of, <i>transport networks</i>	AO9	No acceptable outcome provided.

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Performa	ince Outcomes	Acceptable	Outcomes
	 including:- (a) proposed new roads within the Sippy Downs Town Centre (Precinct SID LPP-1), the Stringybark Road area and elsewhere in the local plan area where identified on Figure 7.2.25A (Sippy Downs local plan elements); (b) the Sunshine Motorway; and (c) the Bruce Highway. 		
PO10	nent in the Local Centre Zone Development in the Local centre zone	AO10	No acceptable outcome provided.
	 supports the role and function of:- (a) the Chancellor Park West local centre as a local (full service) activity centre providing convenience goods and service to local residents; and (b) other local business areas as local (not full service) activity centres providing basic convenience goods and services to local residents. 		
PO11	 Development in the Local centre zone provides for the <i>gross leasable floor area</i> of commercial and retail business uses to not exceed:- (a) for the Chancellor Park West Local Centre, a total of 8,400m²; and (b) for other local centres, a total of 1,000m². Editor's note—Table 7.2.25.4.2 (Additional criteria for assessable development in Precinct SID LPP-1 (Sippy Downs Town Centre) sets out the requirements for local centres in Precinct SID LPP-1 (Sippy Downs Town Centre). 	A011	No acceptable outcome provided.
PO12	Development in the Local centre zone provides for no more than one <i>supermarket</i> to be established so as to protect the role and function of the Sippy Downs Town Centre.	AO12	No acceptable outcome provided.
PO13	 Development in the Local centre zone provides:- (a) a coherent and attractive streetfront address and achieves a high level of visual amenity; (b) vibrant and active streets and public spaces; (c) a high level of comfort and convenience for pedestrians; and (d) functional and integrated car parking and servicing areas which do not dominate the street. 	AO13	 Development in the Local centre zone:- (a) respects the layout, scale and character of development on adjoining sites; (b) has building openings overlooking the street; (c) provides for <i>primary active street frontages</i>, built to the front boundary, where identified on Figure 7.2.25A (Sippy Downs local plan elements); (d) provides all weather protection in the form of continuous awnings and/or light verandah structures over footpath areas with mature or semimature shade trees planted along the <i>site frontage</i> adjacent to the kerbside; (e) includes provision of landscaping, shaded seating and consistent and simple paving materials on footpaths; and

	ince Outcomes	Acceptable	Outcomes
renonna		Acceptable	(f) provides on-site car parking at the rear of the development, integrated
			with other vehicle movement areas.
Develop	nent in the Specialised Centre Zone		
PO14	 Development in the Specialised centre zone provides for:- (a) existing retail showroom uses to not be expanded so as to protect the role and function of the Sippy Downs Town Centre; and (b) the total <i>gross leasable floor area</i> for all proposed, existing and approved retail uses to not exceed a total of 8,500m². 	A014	No acceptable outcome provided.
PO15	Development in the Specialised centre zone is located, designed and effectively screened such that it is not recognisable from the Sunshine Motorway.	AO15	No acceptable outcome provided.
	nent in the Low Density Residential Zon		
PO16	 Development in the Low density residential zone in Toral Drive and Jorl Court provides for the amalgamation of lots to create development sites which:- (a) are of a sufficient size to ensure the coordinated and orderly development of sites; and (b) provides for a lot and street layout which avoids or minimises the creation of culs-de-sac and rear lots. 	AO16	 Development in the Low density residential zone in Toral Drive and Jorl Court:- (a) provides for the amalgamation of lots to create a minimum development <i>site</i> of 1 hectare; and (b) avoids the creation of <i>rear lots</i> and culs-de-sac.
Develop	nent in the Medium Density Residential	Zone	
P017	 Development in the Medium density residential zone:- (a) provides for the establishment of a range of medium density housing types, including long and short term accommodation in close proximity to the Sippy Downs Town Centre, local centres, the University of the Sunshine Coast and other educational facilities; (b) contributes positively to local streetscape character; (c) provides for generous open space to be maintained between buildings to preserve a predominantly open feel; and (d) provides strong pedestrian links to the Sippy Downs Town Centre, local centres, the University of the Sunshine Coast and other educational facilities. 	A017	No acceptable outcome provided.
PO18	Development provides a minimum 20 metre wide landscaped <i>buffer</i> to the electricity substation at Power Road.	AO18	No acceptable outcome provided.
Tanawha)	-	7 on RP817448 at 137 Crosby Hill Road,
PO19	Development in the Emerging community zone on Lots 1 and 7 on RP817448 at 137 Crosby Hill Road, Tanawha, provides for the following:- (a) any commercial/retail development to be limited to small scale local convenience goods and services	AO19	No acceptable outcome provided.

- renorma	nce Outcomes	Acceptable	Outcomes	
	only;			
	(b) the total gross leasable floor area			
	for business uses to not exceed:-			
	(i) a total of 700m ² for all			
	business uses on the site;			
	(ii) a total of 100m ² for <i>health</i>			
	<i>care services</i> ; and			
	(iii) a total of 500m ² for any <i>shop</i>			
	tenancy;			
	(c) a public road connection, including			
	pedestrian and cycle links, along			
	Meads Road connecting Crosby			
	Hill Road and Rainforest Sanctuary			
	Drive, as identified on Figure			
	7.2.25A (Sippy Downs local plan			
	elements);			
	(d) adequate flood immunity whilst			
	minimising the total amount of fill			
	required and avoiding any adverse			
	off site impacts;			
ſ	(e) retention of significant <i>vegetation</i>			
ſ	on the site including character			
ľ	vegetation identified on Figure			
	7.2.25A (Sippy Downs local plan			
	elements); and			
	(f) appropriate <i>buffers</i> to <i>waterways</i>			
	and wet/ands.			
Developr	nent in the Community Facilities Zone (University of	the Sunshine Coast)	
PO20	Development in the Community	AO20	No acceptable outcome provided.	
	facilities zone at the University of the			
	Sunshine Coast:-			
	(a) supports the role and function of			
	the University of the Sunshine			
	Coast as a regional employment			
	opportunity area with a focus on			
	tertiary education, training and			
	research activities and ancillary			
	activities;			
	(b) does not detract from the Sippy			
	Downs Town Centre as the primary			
	focus for business uses and			
	community activity within the local			
	community activity within the local			
I	plan area;			
i i	plan area; (c) integrates effectively with the Sippy			
	plan area;(c) integrates effectively with the Sippy Downs Town Centre;			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open 			
	plan area;(c) integrates effectively with the Sippy Downs Town Centre;			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- (i) is located where identified on Figure 7.2.25F (Sippy 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- (i) is located where identified on Figure 7.2.25F (Sippy Downs Town Centre Open 			
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- (i) is located where identified on Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and 			2
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- (i) is located where identified on Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); 			6
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- (i) is located where identified on Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (ii) provides the principal open 			4 +
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- (i) is located where identified on Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (ii) provides the principal open space for the Sippy Downs 			۲ ۲
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- (i) is located where identified on Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (ii) provides the principal open space for the Sippy Downs Town Centre; 			2.H. 7
	 plan area; (c) integrates effectively with the Sippy Downs Town Centre; (d) is designed around a major open space axis linking the Sippy Downs Town Centre to the University; (e) provides buildings and landscaping which contribute to a distinctive image and character and define and enclose the open space axis; (f) provides the main transit hub for the Sippy Downs local plan area; and (g) provides a University Park which:- (i) is located where identified on Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (ii) provides the principal open space for the Sippy Downs 			7 40

Performa	ance Outcomes	Acceptable	Outcomes
	Stringybark Road; and (iv) is an open parkland with areas of bushland, existing		
Davalan	trees and gardens. ment in the Community Facilities Zone (L	of 1 \$P2157	55 at 227 227 Sippy Downs Drivo
PO21	 Development in the Community facilities zone on Lot 1 SP215755, at 227 – 237 Sippy Downs Drive:- (a) may provide for a service station and food and drink outlet (including a high volume convenience restaurant and drive-through facility); and (b) does not provide for retail or commercial activities other than those directly ancillary to a service station. 		No acceptable outcome provided.

Table 7.2.25.4.2Additional performance outcomes and acceptable outcomes for
assessable development in Precinct SID LPP-1 (Sippy Downs Town
Centre)7

ance Outcomes		Outcomes
oment in Precinct SID LPP-1 (Sippy Down	s Town Cent	tre) Generally
	101	
 entre Structure and Character Development contributes to the creation of a vibrant, mixed use, transit oriented community incorporating a range of land uses and an urban structure configured in a manner generally in accordance with Figure 7.2.25B (Sippy Downs Town Centre Master Plan) and comprising the following sub-precincts identified on Local Plan Map LPM33:- (a) the Sippy Downs Town Centre Core (Sub-precinct SID LPSP-1a); (b) the Sippy Downs Business and Technology Sub-precinct (Sub-precinct SID LPSP-1a); (c) the Sippy Downs West Neighbourhood (Sub-precinct SID LPSP-1c). Development contributes to the creation of a memorable town centre by:- (a) contributing to the creation of vibrant public and semi public spaces; (b) ensuring that built form increases legibility; (c) maximising pedestrian activity; (d) providing a high level of amenity for 	A01	No acceptable outcome provided. No acceptable outcome provided. Note—the Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving the desired architectural and landscape character of the Sippy Downs Town Centre.
 all users; and (e) contributing to the desired character of the Sippy Downs Town Centre as a place with innovative architecture and landscaping which:- (i) reflects its surroundings; (ii) respects the preferred built form for the relevant Subprecinct; (iii) capitalises on the sub-tropical climate; 		

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⁷ Editor's note—the Planning Scheme Policy for Sippy Downs Town Centre provides guidance in relation to the achievement of certain outcomes in this code.

Performa	ance Outcomes	Acceptable	Outcomes
	(iv) has a high level of public and		
	private amenity; (v) promotes variety and visual		
	interest; and		
	(vi) delivers a vibrant relationship		
	with adjacent public and semi- public spaces.		
Land Us			
PO3	Development in the Major centre zone in Precinct SID LPP-1 (Sippy Downs Town Centre) provides for:-	AO3	No acceptable outcome provided.
	(a) a use listed as a consistent use in Column 1 of Table 7.2.25.4.3 (Sippy Downs local plan		
	supplementary table of		
	consistent uses and potentially consistent uses in the Major		
	centre zone) to occur in the		
	relevant sub-precinct; and		
	(b) a use listed as a potentially consistent use in Column 2 of		
	Table 7.2.25.4.3 to occur in the		
	relevant sub-precinct only where further assessment has determined		
	that the use is appropriate in the		
	sub-precinct having regard to such		
	matters as its location, nature, scale and intensity.		
	-		
	Note—a use not listed in Table 7.2.25.4.3 is an inconsistent use and is not intended to		
	occur in the Major centre zone in the relevant		
Connect	sub-precinct of Precinct SID LPP-1.		
PO4	Development provides an	AO4	Development provides for all Principal
	interconnected, efficient and permeable street network which:-		Streets and Local Access Streets:- (a) to be provided in the locations
	(a) facilitates convenient <i>access</i> for		identified on Figure 7.2.25A (Sippy
	pedestrians, cyclists and vehicles;		Downs local plan elements);
	(b) provides clear, safe and convenient connections to existing and		(b) to be designed in accordance with the standards specified in the Planning
	proposed streets;		scheme policy for Sippy Downs
	(c) in the case of Principal Streets:-(i) are located where identified		Town Centre; and (c) to be dedicated as road reserve.
	on Figure 7.2.25A (Sippy		(c) to be dedicated as toad reserve.
	Downs local plan elements);		
	and (ii) provide the focus for activity		
	and movement in the Sippy		
	Downs Town Centre; (d) in the case of Local Access		
	Streets:-		
	(i) are provided in the		
	approximate location identified on Figure 7.2.25A		
	(Sippy Downs local plan		
	elements); and		
	(ii) provide for additional through		
	connections in the street network; and		
	(e) ensures that all Principal and Local		
	Access Streets are provided and are dedicated as road reserve.		
		105	No econtable suteside a
PO5	Development provides a support	AO5	No acceptable outcome provided.
PO5	Development provides a support network of rear/service lanes to provide:-	AU5	No acceptable outcome provided.

Perform	ance Outcomes	Acceptable	Outcomes	
	(a) vehicle <i>access</i> to lots;(b) service functions;			
	(c) intra-block connectivity; (d) high levels of vehicle and			
	pedestrian permeability;			
	(e) opportunities for shared or consolidated <i>access</i> and servicing;			
	and (f) further block subdivision.			
PO6	Development provides for vehicular access arrangements which:- (a) do not provide for direct access to/from 'A' Street where in Sub- precinct SID LPSP-1a (Sippy Downs Town Centre Core), Stringruberk Board or Town Control	AO6.1 AO6.2	Development provides that a servicing area and a car parking area are only accessed from a Local Access Street. Vehicular <i>access</i> to 'A' Street where in Sub-precinct SID LPSP-1c (Sippy Downs	
	Stringybark Road or Town Centre Connector Roads where identified on Figure 7.2.25D (Sippy Downs Town Centre Road/Street Designations); and (b) provide for limited direct access to/from:-		West Neighbourhood) or Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) is limited to instances where <i>access</i> cannot be reasonably achieved from a Local Access Street.	
	 (i) other Principal Streets; and (ii) 'A' Street, where in Sub- precinct SID LPSP-1c (Sippy Downs West Neighbourhood) or Sub-precinct SID LPSP-1b 	AO6.3	Development is designed and sited such that it does not restrict the ability of adjacent premises to achieve vehicular access to a Local Access Street.	
	 (Sippy Downs Business and Technology Sub-precinct); and (c) do not restrict the ability of adjacent premises to achieve access to/from a Local Access Street. 	AO6.4	Where direct vehicular access to 'A' Street is required, because access is not possible from another street, the access to 'A" street is limited to left-in/left-out movements only and is temporary until the preferred access arrangement can be achieved.	
PO7	Development contributes to the creation of a safe and convenient pedestrian and cycle movement network, including where identified on Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages).	A07	No acceptable outcome provided.	
PO8	Development provides pedestrian through block links which:-	AO8	No acceptable outcome provided.	
	 (a) are located: (i) generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (ii) at other mid block locations to 		Note—the Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to the provision of pedestrian through block links.	
	align with key activity nodes and the indicative pedestrian crossings of streets; (b) provide guaranteed 24 hour/7 days a week public access by means of			
	 a dedicated easement to <i>Council</i>; (c) are consistent with the preferred street layout; and (d) have a minimum width of 5 metres. 			
Parking		400		
PO9	Development being a multi-level car parking structure:-	AO9	No acceptable outcome provided.	
	 (a) is sleeved behind the active street frontage; 			Dart
	(b) does not have a direct street <i>frontage</i> other than to a Local			
		I	1	

Perform	ance Outcomes	Acceptable	Outcomes
	Access Street; and		
	(c) in Sub-precinct SID LPSP-1a	1 '	1
	(Sippy Downs Town Centre Core),	1 '	1
	is located towards the periphery of	1 '	1
	the Sub-precinct generally in the locations identified in Figure	1 '	1
	7.2.25C (Sippy Downs Town	1 '	1
	Centre Core Plan).	1 '	1
PO10	Development which is adjacent to the	AO10	No acceptable outcome provided.
	Sunshine Motorway ensures that any	1 '	1
	car parking area is not visible from the	1 '	1
2044	Sunshine Motorway.		
PO11	Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and	A011	No acceptable outcome provided.
	Technology Sub-precinct) and Sub-		1
	precinct SID LPSP-1c (Sippy Downs	'	I
	West Neighbourhood) provides for small		1
	scale landscaped car parking areas		1
	which are designed to minimise visual		1
	impacts.	<u> </u>	
Built For		1040	
PO12	Development takes on a perimeter block form to:-	AO12	No acceptable outcome provided.
	a) maintain and define an active	'	Note—the Planning scheme policy for Sippy
	public realm;	'	Downs Town Centre provides guidance in
	(b) maximise casual surveillance of	'	relation to 'Perimeter block' form.
	streets; and		Note—for the purposes of development in the
	(c) allow high densities to be achieved	'	Sippy Downs Town Centre, the built form
	without high rise buildings.	1 1	provisions, including site cover and setback
		1 1	provisions, of the Multi-unit residential uses
		1	code and Business uses and centre design code do not apply. To remove any doubt, built
		1 1	form for the Sippy Downs Town Centre is to be
		'	in accordance with the provisions specified in
10	- that buildings	!	this code.
PO13	Development ensures that buildings	AO13	No acceptable outcome provided.
	(including balconies) maintain a maximum building depth of 25 metres	1 1	1
	from the property <i>frontage</i> unless:-	'	1
	(a) for a large floor plate use being a	1 1	1
	supermarket or a discount	'	1
	department store, which is unable	1 1	1
	to be located entirely within the	'	1
	perimeter development area;	1 1	1
	(b) for a multi-storey car parking	'	1
	station, which is to be located in accordance with performance	'	1
	outcome PO9; or	'	1
	(c) where a 'pedestrian through block	'	1
	link' is identified in conjunction with	'	1
	'secondary active street frontage' in	'	1
		1 .	1
	Figure 7.2.25C (Sippy Downs	۱ I	
	Town Centre Core Plan),	ļ	
	Town Centre Core Plan), development should address these		
PO14	Town Centre Core Plan), development should address these links.	A014	No accontable outcome provided
PO14	TownCentreCorePlan),development should address these links.Development ensures that a building is	A014	No acceptable outcome provided.
P014	Town Centre Core Plan), development should address these links.	A014	Note—The Planning scheme policy for Sippy
PO14	TownCentreCorePlan),development should address theselinks.Development ensures that a building islocated and designed to support the	A014	Note—The Planning scheme policy for Sippy Downs Town Centre provides guidance in
PO14	TownCentreCorePlan),development should address theselinks.Development ensures that a building islocated and designed to support thedesired character of the Sippy Downs	A014	Note—The Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving the desired architectural
P014	TownCentreCorePlan), development should address these links.Development ensures that a building is located and designed to support the desired character of the Sippy Downs Town Centre to:- (a) capitalise on vistas and use built form elements to create an	A014	Note—The Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving the desired architectural and landscape character of the Sippy Downs
PO14	TownCentreCorePlan), development should address these links.Development ensures that a building is located and designed to support the desired character of the Sippy Downs Town Centre to:-(a)capitalise on vistas and use built form elements to create an appropriate landmark to increase	A014	Note—The Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving the desired architectural
PO14	TownCentreCorePlan), development should address these links.Development ensures that a building is located and designed to support the desired character of the Sippy Downs Town Centre to:-(a)capitalise on vistas and use built form elements to create an 	A014	Note—The Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving the desired architectural and landscape character of the Sippy Downs Town Centre and building massing and
PO14	TownCentreCorePlan), development should address these links.Development ensures that a building is located and designed to support the desired character of the Sippy Downs Town Centre to:-(a)capitalise on vistas and use built form elements to create an appropriate landmark to increase legibility within the Sippy Downs Town Centre;	A014	Note—The Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving the desired architectural and landscape character of the Sippy Downs Town Centre and building massing and
PO14	TownCentreCorePlan), development should address these links.Development ensures that a building is located and designed to support the desired character of the Sippy Downs Town Centre to:-(a)capitalise on vistas and use built form elements to create an appropriate landmark to increase legibility within the Sippy Downs	A014	Note—The Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving the desired architectural and landscape character of the Sippy Downs Town Centre and building massing and

Porform	ance Outcomes	Accontable	Outcomes
Penorina	(c) reduce the reliance on non-	Acceptable	Outcomes
	renewable energy sources for		
	heating and cooling systems in		
	response to the local climate;		
	(d) minimise excessive shade or sun		
	exposure on public spaces;		
	(e) deliver a high level of public and		
	private amenity;		
	(f) promote variety and visual interest		
	within the <i>streetscape</i> and public		
	realm;		
	(g) provide a sense of enclosure to streets and public spaces;		
	(h) provide for a seamless transition		
	from external areas to internal		
	areas;		
	(i) ensure equitable access to		
	attractive views and prevailing		
	cooling breezes; and		
	(j) avoid excessively wide and tall		
	facades and inadequate spaces		
	between buildings.		
PO15	The height of buildings complies with	AO15	No acceptable outcome provided.
	Figure 7.2.25E (Sippy Downs Town		
	Centre Building Heights) such that:-		
	(a) buildings fronting a Principal Street		
	have:-		
	(i) a maximum height of not more than 6 storeys and not more		
	than 25 metres, other than		
	where otherwise provided for		
	in performance outcome PO52		
	below; and		
	(ii) a minimum height of not less		
	than:-		
	(A) 1 <i>storey</i> where for the		
	purposes of a <i>child care</i>		
	centre located in Sub-		
	precinct SID LPSP-1c		
	(Sippy Downs West		
	Neighbourhood)); and		
	(B) 2 <i>storeys</i> otherwise; and		
	(b) buildings fronting a Local Access Street have:-		
	(i) a maximum height of not more		
	than 4 <i>storeys</i> and not more		
	than 15 metres; and		
	(ii) a minimum height of not less		
	than 2 storeys.		
PO16	Development provides for a variation in	AO16	No acceptable outcome provided.
	building height such that:-		
	(a) development on a Principal Street		
	provides for buildings taller than 4		
	storeys or 15 metres to be limited		
	to the following locations:- (i) the corner of two Principal		
	(i) the corner of two Principal Streets;		
	(ii) premises where a separation		
	of 30 metres is achieved to an		
	existing or future 5 or 6 storey		
	corner element;		
	(iii) towards the <i>frontage</i> of 'A'		
	Street and Sippy Downs Drive;		
	and		
	(iv) at a terminating vista; and		
	(b) development on a Local Access		

Perform	ance Outcomes	Acceptable	Outcomes
	Street provides for buildings taller		
	than 2 <i>storeys</i> or 8.5 metres to be		
	limited to corner locations.		
PO17	 Development on a Principal Street limits the size of the building footprint above 4 <i>storeys</i> or 15 metres and provides separation between the built form elements to:- (a) reduce the wall effects of development and ensure that light and air can penetrate; (b) ensure that taller buildings act as 	A017	No acceptable outcome provided. Note—the Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving desired outcomes for the taller elements of buildings.
	 'pop up' elements above a lower 2 to 4 storey (15 metre) wall rather than as part of a taller wall; (c) create a varied skyline; (d) create vistas up and out of streets to the sky and landscape elements; (e) incorporate a variety of dwelling types; (f) ensure that privacy between 		
BO19	dwellings is enhanced and that overlooking and overshadowing is minimised; and (g) provide greater variety to the streetscape.	4019	Ne secontable outcome provided
PO18	 Development which is more than 4 <i>storeys</i> or 15 metres in height and situated on a corner ensures that the part of the building which is above 4 <i>storeys</i> or 15 metres:- (a) is limited to a maximum footprint of 450m²; and (b) has a minimum horizontal separation distance of 30 metres to other elements above 4 <i>storeys</i> or 15 metres. 	AO18	No acceptable outcome provided. Note—the Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to achieving desired outcomes for the taller elements of buildings.
PO19	Development minimises gaps between buildings fronting streets and where a break or separation is provided between buildings for service access or other purposes, a minimum clear distance of 6 metres is provided between the buildings for the full height of the structure.	AO19	No acceptable outcome provided.
PO20	Development for a residential use exceeding 4 <i>storeys</i> or 15 metres in height that faces or backs onto another residential use provides a minimum separation distance of 18 metres between the balconies of the residential uses.	AO20	No acceptable outcome provided.
	pe Buffer	4024	Development provides a landstart by f
PO21	 Development provides a <i>landscape buffer</i> in the form of a Forest Buffer to the Sunshine Motorway which:- (a) retains all existing <i>vegetation</i> within the <i>buffer</i> area; (b) is of sufficient width to effectively screen development and provide a visual buffer to and from the Sunshine Motorway; (c) where on the southern side of the Sunshine Motorway, is transferred to the <i>Council</i> in freehold tenure; 	AO21	 Development provides a <i>landscape buffer</i> in the form of a Forest Buffer to the Sunshine Motorway which:- (a) has a minimum width of 20 metres measured from the Sunshine Motorway property boundary; (b) is provided in the location identified on Figure 7.2.25B (Sippy Downs Town Centre Master Plan); (c) where on the southern side of the Sunshine Motorway, is transferred to the Council in freehold tenure; and

Perform	ance Outcomes	Accentable	Outcomes
Landsca	 (d) is located in accordance with Figure 7.2.25B (Sippy Downs Town Centre Master Plan); (e) provides a maintenance aisle adjacent to the <i>buffer</i> area capable of accommodating a small truck/ute and all services including sewer and stormwater treatment functions; (f) does not contain any type of above or below ground development or structure; and (g) where no vegetation exists, provides a densely vegetated area similar to Regional Ecosystems in the area. 		(d) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre.
PO22	Development provides for retained environmentally sensitive areas to be included in appropriately sized and located areas to ensure that protected or threatened communities or species can continue to grow and reproduce in the locality without being detrimentally impacted upon by adjacent land uses.	AO22	 Development ensures that retained environmentally sensitive areas are:- (a) included in corridors linking these areas to nearby bushland remnants; (b) protected by an adequate <i>buffer</i> to avoid degradation as a result of edge effects; and (c) protected from nearby development that may negatively impact on the ability of plants to continue to grow and reproduce.
P023	Development:-	A023.1	Note—Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages) identifies an Environmentally Sensitive Area (Frog breeding and forage habitat).
r U23	 Development:- (a) retains existing significant vegetation in parks and reserves; and (b) wherever reasonably practicable, retains examples of healthy existing trees and incorporates them into the design of development. 	A023.1	Development retains existing <i>vegetation</i> , in particular the understorey, in parks, drainage reserves, road reserves and on land with steep gradients. Development retains existing healthy trees on development lots where they are a minimum of 10 metres from a building and 5 metres from other development.
			Note—the Planning scheme policy for Sippy Downs Town Centre provides guidance in relation to the retention of existing <i>vegetation</i> within the Sippy Downs Town Centre.
PO24	 Development provides new planting which:- (a) enhances the sub-tropical image and character desired for the Sippy Downs Town Centre; and (b) includes mature trees which shade road and car parking areas. 	AO24.1	 Development provides soft and hard landscaping on premises, including but not limited to:- (a) feature planting areas along primary <i>frontages</i>; (b) shade trees in car parking areas; (c) screening of buffer planting areas; and (d) planting integrated with building forms.
		AO24.2	 Where feature plantings are used in landmark locations, the following species are used:- (a) Archontophoenix cununinghamiana; or (b) Livistona australis.
PO25	Development provides on-site	AO25	No acceptable outcome provided.

Perform	ance Outcomes	Acceptable	Outcomes	
	which is free of basement car parking			
	and is not less than:-			
	(a) in Sub-precinct SID LPSP-1a			
	(Sippy Downs Town Centre Core) – 10% of the <i>site</i> ; and			
	(b) in Sub-precinct SID LPSP-1b			
	(Sippy Downs Business and			
	Technology Sub-precinct) – 20% of			
	the site.			
PO26	Development provides street trees	AO26	Development provides street trees in	
	which:-		accordance with the species types and	
	(a) are appropriate to the context and setting of the development;		applicable street cross section detail specified in the Planning scheme policy	
	(b) provide continuity of species type		for Sippy Downs Town Centre.	
	along the full length of streets; and			
	(c) have large shady canopies which			
	shade footpath, road and car			
	parking areas and provide traffic			
B645	calming by overhanging streets.	100		
PO27	Development of premises with a <i>frontage</i> to:-	AO27	Development provides for street lighting,	
	(a) Sippy Downs Drive, Stringybark		planting, verges and street furniture in accordance with the standards specified	
	Road, University Way and 'A'		in the Planning scheme policy for Sippy	
	Street, provides attractive tree-lined		Downs Town Centre.	
	streets with lighting, planting and			
	street furniture;			
	(b) Local Access Streets incorporate			
	lighting, landscaped verges and medians (where appropriate) and			
	on-street car parking to provide			
	flexibility for both commercial uses			
	and residential uses; and			
	(c) other new streets, provide avenue			
DODO	tree planting on their verges.	AO28	Dovelopment provides for factuation in	
PO28	Development provides for footpaths which:-	AU28	Development provides for footpaths in accordance with the standards specified	
	(a) differentiate with the road/street		in the Planning scheme policy for Sippy	
	types where identified in Figure		Downs Town Centre.	
	7.2.25D (Sippy Downs Town			
	Centre Road / Street			
	Designations); (b) bays a high layel of presentation:			
	(b) have a high level of presentation;(c) are consistent in patterning with			
	adjoining properties;			
	(d) in Sub-precinct SID LPSP-1a			
	(Sippy Downs Town Centre Core)			
	and Sub-precinct SID LPSP-1a			
	(Sippy Downs Business and			
	Technology Sub-precinct), cater for			
	high pedestrian usage and outdoor dining; and			
	(e) in residential streets are concrete			
	paved footpaths with turfed verges.			
PO29	Development provides street furniture	AO29	Development provides for street furniture	
	which:-		in accordance with the standards	
	(a) is comfortable, functional, robust,		specified in the Planning scheme policy	
	attractive and safe to use; (b) does not require high levels of		for Sippy Downs Town Centre.	
	(b) does not require high levels of maintenance;			
	(c) is in keeping with the landscape			
	character of Sippy Downs and the			
	Town Centre;			
	(d) is appropriately placed; and			ب
	(e) is of a character and design which			
	fulfils the needs of the users.			Dart
				$\mathbf{\Box}$

Ferrorin	ance Outcomes	Acceptable	Outcomes
	ed Water Management		
PO30	Development incorporates a range of	AO30	Development provides for water supply,
	Integrated Water Management		wastewater and stormwater infrastructure
	initiatives to:-		in accordance with the standards
	(a) achieve an integrated approach to		specified in the Planning scheme policy
	water management;		for Sippy Downs Town Centre.
	(b) provide more sustainable water		
	supply infrastructure within the		
	Town Centre; and		
	(c) protect or enhance the		
	environmental values and quality of		
D /	receiving waters.		
	ment in Sub-precinct SID LPSP-1a (Sipp ses and Locations (Sub-precinct SID LPS		
.and 03 2031	Development in Sub-precinct SID	AO31	No acceptable outcome provided.
031	LPSP-1a (Sippy Downs Town Centre	AUJI	No acceptable outcome provided.
	Core) provides for a wide range and a		
	'fine grain' mix of uses, with an		
	emphasis on uses that are		
	complementary to the University of the		
	Sunshine Coast.		
032	Development in Sub-precinct SID	AO32	No acceptable outcome provided.
	LPSP-1a (Sippy Downs Town Centre		encente providedi
	Core) is generally in accordance with,		Note—the Planning scheme policy for Sippy
	and does not compromise the		Downs Town Centre provides guidance in
	achievement of, the Town Centre layout		relation to the Sippy Downs Town Centre Core
	identified on Figure 7.2.25C (Sippy		Plan.
	Downs Town Centre Core Plan) such		
	that:-		
	(a) all retail premises being a		
	<i>supermarket</i> or a discount		
	department store are separated by		
	a street;		
	(b) no more than 2 full line		
	supermarkets are provided;		
	(c) no more than 2 small supermarkets		
	are provided;		
	(d) no more than 1 discount		
	department store is provided;		
	(e) vehicle access points to retail		
	premises being a <i>supermarket</i> or a		
	discount department store are		
	located towards the periphery of		
	the Sub-precinct;		
	(f) large scale on-site car-parking		
	areas and access to those areas is		
	located at the periphery of the Sub-		
	precinct;		
	(g) rear service lanes are provided;		
	(h) existing <i>vegetation</i> is preserved to		
	provide a Landscape (Forest)		
	Buffer to manage the visual		
	appearance of development		
	backing onto the Sunshine		
	Motorway and protect the image of		
	the Town Centre;		
	(i) through block pedestrian links are		
	provided to maximise pedestrian		
	permeability in addition to the		
	street-based pedestrian network;		
	and		
	(j) a minimum of 1,500m ² of land is		
		1	
	transferred to the Council in		
	freehold to provide for the		

Perform	ance Outcomes	Acceptable	Outcomes
PO33	Development in Sub-precinct SID	AO33	No acceptable outcome provided.
	LPSP-1a (Sippy Downs Town Centre		
	Core) is arranged to maximise the		
	vibrancy of public spaces and semi-		
	public spaces by:-		
	(a) arranging <i>active uses</i> to front public		
	spaces and maximise pedestrian		
	activity;		
	(b) providing for the orientation and		
	clustering of pedestrian intensive		
	development towards Principal		
	Streets;		
	(c) ensuring a variety of compatible		
	mixed uses are provided within each <i>site</i> : and		
	(d) ensuring uses and spaces are safe,		
	equitable and accessible.		
PO34	Development in Sub-precinct SID	AO34	No acceptable outcome provided.
. 004	LPSP-1a (Sippy Downs Town Centre	~~,	
	Core) for an accommodation building or		
	multiple dwelling:-		
	(a) is incorporated into a <i>mixed use</i>		
	development; and		
	(b) where in a location identified as		
	requiring <i>primary</i> active street		
	frontage on Figure 7.2.25C (Sippy		
	Downs Town Centre Core Plan),		
	ensures that all dwellings and		
	rooming units are located above		
BOAF	the ground storey.		
PO35	Development in Sub-precinct SID	AO35	No acceptable outcome provided.
	LPSP-1a (Sippy Downs Town Centre		Note the Planning scheme policy for Simula
	Core) for a large floor plate retail use		Note—the Planning scheme policy for Sippy Downs Town Centre provides guidance in
	including a <i>supermarket</i> or a <i>discount</i>		relation to the location of large floor plate retail
	<i>department store:-</i> (a) is located generally in accordance		uses.
	with an area identified as 'Large		
	Floor Plate Retail' as shown on the		
	Figure 7.2.25C (Sippy Downs		
	Town Centre Core Plan);		
	(b) is embedded within a block and is		
	sleeved by finer grain <i>mixed use</i>		
	development to maintain active		
	pedestrian frontages to the streets;		
	(c) ensures that 'A' Street is the		
	primary retail location and		
	pedestrian movement path by:-		
	(i) maintaining close proximity to		
	'A' Street and locating the		
	main pedestrian entrance as		
	close to 'A' Street as possible;		
	(ii) ensuring that pedestrian		
	entrance points to each large floor plate store are accessed		
	only from 'A' Street and lead		
	only to one large floor plate		
	use;		
	(iii) ensuring that the street is the		
		1	
	easiest way for people to		
	easiest way for people to move between large floor		
	easiest way for people to move between large floor plate uses;		
	easiest way for people to move between large floor		
	easiest way for people to move between large floor plate uses; (iv) ensuring that the large floor		
	easiest way for people to move between large floor plate uses; (iv) ensuring that the large floor plate use is not oriented		
	 easiest way for people to move between large floor plate uses; (iv) ensuring that the large floor plate use is not oriented towards a car parking area; 		

	ance Outcomes	Acceptable	Outcomes
	movements from car parking		
	areas result in activity on 'A'		
	Street.		
PO36	Development in Sub-precinct SID	AO36	No acceptable outcome provided.
	LPSP-1a (Sippy Downs Town Centre		
	Core) ensures that any entrance to a		
	supermarket, discount department store		
	or other large retail premises:-		
	(a) does not visually dominate a public		
	space; and		
	(b) does not present large scale		
	signage or excessive building		
PO37	openings to a public space. Development in Sub-precinct SID	AO37	No acceptable outcome provided.
F037	LPSP-1a (Sippy Downs Town Centre	A037	No acceptable outcome provided.
	Core) for a use which generates high		
	pedestrian activity, such as a large shop		
	('mini major'), <i>theatre</i> (being a cinema)		
	or <i>hotel</i> , is strategically located to		
	support street-based movement and		
	other street-facing uses.		
PO38	Development in Sub-precinct SID	AO38	No acceptable outcome provided
	LPSP-1a (Sippy Downs Town Centre		
	Core) for a retail premises:-		
	(a) is limited to locations fronting areas		
	identified as a 'Main Street' as		
	shown on the Figure 7.2.25C		
	(Sippy Downs Town Centre Core		
	Plan); and		
	(b) has the street as its primary		
	address.		
PO39	Development in Sub-precinct SID	AO39	Development of premises with a frontage
	LPSP-1a (Sippy Downs Town Centre		to a 'Main Street' where identified on
	Core) on premises with a <i>frontage</i> to a		Figure 7.2.25C (Sippy Downs Town
	'Main Street' where identified on Figure		Centre Core Plan) ensures that the
	7.2.25C (Sippy Downs Town Centre Core Plan) :-		ground <i>storey</i> level of premises:- (a) provides a fine scale built form;
	(a) provides a continuous pedestrian		(b) has building openings overlooking the
	friendly facade and incorporates		street;
	activities located at ground level to		(c) incorporate shopfronts,
	create a vibrant and active		
			Indoor/ouldoor cales and resignranis
	Streetscape with high levels of		indoor/outdoor cafes and restaurants and other activities that are likely to
	streetscape with high levels of casual surveillance: and		and other activities that are likely to
	casual surveillance; and		and other activities that are likely to foster casual, social and business
	casual surveillance; and (b) provides continuous weather		and other activities that are likely to foster casual, social and business interaction for extended periods;
	casual surveillance; and		and other activities that are likely to foster casual, social and business interaction for extended periods;(d) provides all weather protection in the
	casual surveillance; and (b) provides continuous weather		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over
	casual surveillance; and (b) provides continuous weather		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas;
	casual surveillance; and (b) provides continuous weather		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over
	casual surveillance; and (b) provides continuous weather		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated
	casual surveillance; and (b) provides continuous weather		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and
	casual surveillance; and (b) provides continuous weather		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance
	casual surveillance; and (b) provides continuous weather		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the
	casual surveillance; and (b) provides continuous weather		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy
	casual surveillance; and (b) provides continuous weather protection for pedestrians.		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre.
PO40	casual surveillance; and (b) provides continuous weather protection for pedestrians.	AO40	 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy
PO40	casual surveillance; and (b) provides continuous weather protection for pedestrians. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre	AO40	 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre.
PO40	casual surveillance; and (b) provides continuous weather protection for pedestrians. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) for any business use does not	AO40	 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre.
	casual surveillance; and (b) provides continuous weather protection for pedestrians. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) for any business use does not provide for a <i>drive-through facility</i> .		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre. No acceptable outcome provided.
Maximur	casual surveillance; and (b) provides continuous weather protection for pedestrians. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) for any business use does not provide for a <i>drive-through facility.</i> m Retail Floorspace (Sub-precinct SID L)	PSP-1a (Sipp	 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre. No acceptable outcome provided.
	casual surveillance; and (b) provides continuous weather protection for pedestrians. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) for any business use does not provide for a <i>drive-through facility.</i> <i>m Retail Floorspace (Sub-precinct SID Li</i> Development in Sub-precinct SID Li		 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre. No acceptable outcome provided.
Maximui	casual surveillance; and (b) provides continuous weather protection for pedestrians. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) for any business use does not provide for a <i>drive-through facility.</i> <i>m Retail Floorspace (Sub-precinct SID LI</i>) Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre	PSP-1a (Sipp	 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre. No acceptable outcome provided.
Maximui	 casual surveillance; and (b) provides continuous weather protection for pedestrians. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) for any business use does not provide for a <i>drive-through facility.</i> <i>m Retail Floorspace (Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) for any subsub the subsubality.</i> Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) does not result in a concentration 	PSP-1a (Sipp	 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre. No acceptable outcome provided.
Maximui	casual surveillance; and (b) provides continuous weather protection for pedestrians. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) for any business use does not provide for a <i>drive-through facility.</i> <i>m Retail Floorspace (Sub-precinct SID LI</i>) Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre	PSP-1a (Sipp	 and other activities that are likely to foster casual, social and business interaction for extended periods; (d) provides all weather protection in the form of continuous awnings over footpath areas; (e) ensures that signage is integrated with the building; and (f) includes provision of landscaping, shaded seating and consistent paving materials on footpaths in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre. No acceptable outcome provided. Note—the matters that Council may take into

Part 7

Perform	ance Outcomes	Acceptable	Outcomes
	the Sub-precinct.		necessarily be limited to, the following:-
			(a) the maximum retail floor space that is
			realistically viable for the Town Centre
			Core in the medium and long term; (b) whether the proposal, if approved, would
			unreasonably limit the viable provision of
			retail uses in the remainder of the Town
			Centre Core in the medium or long term;
			 (c) the extent to which the proposal satisfies other outcomes of this code and
			epitomises the 'vision' and 'planning
			intent' for Sippy Downs Town Centre; and
			(d) whether the proposal, if approved, is likely
			to compromise the Sunshine Coast activity
			<i>centre network</i> by having an adverse impact on the Maroochydore Principal
			Activity Centre or the major activity
			centres at Nambour and Kawana Waters.
			Note—Council may require the preparation of
			an Economic Impact Assessment to
			determine:-
			(a) whether the scale and range of retail uses
			proposed is reasonable and appropriate,
			having regard to the matters detailed above; and
			(b) compliance with other outcomes of this
			code as relevant to the proposal.
			Note—a development application that proposes
			a concentration of retail uses and/or a total
			gross leasable floor area for retail uses:-
			 (a) that is considered to compromise the achievement of the 'vision' and 'planning
			intent' for Sippy Downs Town Centre; or
			(b) which results in an ultimate development
			outcome that is not generally in
			accordance with the Town Centre Layout identified on Figure 7.2.25C (Sippy
			Downs Town Centre Core Plan);
			will not be supported.
PO42	Development in Sub-precinct SID	AO42	No acceptable outcome provided.
	LPSP-1a (Sippy Downs Town Centre		
	Core) does not result in any of the		
	following:-		
	(a) the development of more than 1 <i>discount department store</i> ;		
	(b) the development of more than 2 <i>full</i>		
	line supermarkets, with each		
	having a gross leasable floor area		
	not exceeding 4,300m ² ;		
	(c) the development of more than 2		
	small <i>supermarkets</i> , with each		
	having a gross leasable floor area		
	not exceeding $1,500m^2$;		
	(d) the total gross leasable floor area of any other shop exceeding		
	300m ² ; or		
	(e) the development of a <i>showroom</i> .		
Residen	tial Development (Sub-precinct SID LPSI	P-1a <u>(</u> Sippy D	Downs Town Centre Core))
PO43	Development in Sub-precinct SID	AO43	No acceptable outcome provided.
	LPSP-1a (Sippy Downs Town Centre		
	Core) provides a minimum residential		
	density of 50 equivalent dwellings per		
PO44	hectare. Development in Sub-precinct SID	AO44	No accentable outcome provided
F 044	LPSP-1a (Sippy Downs Town Centre	~~++	No acceptable outcome provided.
	Core) ensures that:-		
	(a) residential development is provided		
	in conjunction with the first non-		
	,		1

Porform	ance Outcomes	Acceptable	Outcomes
Periorina	residential stages of development;	Acceptable	Outcomes
	.		
	or (b) where a staged approach to the		
	development is proposed:-		
	(i) the early stages of non-		
	residential development are		
	designed and constructed in a		
	manner which provides for or		
	supports the future provision		
	of residential development in		
	accordance with the intent and		
	outcomes for the town centre		
	expressed in this code; and		
	(ii) there is an agreement in place		
	between the developer and		
	the Council that guarantees		
	the provision of residential		
	development as part of the		
	subsequent stages of		
	development.		
Sothack	s (Sub-precinct SID LPSP-1a (Sippy Dow	ns Town Co	ntre Corell
PO45	Development in Sub-precinct SID	AO45	No acceptable outcome provided.
1 040	LPSP-1a (Sippy Downs Town Centre	7040	No acceptable outcome provided.
	Core) provides for the following:-		
	(a) a building fronting a Principal		
	Street:-		
	(i) is built to the road <i>frontage</i> ;		
	(ii) is massed horizontally rather		
	than vertically;		
	(iii) is stepped back no more than		
	4 metres above the fourth		
	<i>storey</i> ; and		
	(iv) does not step back above the		
	fourth <i>storey</i> where on a		
	corner; and		
	(b) a building fronting a Local Access		
	Street:-		
	(i) is <i>setback</i> no more than 3		
	metres at the ground <i>storey</i> ;		
	and		
	(ii) is set back above the third		
	storey to allow for balconies		
	and roof form expression.		
Public O	pen Space (Sub-precinct SID LPSP-1a (S	Sinny Downs	Town Centre Corell
PO46	Development in Sub-precinct SID	AO46	Development provides a Town Square
1 0 40	LPSP-1a (Sippy Downs Town Centre	7.040	which:-
			WITION.
	Core) provides a public space in the		(a) is located in accordance with the
1	Core) provides a public space in the		(a) is located in accordance with the
	form of a central Town Square which:-		Figure 7.2.25F (Sippy Downs Town
	form of a central Town Square which:- (a) is transferred to the <i>Council</i> in		Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian
	form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure;		Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and
	form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance		Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs) 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; (d) has buildings with active <i>frontages</i> 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; (d) has buildings with active <i>frontages</i> fronting the Town Square; 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; (d) has buildings with active <i>frontages</i> fronting the Town Square; (e) provides shade trees and public 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; (d) has buildings with active <i>frontages</i> fronting the Town Square; (e) provides shade trees and public seating; 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; (d) has buildings with active <i>frontages</i> fronting the Town Square; (e) provides shade trees and public seating; (f) provides a minimum of 75% hard 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; (d) has buildings with active <i>frontages</i> fronting the Town Square; (e) provides shade trees and public seating; (f) provides a minimum of 75% hard paved area; 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; (d) has buildings with active <i>frontages</i> fronting the Town Square; (e) provides shade trees and public seating; (f) provides a minimum of 75% hard paved area; (g) provides for planting areas; and 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs
	 form of a central Town Square which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) has minimum dimensions of 40 metres by 40 metres; (d) has buildings with active <i>frontages</i> fronting the Town Square; (e) provides shade trees and public seating; (f) provides a minimum of 75% hard paved area; 		 Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs

ance Outcomes	Acceptable	Outcomes
 Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) provides <i>public open space</i> in the form of Mini Plazas which:- (a) are located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (b) have minimum dimensions of 9 metres by 9 metres; (c) provide shade trees and public seating; (d) contain planting to soften the built form edges where pedestrian access is not required; (e) do not operate for private use, such as footpath dining, unless the area for private use is provided in addition to the minimum dimensions; and (f) provide integrated public art, a 	AO47	 Development provides Mini Plazas which:- (a) are located in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) are designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre.
	v Downs Rus	siness and Technology Sub-precinct)
• •		Downs Dusiness and recimology Sub-
 Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct):- (a) supports the creation of a 'knowledge-based' employment precinct that has a strong nexus with the University of the Sunshine Coast and provides opportunities to incubate and grow businesses; (b) comprises a range of commercial, educational, research and technology, medical, institutional, governmental, and some residential activities that support and complement the Sippy Downs Town Centre Core (Sub-precinct SID LPSP-1a) and the University of the Sunshine Coast; and (c) provides for retail uses to be limited 	AO48	No acceptable outcome provided
 Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides a local centre which:- (a) functions as a local (not full service) activity centre providing basic convenience goods and services to employees and residents of the immediate area; (b) is located on the southern side of the 'Main Street' designation where identified on Figure 7.2.25B (Sippy Downs Town Centre Master Plan) fronting the Town Plaza; and (c) does not exceed a total gross leasable floor area of 500m² for all retail and catering uses; and (d) comprises one or more of the 	7043	No acceptable outcome provided.
	 water feature or the like. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) provides <i>public open space</i> in the form of Mini Plazas which:- (a) are located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (b) have minimum dimensions of 9 metres by 9 metres; (c) provide shade trees and public seating; (d) contain planting to soften the built form edges where pedestrian access is not required; (e) do not operate for private use, such as footpath dining, unless the area for private use is provided in addition to the minimum dimensions; and (f) provide integrated public art, a water feature or the like. ment in Sub-precinct SID LPSP-1b (Sipp) fees and Locations (Sub-precinct SID LPSP) Development in Sub-precinct SID LPSP) Development in Sub-precinct SID LPSP) (a) supports the creation of a 'knowledge-based' employment precinct that has a strong nexus with the University of the Sunshine Coast and provides opportunities to incubate and grow businesses; (b) comprises a range of commercial, educational, research and technology, medical, institutional, governmental, and some residential activities that support and complement the Sippy Downs Town Centre Core (Sub-precinct SID LPSP-1a) and the University of the Sunshine Coast; and (c) provides for retail uses to be limited and located only in the local centre. Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides a local centre which:- (a) functions as a local (not full service) activity centre providing basic convenience goods and services to employees and residents of the immediate area; (b) is located on the southern side of the 'Main Street' designation where identified on Figure 7.2.25B (Sippy Downs Town Centre Master Plan) fronting the Town Plaza; and (c) does not e	water feature or the like. Development in Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core) provides public open space in the form of Mini Plazas which:- (a) are located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (b) have minimum dimensions of 9 metres by 9 metres; (c) provide shade trees and public seating; (d) contain planting to soften the built form edges where pedestrian access is not required; (e) do not operate for private use, such as footpath dining, unless the area for private use is provided in addition to the minimum dimensions; and (f) provide integrated public art, a water feature or the like. Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct):-

Perform	ance Outcomes	Acceptable	Outcomes
	leasable floor area not		
	exceeding 100m ²); and		
	(ii) food and drink outlet.		
PO50	Development in Sub-precinct SID	AO50	No acceptable outcome provided.
	LPSP-1b (Sippy Downs Business and		
	Technology Sub-precinct) for an		
	industrial activity being research and		
	technology industry:-		
	(a) is primarily focused on research		
	and design and involves no, or only		
	a limited component of,		
	manufacturing, assembly, testing,		
	maintenance and/or storage of		
	machinery, equipment and		
	components;		
	(b) is compatible with the mixed use		
	nature of the Sub-precinct and is		
	designed, located and operated in		
	a manner which preserves the		
	amenity of adjoining and nearby		
	non-industrial uses; and		
	(c) is in a building which complies with		
	the built form requirements for the		
	Sippy Downs Town Centre as		
	outlined in performance outcomes		
	PO12-PO20 above.		
PO51	Development in Sub-precinct SID	AO51	No acceptable outcome provided.
	LPSP-1b (Sippy Downs Business and		
	Technology Sub-precinct) for a large		
	scale health facility, such as a <i>hospital</i>		
	or medical centre:-		
	(a) is located in a form that is		
	compatible with the Sippy Downs		
	Town Centre and Surrounds street		
	network as identified in Figure		
	7.2.25D (Sippy Downs Town		
	Centre Road/Street		
	Designations); and		
	(b) positively defines and activates		
	streets and public places by		
	ensuring that:-		
	(i) the buildings face the streets		
	and that <i>ancillary</i> activities,		
	such as pharmacies and		
	clinics, are provided along		
	street frontages;		
	(ii) the entrance fronts onto a		
	Principal Street and a public		
	space;		
	(iii) there is a connection to the		
	campus of the University of		
	the Sunshine Coast and 'A'		
	Street; and		
	(iv) multi-deck car parking is		
	sleeved behind street facing		
050	USES.	4050	
PO52	Development on that part of Lot 1	AO52	No acceptable outcome provided.
	SP211690 (142 – 162 Sippy Downs		
	Drive) located south east of 'B' Street:-		
	(a) may provide for a maximum		
	<i>building height</i> of 8 <i>storeys</i> and not		
	more than 30 metres where for the		
	purposes of a large scale health		
	and educational facility: and		
	and educational facility; and		
	and educational facility; and(b) demonstrates compliance with the provisions of this code relevant to		

Perform	ance Outcomes	Accentable	Outcomes
	the site, including but not limited to	Acceptable	
	ensuring that the following		
	infrastructure elements are		
	provided:-		
	(i) Principal and Local Access		
	Streets as indicated on Figure		
	7.2.25D (Sippy Downs Town		
	Centre Road/Street		
	Designations) and further		
	described in performance		
	outcome PO4 of this table; and		
	(ii) a <i>public open space</i> in the		
	form of a Town Plaza as		
	indicated on Figure 7.2.25F		
	(Sippy Downs Town Centre		
	Open Space, Pedestrian and		
	Cycle Linkages) and further		
	described in performance		
	outcome PO56 of this table.		
PO53	Mixed use development in Sub-precinct	AO53	No acceptable outcome provided.
	SID LPSP-1b (Sippy Downs Business		
	and Technology Sub-precinct) provides		
	for residential dwellings to be located		
	above the ground <i>storey</i> where fronting		
Movingu	a Principal Street.	DCD 4h (Sime	by Downs Business and Technology Sub-
precinct	· · ·	-310 (3ipp	by Downs Business and Technology Sub-
PO54	Development in Sub-precinct SID	AO54	No acceptable outcome provided.
F 034	LPSP-1b (Sippy Downs Business and	A034	No acceptable outcome provided.
	Technology Sub-precinct) does not		
	result in the total gross leasable floor		
	area of all proposed, existing and		
	approved retail premises in the Sub-		
	precinct exceeding 500m ² in order to		
	precinct exceeding 500m ² in order to protect the role and function of the town		
	precinct exceeding 500m ² in order to protect the role and function of the town centre core.		
Setback	protect the role and function of the town	ns Business	and Technology Sub-precinct))
Setbacks PO55	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID	ns Business AO55	s and Technology Sub-precinct)) No acceptable outcome provided.
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:-		
	protect the role and function of the town centre core. 5 (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal		
	protect the role and function of the town centre core. 5 (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:-		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road <i>frontage</i> ;		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road <i>frontage</i> ; (ii) is massed horizontally rather		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road <i>frontage</i> ; (ii) is massed horizontally rather than vertically;		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road <i>frontage</i> ; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road <i>frontage</i> ; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road <i>frontage</i> ; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth <i>storey</i> ; and		
	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the 		
	protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Dow Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road <i>frontage</i> ; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth <i>storey</i> ; and		
	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a 		
	protect the role and function of the town centre core. 5 (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and		
	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iV) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access 		
	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- 		
	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and 		
	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and (ii) is set back above the third 		
	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and (ii) is set back above the third storey to allow for balconies 		
PO55	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and (ii) is set back above the third storey to allow for balconies and roof form expression. 	AO55	No acceptable outcome provided.
PO55	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and (ii) is set back above the third storey to allow for balconies and roof form expression. 	AO55	
PO55 Public (precinct	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and (ii) is set back above the third storey to allow for balconies and roof form expression. 	AO55 1b (Sippy L	No acceptable outcome provided.
PO55	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and (ii) is set back above the third storey to allow for balconies and roof form expression. 	AO55	No acceptable outcome provided.
PO55 Public (precinct	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and (ii) is set back above the third storey to allow for balconies and roof form expression. Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and 	AO55 1b (Sippy L	No acceptable outcome provided.
PO55 Public (precinct	 protect the role and function of the town centre core. s (Sub-precinct SID LPSP-1b (Sippy Down Development in Sub-precinct SID LPSP-1b (Sippy Downs Business and Technology Sub-precinct) provides for the following:- (a) a building fronting a Principal Street:- (i) is built to the road frontage; (ii) is massed horizontally rather than vertically; (iii) is stepped back no more than 4 metres above the fourth storey; and (iv) does not step back above the fourth storey where on a corner; and (b) a building fronting a Local Access Street:- (i) is setback no more than 3 metres at the ground storey; and (ii) is set back above the third storey to allow for balconies and roof form expression. 	AO55 1b (Sippy L	No acceptable outcome provided.

	ance Outcomes	Acceptable	Outcomes
	<i>public open space</i> in the form of a Town	Acceptable	Figure 7.2.25F (Sippy Downs Town
	Plaza which:-		Centre Open Space, Pedestrian
	(a) is transferred to the <i>Council</i> in		and Cycle Linkages); and
	freehold tenure;		(b) is designed in accordance with the
	(b) is located is located generally in		standards specified in the Planning
	accordance with Figure 7.2.25F		scheme policy for Sippy Downs
	(Sippy Downs Town Centre Open		Town Centre.
	Space, Pedestrian and Cycle		
	Linkages);		
	(c) has minimum dimensions of 80		
	metres by 35 metres;		
	(d) provides shade trees and public		
	seating;		
	(e) provides a mix of paved, grassed		
	and landscaped areas;		
	(f) is designed to provide opportunities		
	for a kiosk or small scale cafe with		
	outdoor dining; and		
	(g) provides public toilets, integrated		
	public art, a water feature or the		
D 077	like.		
PO57	Development in Sub-precinct SID	AO57	Development provides Mini Plazas which:-
	LPSP-1b (Sippy Downs Business and		(a) are located in accordance with
	Technology Sub-precinct) provides		Figure 7.2.25F (Sippy Downs Town
	<i>public open space</i> in the form of Mini Plazas which:-		Centre Open Space, Pedestrian
	(a) are located generally in accordance		and Cycle Linkages); and (b) are designed in accordance with the
	with Figure 7.2.25F (Sippy Downs		standards specified in the Planning
	Town Centre Open Space,		scheme policy for Sippy Downs
	Pedestrian and Cycle Linkages);		Town Centre.
	(b) have minimum dimensions of 9		Town Gentre.
	metres by 9 metres;		
	(c) provide shade trees and public		
	seating;		
	(d) contain planting to soften the built		
	form edges where pedestrian		
	access is not required;		
	(e) do not operate for private use, such		
	as footpath dining, unless the area		
	for private use is provided in		
	addition to the minimum		
	dimensions; and		
	(f) provide integrated public art, a		
	water feature or the like.		
	ment in Sub-precinct SID LPSP-1c (Sipp		
	es and Locations (Sub-precinct SID LPS		
PO58	Development in Sub-precinct SID	AO58	No acceptable outcome provided.
	LPSP-1c (Sippy Downs West		
	Neighbourhood) provides for a high		
	quality, walkable residential		
	neighbourhood comprising a range of		
	high density housing types supported by		
	limited community activities, being a		
	child care centre, a corner store, and a		
	limited number of food and drink outlets		
	in the form of small scale boutique restaurants/cafes.		
		AO59	No accontable cuteomo providad
DO50		AU33	No acceptable outcome provided.
PO59	Development in Sub-precinct SID	7000	
PO59	Development in Sub-precinct SID LPSP-1c (Sippy Downs West	ACCO	
PO59	Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) for a <i>corner store</i> :-	Acto	
PO59	Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) for a <i>corner store</i> :- (a) serves the local residents of the		
PO59	Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) for a <i>corner store</i> :- (a) serves the local residents of the Sub-precinct; and		
PO59	Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) for a <i>corner store</i> :- (a) serves the local residents of the Sub-precinct; and (b) is located centrally within the Sub-		
PO59	Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) for a <i>corner store:-</i> (a) serves the local residents of the Sub-precinct; and (b) is located centrally within the Sub- precinct on premises which is		
PO59	Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) for a <i>corner store</i> :- (a) serves the local residents of the Sub-precinct; and (b) is located centrally within the Sub-		

Performa	ance Outcomes	Acceptable	Outcomes
PO60	 intersection of 'A' and 'V' Streets. Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) for a food and drink outlet:- (a) is of a small scale boutique nature; (b) is not a high volume convenience restaurant; (c) provides outdoor dining; (d) does not result in the total gross leasable floor area of all food and drink outlets in the Sub-precinct exceeding 100m²; (e) does not exceed 50m²; and (f) is located centrally within the Sub- Precinct on the southern side of 'A' Street on either corner of the intersection of 'A' and 'V' Streets. s (Sub-precinct SID LPSP-1c (Sippy Down Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) provides for the following:- (a) a building fronting a Principal Street:- (i) is setback no more than 3 metres from the property frontage at the ground storey; (ii) is stepped back no more than 5 metres above the fourth storey to allow for balconies and roof form expression; and (iv) does not step back above the fourth storey where on a corner; and 	AO60	Outcomes No acceptable outcome provided. ghbourhood)) No acceptable outcome provided.
Minimun	 (i) is setback no more than 5 metres at the ground storey; and (ii) is set back above the third storey to allow for balconies and roof form expression. 	PSP-1c (Sir	nny Downs West Neighbourhood))
PO62	Development in Sub-precinct SID	AO62	No acceptable outcome provided.
	LPSP-1c (Sippy Downs West Neighbourhood) provides a minimum residential density of 50 equivalent dwellings per hectare.		,
	pen Space (Sub-precinct SID LPSP-1c (S		
PO63	 Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) provides <i>public open</i> <i>space</i> in the form of a Forest Park which:- (a) is transferred to <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) primarily provides for the retention 	AO63	 Development provides the Forest Park West which:- (a) is located in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre.

Perform	ance Outcomes	Acceptable	Outcomes
PO64	 of remnant <i>vegetation</i> of ecological value; (d) is a minimum of 2 hectares in area; (e) has a combination of established trees and understorey (70%), established trees and lawn (15%) and open lawn areas (15%); (f) provides a variety of formal and informal pathways to provide pedestrian and cycle access and circulation through the <i>park</i>; and (g) provides facilities including public toilets, picnic shelters, BBQ's, seating areas, signage, walking tracks, kick-a-ball field and play space located near the southern boundary and entrance to the <i>park</i> at the intersection with 'V' Street. Development in Sub-precinct SID LPSP-1c (Sippy Downs West Neighbourhood) provides <i>public open space</i> in the form of a Neighbourhood Park which:- (a) is transferred to the <i>Council</i> in freehold tenure; (b) is located generally in accordance with Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); (c) is a minimum of 600m² in area; (d) has a minimum street <i>frontage</i> of 20 metres and a minimum depth of 15 metres; and 	AO64	Development provides a Neighbourhood Park which:- (a) is located in accordance with the Figure 7.2.25F (Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages); and (b) is designed in accordance with the standards specified in the Planning scheme policy for Sippy Downs Town Centre.

Table 7.2.25.4.3Sippy Downs local plan supplementary table of consistent uses and
potentially consistent uses in the Major centre zone

Note—this table overrides the consistent and potentially consistent uses specified in the zone codes in **Part 6 (Zones)** for the precincts and sub-precincts specified.

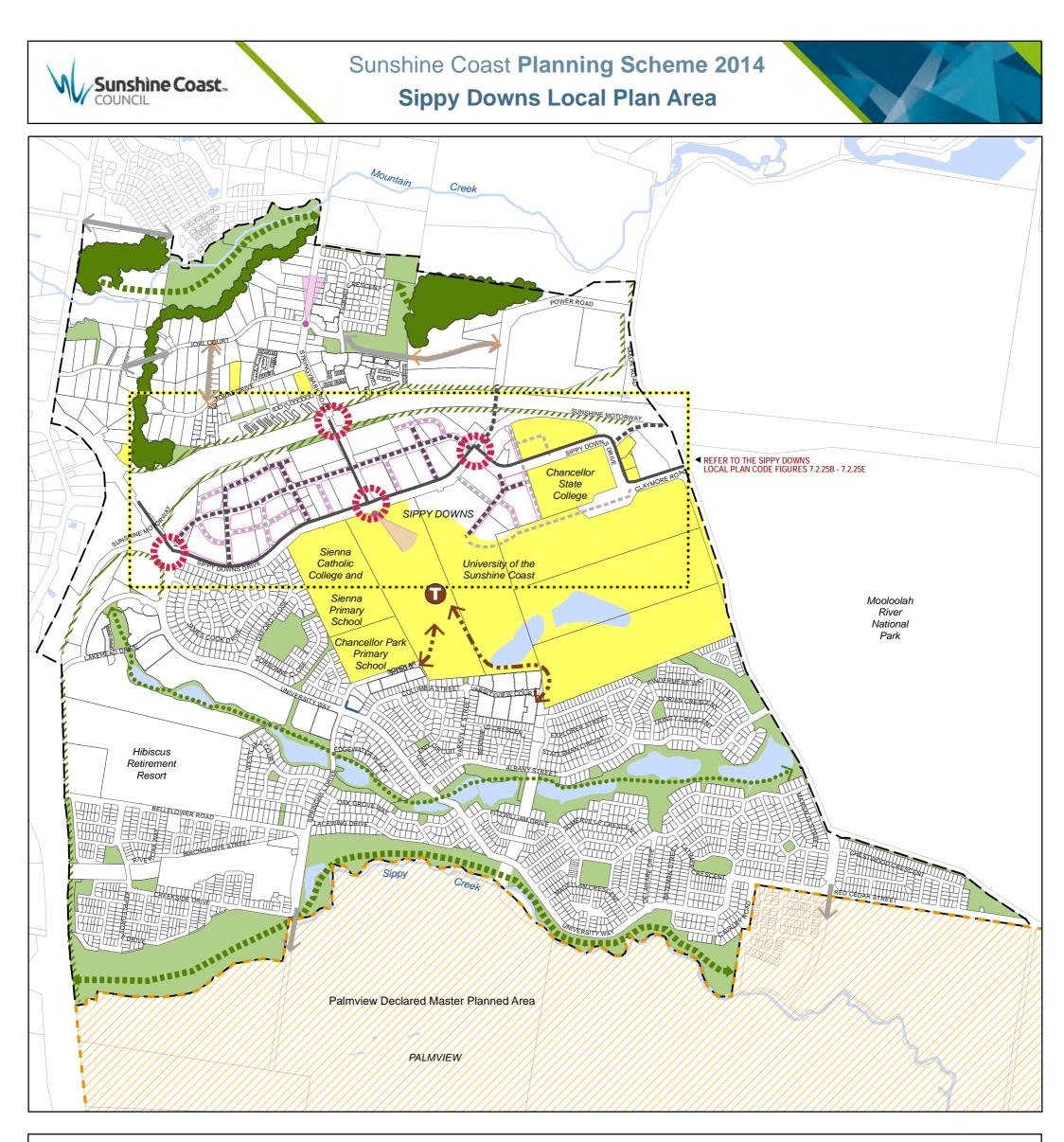
	umn 1 sistent uses	Column 2 Potentially consistent uses			
	Major Centre Zone (Precinct SID LPP-1 – Sippy Downs Town Centre) – Sub-precinct SID LPSP-1a (Sippy Downs Town Centre Core)				
	Residential activities				
(a) (b) (c) (d) (e) (f) (g)	Caretaker's accommodation Community residence Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation	None			
	iness activities				
(d) (e) (f) (g)	Adult store (where not located in an adult store sensitive use area and forming part of a mixed use development) Agricultural supplies store (where forming part of a mixed use development) Bar (where forming part of a mixed use development) Food and drink outlet (where forming part of a mixed use development and not involving a drive- through facility)	Nightclub entertainment facility			
(h) (i)	<i>Function facility</i> (where forming part of a <i>mixed use development</i>) <i>Funeral parlour</i> (where forming part of a <i>mixed use development</i>)				

Dart 7

Gon	imn 1	Column 2
	sistent uses	Potentially consistent uses
(j)	Garden centre (where not exceeding a gross leasable floor area of 200m ² and forming part of a	
	mixed use development)	
(k)	Health care services (where forming part of a mixed	
(K)	use development)	
(I)	Home based business (where other than a high	
(.)	impact home based business activity)	
(m)	Hotel (where forming part of a mixed use	
()	development)	
(n)	Office (where forming part of a mixed use	
. ,	development)	
(o)	Shop (where forming part of a mixed use	
	development)	
(p)	Shopping centre (where forming part of a mixed use	
	development)	
(q)	Theatre (where forming part of a mixed use	
(r)	development)	
(r)	<i>Veterinary services</i> (where forming part of a <i>mixed use development</i>)	
Indi	istrial activities	
	vice industry	(a) Low impact industry
Jen	ice madely	(b) Research and technology industry
Con	nmunity activities	
(a)	Child care centre	None
• •	Community care centre	
	Community use	
· · /	Educational establishment	
(e)	Emergency services	
(f)	Hospital	
	Place of worship	
	rt and recreation activities	
	Club	None
	Indoor sport and recreation	
(c)	Major sport, recreation and entertainment facility	
	(where for a convention and exhibition centre or entertainment centre located on <i>Council</i> owned or	
(d)	controlled land) Park	
<u> </u>	er activities	
	Parking station (where forming part of a mixed use	None
(4)	development)	
(b)	<i>Telecommunications facility</i> (where other than a	
()	freestanding tower)	
(c)	Utility installation (where a local utility)	
Mai	or Centre Zone (Precinct SID LPP-1 – Sippy Downs	
maj		Town Centre) – Sub-precinct SID LPSP-1b (Sippy
	ns Business and Technology Sub-precinct)	Town Centre) – Sub-precinct SID LPSP-1b (Sippy
Dov	ns Business and Technology Sub-precinct) idential activities	Town Centre) – Sub-precinct SID LPSP-1b (Sippy
Dow Res (a)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation	Town Centre) – Sub-precinct SID LPSP-1b (Sippy None
Dov Res (a) (b)	rns Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence	
Dow Res (a) (b) (c)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit	
Dov Res (a) (b) (c) (d)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling	
Dow <u>Res</u> (a) (b) (c) (d) (e)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility	
Dow <u>Res</u> (a) (b) (c) (d) (e) (f)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility	
Dow <u>Res</u> (a) (b) (c) (d) (c) (d) (e) (f) (g)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation	
Dow Res (a) (b) (c) (d) (c) (d) (e) (f) (g) (h)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation	
Dow Res (a) (b) (c) (d) (e) (f) (g) (h) Buss	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities	None
Dow Res (a) (b) (c) (d) (e) (f) (g) (h) Buss (a)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation	
Dow Res (a) (b) (c) (d) (e) (f) (g) (h) Buss (a) (b)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar	None
Dow Res (a) (b) (c) (d) (e) (f) (g) (h) Buss (a) (b) (c)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet	None
Dow Res (a) (b) (c) (d) (e) (f) (g) (h) Buss (a) (b) (c) (d) (a) (b) (c) (d)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services	None
Dow Res (a) (b) (c) (d) (e) (f) (g) (h) (b) (c) (a) (b) (c) (d)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high	None
Dow Res (a) (b) (c) (d) (e) (f) (g) (h) Buss (a) (b) (c) (d) (e) (d) (c) (d) (e) (f)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity)	None
Dow Res (a) (b) (c) (d) (e) (f) (g) (h) (b) (c) (d) (e) (f) (c) (d) (e) (f) (g)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity) Hotel	None
Dow Res (a) (b) (c) (d) (c) (d) (c) (d) (c) (c) (d) (c) (d) (c) (c) (d) (c) (c) (d) (c) (c) (c) (c) (c) (c) (c) (c) (c) (c	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity) Hotel Market	None
Dow Ress (a) (b) (c) (d) (e) (f) (g) (h) (b) (c) (d) (e) (f) (d) (c) (d) (e) (f) (g) (f) (g) (h) (i)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity) Hotel Market Office	None
Dow Ress (a) (b) (c) (d) (e) (f) (g) (h) (b) (c) (d) (e) (f) (a) (b) (c) (d) (e) (f) (g) (h) (i) (j)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity) Hotel Market Office Sales office	None
Dow Ress (a) (b) (c) (d) (e) (f) (g) (h) (b) (c) (d) (e) (f) (d) (c) (d) (e) (f) (g) (f) (g) (h) (i)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity) Hotel Market Office Sales office Shop (where not exceeding a gross leasable floor	None
Dow Res (a) (b) (c) (d) (c) (d) (g) (b) (c) (d) (b) (c) (d) (c) (d) (c) (f) (f) (f) (h) (i) (j) (k)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity) Hotel Market Office Sales office Shop (where not exceeding a gross leasable floor area of 100m ²)	None
Dow Ress (a) (b) (c) (d) (e) (f) (g) (h) (b) (c) (d) (e) (f) (a) (b) (c) (d) (e) (f) (g) (h) (i) (j)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity) Hotel Market Office Sales office Shop (where not exceeding a gross leasable floor area of 100m ²) Shopping centre (where any retail/catering uses do	None
Dow Res (a) (b) (c) (d) (c) (d) (g) (b) (c) (d) (b) (c) (d) (c) (d) (c) (f) (f) (f) (h) (i) (j) (k)	Ins Business and Technology Sub-precinct) idential activities Caretaker's accommodation Community residence Dwelling unit Multiple dwelling Residential care facility Retirement facility Rooming accommodation Short-term accommodation iness activities Bar Food and drink outlet Function facility Funeral parlour Health care services Home based business (where other than a high impact home based business activity) Hotel Market Office Sales office Shop (where not exceeding a gross leasable floor area of 100m ²)	None

-	umn 1	Column 2
Cor	nsistent uses	Potentially consistent uses
	gross leasable floor area of 100m²)	
(m)		
(n)	Veterinary services	
Ind	ustrial activities	
(a)	Research and technology industry	Low impact industry
(b)	Service industry	
Cor	nmunity activities	
(a)	Child care centre	None
(b)	Community care centre	
(c)	Community use	
(d)	Educational establishment	
(e)	Emergency services	
(f)	Hospital	
(g)	Place of worship	
Spo	ort and recreation activities	
(a)	Indoor sport and recreation (where not involving an	None
	activity that requires a liquor licence or gaming	
	license)	
(b)	Park	
Oth	er activities	
(a)	Parking station	None
(b)	Telecommunications facility (where other than a	
	freestanding tower)	
(c)	Utility installation (where a local utility)	

Part 7



LEGEND

Local Ecological Linkage **4**====*****

GreenspaceNote 1

WaterwayNote 1

Community Activity/FacilityNote 1

Primary Active Street Frontage

Local Plan Area Boundary



Greenspace Link **Character Vegetation**



Landscape Buffer



Gateway/Entry Point

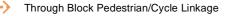
Significant View

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Transit Hub

Indicative Road Linkage/Access Point

- Existing Principal Street (Sippy Downs Town Centre)
- Future Principal Street (Sippy Downs Town Centre)
- ____ Future Local Access Street (Sippy Downs Town Centre)

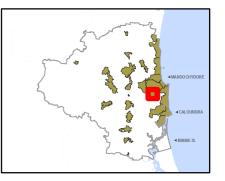


Declared Master Planned Area (see Part 10 - Other Plans)

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Note 1: For contextual purposes only.

Figure 7.2.25A (Sippy Downs Local Plan Elements)

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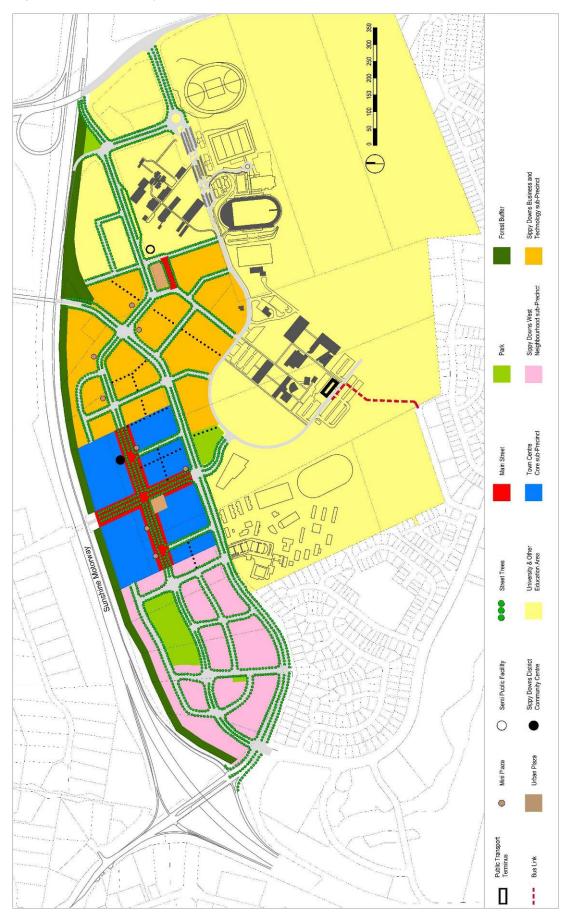
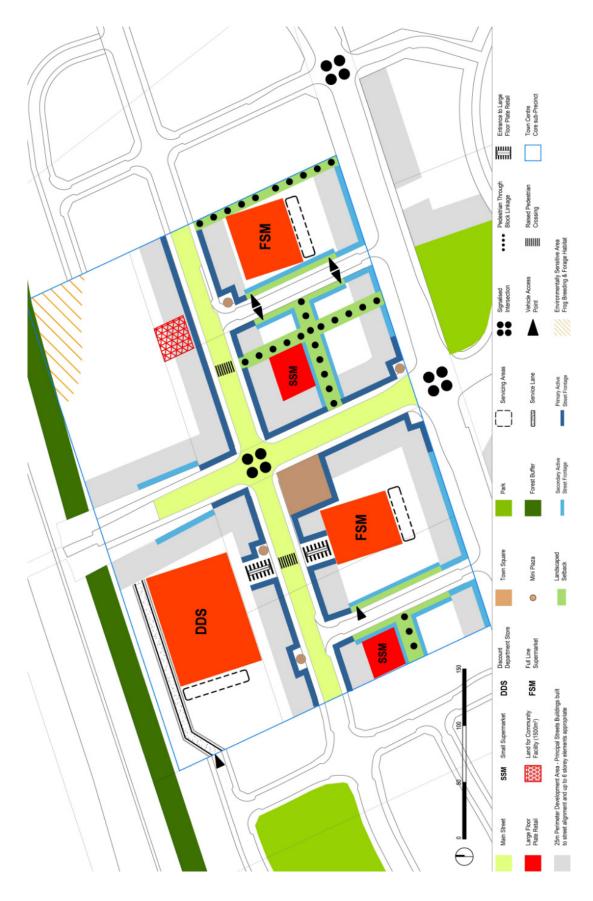


Figure 7.2.25B Sippy Downs Town Centre Master Plan





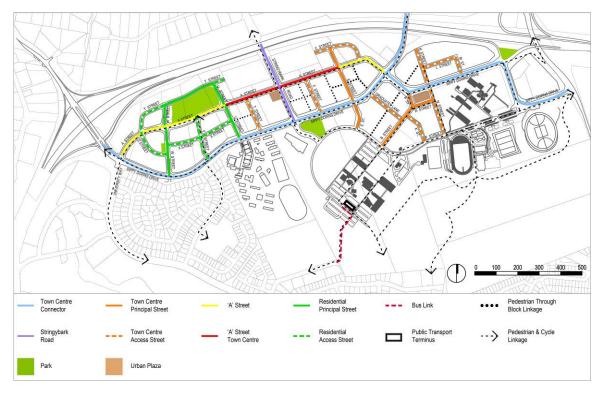
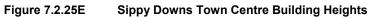
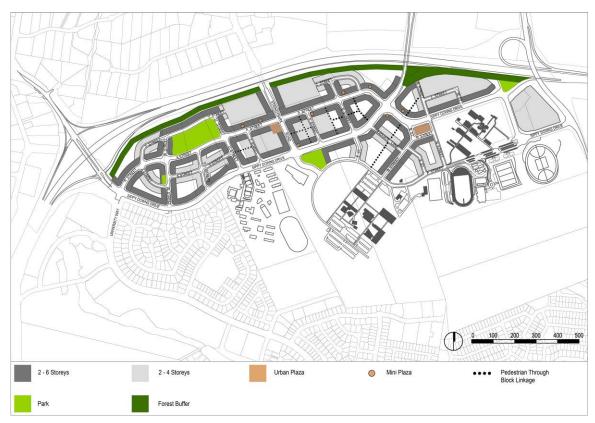


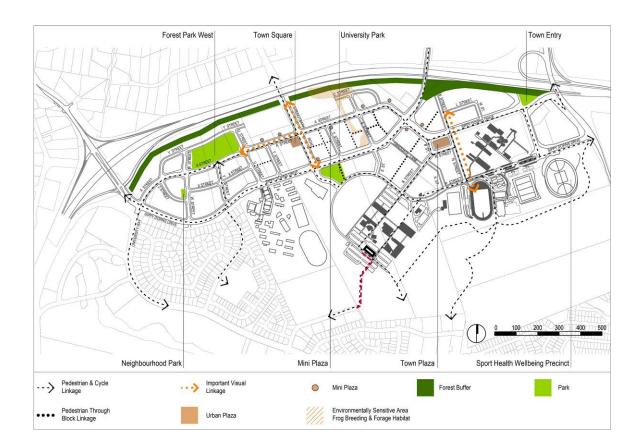
Figure 7.2.25D Sippy Downs Town Centre Road / Street Designations





Dart 7

Figure 7.2.25F Sippy Downs Town Centre Open Space, Pedestrian and Cycle Linkages



7.2.26 Woombye local plan code

7.2.26.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Woombye local plan area as shown on Map ZM27 contained within **Schedule 2** (Mapping); and
 - (b) identified as requiring assessment against the Woombye local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.26.3 (Purpose and overall outcomes);
 - (b) Table 7.2.26.4.1 (Performance outcomes and acceptable outcomes for assessable development); and
 - (c) Figure 7.2.26A (Woombye local plan elements).

7.2.26.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act* 1992 and is intended to assist in the interpretation of the Woombye local plan code.

The Woombye local plan area is located in the central hinterland of the Sunshine Coast immediately to the south of Nambour. Situated between the North Coast Rail Line and Nambour Connection Road, the local plan area includes Woombye's business centre and adjacent residential areas. The local plan area has a land area of approximately 230 hectares.

The local plan area is characterised by variable topography with the established urban areas in the north comprising gently undulating land and the developing southern area generally comprising steeper slopes, particularly adjacent to Pine Grove Road and Woombye-Palmwoods Road. Parts of the local plan area are subject to periodic flooding from Paynter Creek which is located immediately to the west and traverses the local plan area north of the town centre.

Woombye is a small, attractive rural town providing a range of business, community, social, and recreational facilities to service the local needs of its resident population as well as the needs of immediately surrounding rural and rural residential communities. Residential areas are characterised by dwelling houses on relatively large suburban lots.

Heritage buildings and places, primarily focused in Blackall Street, contribute to the character and historical values of the town. Set within a picturesque rural landscape, Woombye has a separate and distinct identity from nearby settlements, including Nambour.

The North Coast Rail Line, which forms the western boundary of the local plan area, is proposed to be realigned and duplicated. The planned upgrade includes provision for station improvements and a new road overpass extending from Blackall Street to Back Woombye Road. The preferred future use of surplus rail land arising from the proposed upgrade of the rail line will also be an important consideration.

Woombye's role as a public transport node will be improved by the planned rail line upgrade and new transit hub. The major vehicle access into Woombye is via Blackall Street from Nambour Connection Road in the east. Taintons Road provides access to the southern part of the local plan area via Woombye-Palmwoods Road.

Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.26.3 Purpose and overall outcomes

(1) The purpose of the Woombye local plan code is to provide locally relevant planning provisions for the assessment of development within the Woombye local plan area.

- (2) The purpose of the Woombye local plan code will be achieved through the following overall outcomes:-
 - (a) Woombye remains a small rural town, primarily servicing the local needs of its resident population and immediately surrounding rural communities.
 - (b) Urban development within the Woombye local plan area is limited to land within the urban growth management boundary so as to protect and reinforce the separate identity of Woombye, provide for the efficient provision of *infrastructure* and services, avoid constrained land and protect the landscape character and productivity of surrounding rural lands.
 - (c) Development retains important built form, *streetscape*, landscape character and natural environment elements that contribute to the character, setting, and identity of Woombye as a rural town with a strong sense of place and associations with the past.
 - (d) Development in the Local centre zone supports the role and function of the Woombye Town Centre as a local (full service) activity centre, providing a wide range of small-scale convenience goods and services to meet the needs of its resident population and immediately surrounding rural communities. The town centre remains compact and consolidated, with any further expansion of business uses contained to land included in the Local centre zone.
 - (e) The "country town" feel, traditional main street built form and heritage and streetscape character of Woombye's Town Centre is retained and reinforced, with Blackall Street enhanced as a wide, attractive and pedestrian friendly main street. Development along Blackall Street addresses the street, complements the traditional streetscape and building form, and retains the mature street trees.
 - (f) Development in the Low density residential zone protects and is sympathetic to the traditional rural town character and identity of Woombye, typified by low-rise detached housing in generous landscaped grounds. Reconfiguring a lot in the Low density residential zone incorporates road and lot layouts which sensitively respond to site characteristics and are consistent with the established subdivision pattern of the town, characterised by regular shaped lots, grid or modified grid layout, open *streetscape* and mature street trees. Development in the zone provides an interconnected and permeable network of roads, pedestrian and cycle paths and open space and buffering to surrounding rural lands.
 - (g) Development in the Medium density residential zone is sympathetic to the traditional rural town character and heritage values of Woombye and is of a bulk and architectural scale that does not dominate the *streetscape* and is compatible with surrounding development.
 - (h) Development is designed and sited to protect significant environmental and riparian areas and to sensitively respond to the physical characteristics and constraints of land in the local plan area, including steeper slopes and remnant *vegetation* and other *ecologically important areas*.
 - (i) Development in the local plan area is supported by a network of open space to meet the needs of the local community, and facilitates safe and convenient pedestrian and cycle connections to, between and around key destinations within the local plan area.
 - (j) Development does not compromise or adversely impact upon the planned realignment and duplication of the North Coast Rail Line and the possible future provision of a grade separated crossing within the local plan area.
 - (k) In the event that the North Coast Rail Line is re-aligned within the life of the planning scheme, the pattern of land use and the provision of transport and other *infrastructure* in the Woombye local plan area is adapted to appropriately utilise surplus railway land, so as to consolidate and provide for improvements to Woombye's town centre, particularly in terms of the provision of community facilities and *public open space*.

7.2.26.4 Performance outcomes and acceptable outcomes

Table 7.2.26.4.1	Performance outcomes and acceptable outcomes for assessable
	development

	development		-
	ance Outcomes		Outcomes
	ment in the Woombye Local Plan Area G		
PO1	Development provides for buildings, structures and landscaping that is consistent with and reflects the traditional <i>streetscape</i> and architectural character of Woombye in terms of	AO1.1	Development provides for the retention and/or adaptive re-use, with limited modification, of buildings which have cultural heritage or, character significance.
	scale, siting, form, composition and use of materials.		Editor's note—Section 8.2.9 (Heritage and character areas overlay code) sets out requirements for development on heritage places and in character areas.
		AO1.2	Buildings and structures incorporate traditional external building materials, such as timber cladding and corrugated iron roofs.
		AO1.3	For residential, business and community activities, roof forms are simple, traditional Queensland-style roof designs including gable, hip, pitched or multiple gable roof forms.
PO2	Development provides for the retention and enhancement of key landscape elements including historical landmarks, significant views and vistas, existing	AO2.1	Development provides for the retention of old stone retaining walls, historical landmarks, memorials and monuments.
	character trees and areas of significant <i>vegetation</i> contributing to the character, setting and sense of place of Woombye.	AO2.2	Development protects and emphasises, and does not intrude upon, important view lines to the Blackall Range and other views to surrounding rural and natural areas identified on Figure 7.2.26A (Woombye local plan elements).
		AO2.3	Development provides for the retention and enhancement of existing mature trees and character <i>vegetation</i> contributing to the vegetated backdrop and <i>streetscape</i> character of the local plan area, including where identified on Figure 7.2.26A (Woombye local plan elements).
			Note—in some circumstances, the eradication of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
PO3	Development contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways to enhance the rural town character of, and sense of entry and arrival to, Woombye.	AO3.1	Development adjacent to a primary streetscape treatment area or identified gateway/entry point on Figure 7.2.26A (Woombye local plan elements) incorporates architectural and landscape treatments and other design elements which enhance the sense of entry and arrival to, and rural town character of, Woombye, and emphasise corner locations.
		AO3.2	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i> and landscape design.

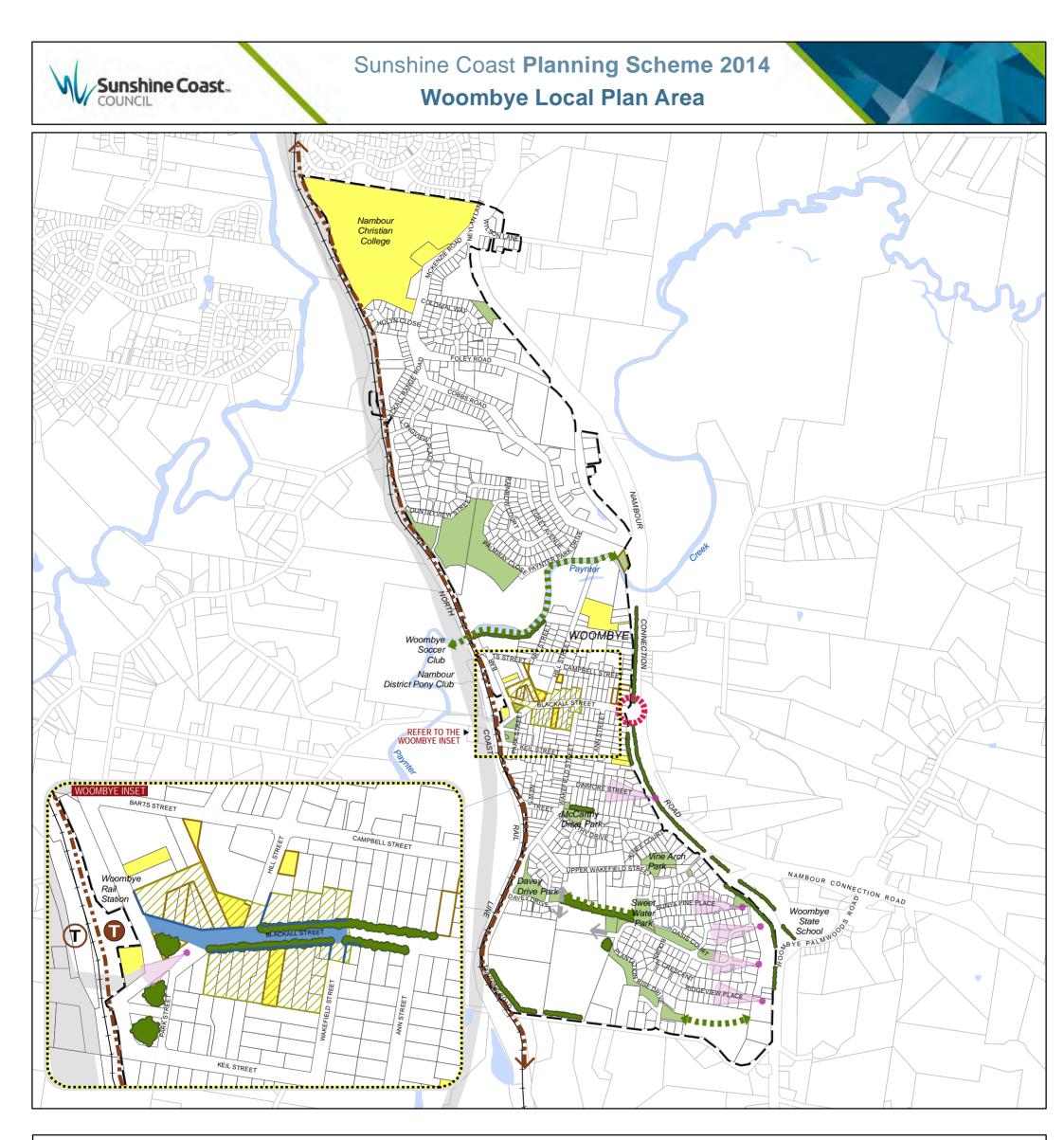
art 7

Perform	ance Outcomes	Acceptable	Outcomes
			Note—Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including entry statement landscapes.
			Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area.
			Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as required
PO4	 Development does not compromise the provision and operation of <i>transport networks</i>, including:- (a) the proposed realignment and duplication of the North Coast Rail Line; and (b) the potential future grade separated rail line crossing in the vicinity of Woombye CWA Park. 	AO4	No acceptable outcome provided.
PO5	Surplus rail land that may arise from the proposed realignment of the North Coast Rail Line provides for improvements to Woombye's Town Centre, particularly in terms of the provision of community facilities and urban open space.	AO5	No acceptable outcome provided.
PO6	Development on land with frontage to Paynter Creek, or on land otherwise identified as a local ecological linkage on Figure 7.2.26A (Woombye local plan elements) , facilitates the provision of the local ecological linkage.	AO6	No acceptable outcome provided. Editor's note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.
PO7	Development for a <i>food and drink outlet</i> does not:- (a) provide for the establishment of a <i>high volume convenience</i> <i>restaurant</i> ; or	A07	No acceptable outcome provided.
Develop	(b) incorporate a drive-through facility.		
PO8	 ment in the Local Centre Zone Development in the Local centre zone provides for small scale uses and mixed uses that:- (a) support the role and function of Woombye Town Centre as a local (full service) activity centre; and (b) provide a wide range of goods and services to meet the convenience needs of Woombye's resident population and immediately surrounding rural community. 	AO8	No acceptable outcome provided.
PO9	 Development in the Local centre zone:- (a) is sympathetic to the rural town character and heritage values of Woombye; (b) complements the traditional built form and <i>streetscape</i>; (c) addresses the street; (d) creates vibrant and active streets and public spaces; (e) provides continuous weather protection for pedestrians; and (f) provides integrated and functional parking and <i>access</i> arrangements that do not dominate the street. 	AO9	 Development in the Local centre zone:- (a) provides for Blackall Street to be maintained as a wide, attractive and pedestrian friendly main street; (b) provides for <i>primary active street</i> <i>frontages</i>, built to the front boundary, where identified on Figure 7.2.26A (Woombye local plan elements); (c) maintains the appearance of fine- grained shopfronts addressing the street; (d) respects the layout, scale (including height and <i>setback</i>) and character of existing buildings;

Part 7

Perform	ance Outcomes	Accentable	Outcomes
Performa	ance Outcomes	Acceptable	 (e) provides all-weather protection for pedestrians in the form of continuous awnings and/or light verandah structures with decorative non-load bearing posts over footpath areas in conjunction with mature or semi-mature shade trees planted along the <i>site frontage</i> adjacent to the kerbside; (f) has simple, traditional Queensland-style roof designs such as hipped or gabled and parapet walls of various shapes facing the street; (g) has building openings overlooking and addressing the street; (h) uses understated colour schemes and low-reflective roofing and cladding materials; (i) ensures that signage is integrated with the building; (j) includes provision of landscaping, shaded seating and consistent and simple paving materials on footpaths; and (k) provides for on-site car parking at the rear or to one side of the
			development.
	ment in the Low Density Residential Zon		
PO10	Reconfiguring a lot in the Low density residential zone provides for lot sizes and a configuration of lots that is sympathetic to the rural town character and identity of the Woombye local plan area.	AO10.1 AO10.2	Reconfiguring a lot in the Low density residential zone provides for a minimum lot size of 800m ² . Reconfiguring a lot in the Low density residential zone provides for regular- shaped lots with a grid or modified grid
PO11	 Reconfiguring a lot within the Low density residential zone:- (a) is designed to sensitively respond to site characteristics and avoids significant scarring of the landscape; and (b) provides for an interconnected system of local roads, pedestrian, cycle and open space links with adjoining land. 	A011	 street layout and subdivision pattern. Reconfiguring a lot in the Low density residential zone:- (a) provides for a subdivision layout which minimises the extent of cut and fill required to accommodate new lots and roads; and (b) incorporates an interconnected, permeable internal road system, pedestrian, cycle and open space links.
Develop	ment in the Medium Density Residential	Zone	
	 Development in the Medium density residential zone:- (a) provides for the establishment of a range of medium density housing compatible with a rural town setting; (b) is sympathetic to the rural town character and heritage values of Woombye; (c) is of a domestic scale that does not dominate the <i>streetscape</i> and is compatible with surrounding development; (d) provides for a building form that reflects the traditional Queensland style; (e) provides for generous open space to be maintained between buildings 		 Development in the Medium density residential zone:- (a) provides for larger buildings to be expressed as a series of linked smaller buildings that are similar in form and scale to a <i>dwelling house</i>; (b) provides generous open spaces between buildings; (c) incorporates landscaping which complements the character of established gardens in the zone; (d) provides for a building form which reflects the traditional Queensland style and incorporates front facades and building elements, including wall articulation, pitched roof forms, roof overhangs, verandahs and prominent building entries, to reflect the

Performance Outcomes	Acceptable Outcomes
 (f) provides for on-site car parking to	 (e) provides car parking areas at the rear
be located and designed such that	of and/or between buildings. Car
it does not dominate the	parking areas are broken up and do
streetscape;	not dominate the <i>streetscape</i> ;
(g) maintains and protects the amenity	 (f) where fronting Blackall Street,
of residents in adjoining	provides an attractive street front
development; and	address and overlooks the street; and
 (h) provides for improved pedestrian	(g) provides mid-block pedestrian
connectivity between Campbell	linkages, between Campbell Street
Street and Blackall Street.	and Blackall Street.



LEGEND







Future Transit Hub

Indicative Road Linkage/Access Point

Proposed Rail Corridor Upgrade



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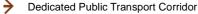


Note 1: For contextual purposes only. Note 2: Refer to Heritage and Character Overlay maps in Schedule 2 (Mapping).

Figure 7.2.26A (Woombye Local Plan Elements)

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Neighbourhood Character Area^{Note 2}



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7.2.27 Yandina local plan code

7.2.27.1 Application

- (1) This code applies to assessable development:-
 - (a) within the Yandina local plan area as shown on Map ZM8 contained within **Schedule 2** (Mapping); and
 - (b) identified as requiring assessment against the Yandina local plan code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The following provisions of the code are assessment benchmarks for applicable assessable development:-
 - (a) section 7.2.27.3 (Purpose and overall outcomes);
 - (b) Table 7.2.27.4.1 (Performance outcomes and acceptable outcomes for assessable development); and
 - (c) Figure 7.2.27A (Yandina local plan elements).

7.2.27.2 Context and setting

This section is extrinsic material under section 15 of the *Statutory Instruments Act* 1992 and is intended to assist in the interpretation of the Yandina local plan code.

The Yandina local plan area is located in the central part of the Sunshine Coast and is traversed by the Bruce Highway and the North Coast Rail Line. The local plan area comprises the rural town of Yandina and adjacent urban areas as well as industrial estates in the northern and southern parts of the town. The local plan area has a land area of approximately 396 hectares.

Yandina is located on undulating land and set within a picturesque rural and natural landscape with the prominent Mount Ninderry to the east, Parklands Forest Reserve to the south and Wappa Dam and the Mapleton Forest Reserve in the west. The local plan area is traversed by the South Maroochy River in an east-west direction and bordered to the northeast by the North Maroochy River. The local plan area is surrounded by large areas of productive agricultural land.

The Yandina Town Centre is focussed on the traditional main street of Stevens Street, servicing the town and its surrounding rural and rural residential communities and providing a range of commercial, retail, industrial, community, sport and recreational activities.

The local plan area contains a range of community, sport and recreation facilities including Yandina State School, and Yandina Sports Complex. The local plan area also contains the Yandina Caravan Park which provides both permanent residential accommodation and temporary visitor accommodation.

The Yandina local plan area contains three main industrial estates providing employment for the central hinterland areas. An industrial estate is located in the northern part of the local plan area on the western side of the Bruce Highway. It comprises a range of industrial uses including the Ginger Factory which is also a premier tourist attraction on the Sunshine Coast. The industrial estate located in the northern part of the local plan area on the eastern side of the Bruce Highway is largely undeveloped. The southern industrial estate is located on the eastern side of the Nambour North Connection Road and consists of a range of industrial uses. A smaller industrial area is located on the eastern side of Farrell Street in the northern part of the local plan area.

Yandina's character is derived from its picturesque landscape setting, rural heritage, traditional main street, grid pattern road layout, historical building designs and laid back 'country town' atmosphere. The existing character areas and historic buildings, especially fronting Stevens Street and Farrell Street, significantly contribute to the character and identity of the town.

The residential areas in Yandina are predominantly traditional low density neighbourhoods of detached housing characterised by a grid pattern street layout in the older, inner parts of the local plan area and culde-sacs in the newer outer parts. Medium density residential areas are located to the west of the town centre with further expansion opportunities available.

The Yandina local plan area has good access to the Bruce Highway via Yandina Coolum Road and Flemming Street. Further connections to the east are provided by Ninderry Road, to the north by Ben Williams Road, to the west by Old Gympie Road and Cooloolabin Road and south by the Nambour North Connection Road.

Urban zoned land within the local plan area is connected, or has the ability to be connected, to reticulated water and sewerage.

7.2.27.3 Purpose and overall outcomes

- (1) The purpose of the Yandina local plan code is to provide locally relevant planning provisions for the assessment of development within the Yandina local plan area.
- (2) The purpose of the Yandina local plan code will be achieved through the following overall outcomes:-
 - (a) Yandina continues to develop as a small rural town, with a distinct heritage character, primarily servicing the local community and tourist industry and providing industrial employment opportunities. Some expansion of local business, industry and residential areas is provided for.
 - (b) Urban development within the Yandina local plan area is limited to land within the urban growth management boundary so as to protect and reinforce the character and identity of Yandina, provide for the efficient provision of *infrastructure* and services, avoid constrained land and protect the character and productivity of surrounding rural land.
 - (c) Development retains the key built form, landscape character and natural environment elements that contribute to the setting, character and identity of the Yandina local plan area as a rural town with a strong sense of place and associations with the past.
 - (d) Development is designed and sited to protect significant environmental areas and significant views either to or from important landscape features, and to reflect the physical characteristics and constraints of the land, including the protection of sensitive slopes, flood prone areas, native *vegetation* areas and views of the western foothills, South Maroochy River, North Maroochy River and Mount Ninderry, particularly from the Yandina Town Centre.
 - (e) The Yandina Town Centre functions as a local (full service) activity centre, meeting the needs of the local community and surrounding rural and rural residential areas and visitors to the area, and provides a focus for small scale retail, commercial and community activity.
 - (f) Whilst the retail and commercial functions of Yandina Town Centre may expand and be enhanced, the centre remains compact, with any expansion limited to land included within the Local centre zone. Residents of Yandina and surrounding areas continue to rely upon larger centres such as Nambour or Maroochydore to fulfil higher order business and industry needs.
 - (g) The "country town" feel, traditional built form, heritage and *streetscape* character of the Yandina Town Centre is retained and reinforced, with Stevens Street enhanced as an attractive and pedestrian friendly main street. Development within the Local centre zone addresses the street and complements the traditional *streetscape* and building form.
 - (h) Development in the Medium impact industry zone and High impact industry zone provides for the continued development of the three main industrial estates in Yandina in complementary rather than competing roles, so as to provide Yandina with a stronger and more-diversified industrial base.
 - (i) Development in the Yandina Industrial Estate (Central) provides for a range of industry uses, particularly those that promote linkages and synergies with, and are compatible with, the food processing industry and the creation of a manufacturing tourism node.
 - (j) Development in the Yandina Industrial Estate (East) accommodates a broad range of low to medium impact industrial uses, while protecting the environmental values of the North Maroochy River and views to Mount Ninderry.
 - (k) Development in the Yandina Industrial Estate (South) accommodates a range of medium to high impact industrial uses, while avoiding impacts on nearby residential areas. Development in the High impact industry zone protects the visual amenity of scenic routes through the local plan area.

- (I) Development in the Low impact industry zone accommodates a broad range of small scale industry and *service industry* uses, while avoiding impacts on nearby residential areas and protecting the visual amenity of scenic routes through the local plan area.
- (m) Development in the Low density residential zone, including road and lot layouts and streetscape, reflects traditional rural town residential qualities such as low rise detached housing on large lots, open streetscape and mature street trees.
- (n) Development in the Medium density residential zone:-
 - provides for a range of housing choices located with close and convenient access to the Yandina Town Centre, employment nodes, public transport and community facilities;
 - (ii) provides good pedestrian and cycle connectivity to the town centre; and
 - (iii) contributes to a high level of residential amenity and design quality consistent with the traditional rural character of Yandina, the scale and character of the *streetscape* and surrounding development.
- (o) Development in the local plan area provides road network improvements required to service development, improve local connectivity and permeability and ensure safe and efficient access to development sites.
- (p) Development in the local plan area is supported by a network of open space to meet the needs of the local community and facilitates safe and convenient pedestrian and cycle connections between and around key destinations within the local plan area.
- (q) Development provides appropriate landscape buffering to the Bruce Highway and the North Coast Rail Line in order to effectively visually screen built form elements and maintain the visual amenity of these scenic routes.

7.2.27.4 Performance outcomes and acceptable outcomes

Table 7.2.27.4.1 Performance outcomes and acceptable outcomes for assessable development

Performa	ance Outcomes	Acceptable	Outcomes
	ment in the Yandina Local Plan Area Ger	nerally (All Z	ones)
PO1	Development provides for buildings, structures and landscaping that is consistent with and reflects the traditional rural town architectural character of Yandina in terms of form, composition and use of materials.	AO1.1	Development provides for the retention and/or adaptive re-use, with limited modification, of buildings which have cultural heritage or character significance. Editor's note— Section 8.2.9 (Heritage and
			character areas overlay code) sets out requirements for development on heritage places and in character areas.
		AO1.2	For residential, business and community uses, buildings and structures incorporate traditional external building materials, such as timber cladding and corrugated iron roofs.
		AO1.3	Development uses understated colour schemes and low-reflective roofing and cladding materials.
		AO1.4	Roof forms use simple, traditional Queensland style roof designs, such as hipped or gabled.
PO2	Development provides for the retention and enhancement of key landscape elements including historical landmarks, significant views and vistas, existing	AO2.1	Development provides for the retention of historical landmarks, memorials and monuments.
	character trees and areas of significant <i>vegetation</i> contributing to the setting, character and sense of place of	AO2.2	Development protects and emphasises, and does not intrude upon, the important views to the western foothills of Yandina



Performa	ance Outcomes	Acceptable	Outcomes
	Yandina.		and Mount Ninderry, particularly from the town centre, and to the South Maroochy River, North Maroochy River and other views to surrounding rural and natural areas where identified on Figure 7.2.27A (Yandina local plan elements).
		AO2.3	 Development provides for the retention and enhancement of existing mature trees and character <i>vegetation</i> that contributes to the <i>streetscape</i> character and vegetated backdrop to the town including:- (a) the tree covered hillsides of the western foothills; (b) native <i>vegetation</i> along the North Maroochy River and South Maroochy River; and (c) other character <i>vegetation</i> where identified on Figure 7.2.27A (Yandina local plan elements).
			Note—in some circumstances, the eradication of weed species and planting of locally native species that make a comparable contribution to local character may also satisfy the Acceptable Outcome.
		AO2.4	Development retains and revegetates the remaining gully systems in the Fleming Street and Scott Street area.
		AO2.5	 Development retains and enhances the open space land west of Farrell Street to provide:- (a) a green open space <i>buffer</i> between business uses and residential areas; and (b) a green foreground to views west of the town centre.
PO3	Development contributes to the establishment of attractive and coherent <i>streetscapes</i> and gateways to enhance the sense of entry to, and the rural town character of, Yandina.	AO3.1	Development adjacent to the primary streetscape treatment area or identified gateway/entry point on Figure 7.2.27A (Yandina local plan elements) incorporates architectural and landscape treatments and other design elements which enhance the sense of entry and arrival to, and rural town character of, Yandina, and emphasise corner locations.
		AO3.2	Development along Yandina Coolum Road and Fleming Street, between the Bruce Highway and the town centre provides streetscape and landscaping works to enhance the visual amenity of the route as an entrance to the town.
		AO3.3	Development provides streetscape improvements and traffic calming at the Stevens Street and Farrell Street intersection to reinforce Stevens Street as the focus of the town centre.
		AO3.4	Development provides for streetscape improvements which complement existing or proposed streetscape works in the local area to ensure continuity of <i>streetscapes</i>

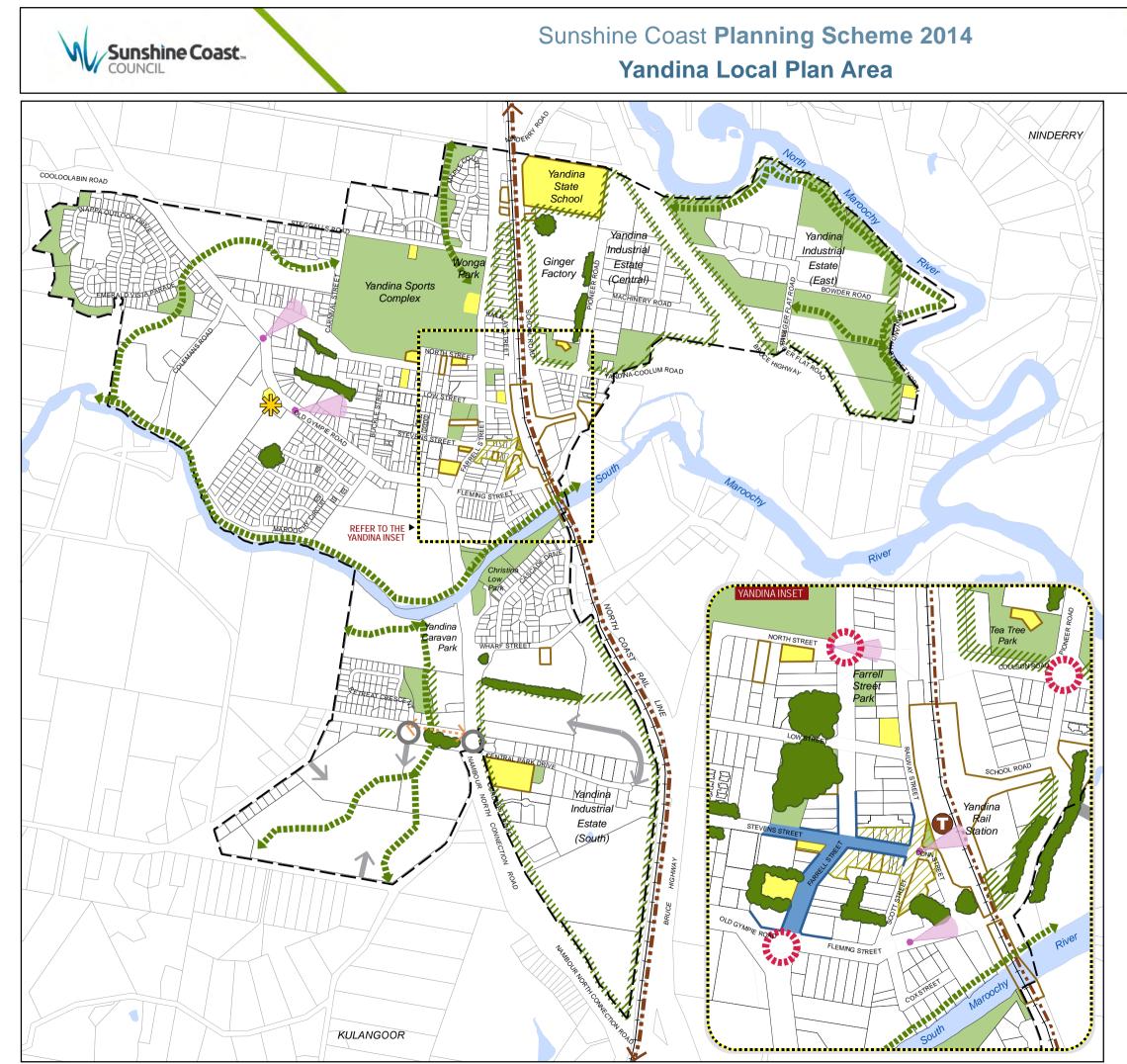
Perform	ance Outcomes	Acceptable	Outcomes
			and landscape design.
			Note— Section 9.4.2 (Landscape code) sets out requirements for streetscape landscapes including entry statement landscapes.
			Note—a landscape master plan may provide further guidance regarding particular streetscape treatments in a local plan area.
			Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and Guideline Standards for each centre as required
PO4	Development on land adjacent to the Bruce Highway incorporates a <i>landscape buffer</i> to visually screen and soften built form elements and maintain and enhance the visual amenity of the highway as a scenic route.	AO4	Development provides a minimum 10 metre wide densely vegetated <i>landscape</i> <i>buffer</i> along the Bruce Highway <i>frontage</i> where identified on Figure 7.2.27A (Yandina local plan elements).
PO5	Development on land with frontage to the North Maroochy River and South Maroochy River, or on land otherwise identified as a local ecological linkage on Figure 7.2.27A (Yandina local plan elements), facilitates the provision of the local ecological linkage.	AO5	No acceptable outcome provided. Editor's note—Section 8.2.3 (Biodiversity, waterways and wetlands overlay code) sets out requirements for the provision of ecological linkages.
PO6	Development for a <i>food and drink outlet</i> does not:- (a) provide for the establishment of a <i>high volume convenience</i> <i>restaurant</i> ; or (b) incorporate a <i>drive-through facility</i> .	AO6	No acceptable outcome provided.
Develop	ment in the Local Centre Zone		
P07	 Development in the Local centre zone provides for small scale uses and mixed uses that:- (a) support the role and function of Yandina Town Centre as a local (full service) activity centre; and (b) provide a wide range of convenience goods and services to residents and visitors. 	A07	No acceptable outcome provided.
PO8	 Development in the Local centre zone:- (a) is sympathetic to the rural town character and identity of Yandina; (b) addresses the street; (c) complements the traditional built form and <i>streetscape</i>; (d) creates vibrant and active streets and public spaces; (e) provides continuous weather protection for pedestrians; (f) uses traditional building materials; and (g) provides integrated and functional car parking and access arrangements that do not dominate the street. 	A08	 Development in the Local centre zone:- (a) provides for Stevens Street to be maintained and enhanced as an attractive and pedestrian friendly main street; (b) provides a fine scale built form with narrow building frontages and buildings built to the Stevens Street road boundary; (c) respects the layout, scale (including height and <i>setback</i>) and character of development on adjoining sites; (d) provides <i>primary active street frontages</i>, built to the front boundary, where identified on Figure 7.2.27A (Yandina local plan elements); (e) provides all weather protection in the form of continuous cantilevered awnings and/or light verandah structures with non-load bearing posts over footpath areas in conjunction with mature or semimature shade trees planted along the <i>site frontage</i> adjacent to the kerb;

Perform	ance Outcomes	Acceptable	Outcomes
			(f) provides for a mixture of original lowset timber framed buildings and
			compatible new buildings; (g) has simple, traditional Queensland style roof designs, such as hipped or gabled, and parapets facing the
			street; (h) has building openings overlooking the street, with the main entrance visually emphasised in the centre of the ground floor facade;
			 (i) provides detailing and articulation for horizontal emphasis including awnings, parapet walls and first floor balconies;
			 (j) uses traditional building materials (timber cladding and corrugated iron roofing);
			 (k) uses understated colour schemes and low-reflective roofing and cladding materials; (l) opeuroe that cignage is integrated
			 (I) ensures that signage is integrated with the building; (m) includes provision of landscaping, shaded seating, public art and
			consistent and simple paving materials on footpaths; and (n) retains on street parking and provides on-site car parking at the rear or to one side of the development.
PO9	Development provides for buildings on corner sites to be designed as focal points and contribute to defining the street intersection, including use of interesting or decorative features or building elements and complementary landscape features.	AO9	No acceptable outcome provided.
PO10	Reconfiguring a lot in the Local centre zone does not result in the alienation of business zoned land.	AO10.1	Development for reconfiguring a lot in the Local centre zone provides for lots which are a minimum of 600m ² in area.
		AO10.2	Development in the Local centre zone does not result in the creation of <i>rear lots</i> .
Develop	ment in the Low Impact Industry Zone		
P011	Development in the Low impact industry zone at Yandina protects the amenity of nearby and surrounding residential areas and premises and the visual amenity of scenic routes.	A011	 Development in the Low impact industry zone:- (a) incorporates attractive and sensitively designed street facades which are of a domestic scale; (b) provides for any larger access doors (e.g. roller doors) to be located sideon or to the rear of buildings; (c) provides for car parking and service areas to the side or rear of buildings; and (d) provides a minimum 3 metre wide densely vegetated <i>landscape buffer</i> along street <i>frontages</i>, boundaries adjoining sensitive uses and boundaries fronting the North Coast Rail Line, where identified on Figure 7.2.27A (Yandina local plan elements).
PO12	Development in the Low impact industry zone in the Yandina Industrial Estate (East):-	AO12	No acceptable outcome provided.
	(⊏asi)		

	Outcomes	Acceptable	Outcomes
(a)	does not adversely impact on the	Acceptable	outcomes
()	scenic amenity of Mount Ninderry		
	when viewed from the Bruce		
	Highway and Yandina Coolum		
	Road;		
(b)	restricts filling for flood immunity to		
	land included within the Low impact		
	industry zone in the Yandina		
	Industrial Estate (East);		
(C)	protects and rehabilitates riparian		
	<i>vegetation</i> and appropriate riparian <i>buffers</i> to the North Maroochy River		
	and the unnamed <i>waterway</i> ;		
(d)	provides or contributes to the		
(u)	provision of greenspace where		
	identified on Figure 7.2.27A		
	(Yandina local plan elements),		
	including an open space area with		
	seating and shelters to serve the		
	needs of employees, generally in		
	the location of the corner of Paulger		
	Flat Road and Bowder Road;		
(e)	provides a minimum 20 metre wide		
	densely vegetated landscape buffer		
	along Yandina-Coolum Road (i.e.		
	along the southern property boundary of Lot 4 on SP159592);		
(f)	provides a minimum 60 metre wide		
(1)	densely vegetated <i>landscape buffer</i>		
	along Banyandah Street North (i.e.		
	along the western property		
	boundary of Lot 263 on C311499);		
	and		
(g)	is in accordance with an approved		
,	infrastructure agreement between		
	the developer and Council to fund		
	the necessary infrastructure to		
	service the development.		
Net	a that informations and in the		
	e—the infrastructure agreement is to tain <i>infrastructure</i> items including water		
	ply, sewerage, open space, stormwater,		
	e facilities, road networks and		
	abilitation and maintenance of riparian		
buff	ers.		
Edit	or's note—Section 8.2.3 (Biodiversity,		
	erways and wetlands overlay code)		
	out requirements for appropriate riparian		
buff			
	velopment in the Low impact industry	AO13.1	Development provides a wide, densely
	e on Lot 312 on SP186045 at 22		vegetated landscape buffer along the
	arf Street:-		boundary of land included in the Low
(a)	incorporates a wide, densely vegetated <i>landscape buffer</i> to		density residential zone such that the wide bushland buffer on land to the west of the
	adjoining land included in the Low		site is extended through the site as
	density residential zone to provide		indicated on Figure 7.2.27A (Yandina
	appropriate separation between		local plan elements).
	residential and industrial land uses,		······································
	and visually screen development;	AO13.2	Development provides for access and
(b)	provides for access to be through		road connections in accordance with
(-)	the existing industrial area on		Figure 7.2.27A (Yandina local plan
	Central Park Drive; and		elements).
	provides for improved local		-
(c)		1	
(c)	vehicular circulation through the		
(c)	provision of a road link to industrial development to the west of the site		
(c)	provision of a road link to industrial		

Perform	ance Outcomes	Acceptable	Outcomes
	on Lot 6 RP811902.		Catconico
P014	Development in the Low impact industry zone on Lot 2 RP127844, at 1 Wappa Falls Road, retains a wide, densely vegetated <i>landscape buffer</i> to adjoining land included in the Low density residential zone to provide appropriate separation between residential and industrial land uses, and visually screen development.	A014	Development provides for the retention of existing <i>vegetation</i> along the western boundary of the site adjacent to land included in the Low density residential zone such that the wide bushland buffer on land to the north of the site is extended as indicated on Figure 7.2.27A (Yandina local plan elements).
Develop	ment in the Medium and High Impact Ind	lustry Zones	
PO15	Development in the Medium and High impact industry zones incorporates wide, densely vegetated <i>landscape</i> <i>buffers</i> to boundaries adjoining or adjacent to residential and other <i>sensitive land uses</i> to buffer, visually screen and soften built form elements and maintain and enhance the visual amenity of the site from the street and the North Coast Rail Line.	AO15	Development provides a minimum 3 metre wide, densely vegetated landscape buffer along street <i>frontages</i> (other than the Bruce Highway) and boundaries adjoining <i>sensitive land uses</i> where identified on Figure 7.2.27A (Yandina local plan elements).
PO16	Development in the Medium impact industry zone in the central and eastern industrial areas, provides for a range of medium and low impact industrial uses, with a focus on uses that complement and enhance the tourism focus area.	AO16	No acceptable outcome provided.
Develop	<i>ment in the Medium Density Residential</i> Development in the Medium density	Zone	
	 residential zone:- (a) provides for the establishment of a range of housing types compatible with a rural town setting; (b) is of a domestic scale that does not dominate the <i>streetscape</i> or detract from the visual amenity of adjoining properties; (c) provides for building form which reflects the traditional Queensland style with the use of timber, pitched roofs, verandahs and subdued colours; (d) contributes positively to local <i>streetscape</i> character; and (e) provides for generous open space to be maintained between buildings to preserve a predominantly open feel. 		
PO18	Development in the Medium density residential zone provides for buildings and structures that take the form of small separate buildings rather than large single bulky developments.	AO18	Development provides for buildings that have no more than 4 attached <i>dwellings</i> .
Develop	ment in the Low Density Residential Zon	ne	
PO19	Development for Reconfiguring a lot in the Low density residential zone provides for lot sizes and a configuration of lots that is sympathetic to the rural town character and identity of Yandina.	AO19.1 AO19.2	Reconfiguring a lot in the Low density residential zone provides for lots which are a minimum of 700m ² in area. Reconfiguring a lot in the Low density residential zone provides for regular shaped lots with a grid or modified grid layout and subdivision pattern.
PO20	Development in the Low density residential zone on Lot 1 SP186045, located on Wharf Street, retains existing	AO20	No acceptable outcome provided.
	in a second concern, retaine existing	I	1

Performa	ance Outcomes	Acceptable	Outcomes
	bushland areas adjoining land in the		
	High impact industry zone and		
	supplements existing vegetation where		
	necessary in order to provide a		
	substantial <i>buffer</i> to the High impact		
	industry zone.		
Addition		able Outcom	es for Development in the Low Density
Resident	tial Zone South of Wappa Falls Road		
PO21	Development in the Low density	AO21	In partial fullfillment of Performance
	residential zone south of Wappa Falls		Outcome PO21:-
	Road provides for a larger average lot		
	size, and a configuration of lots, which:-		Reconfiguring a lot in the Low density
	(a) is sympathetic to the character of		residential zone south of Wappa Falls
	existing rural living and residential		Road provides for:-
	lots;		(a) an average lot size of at least 800m ² ;
	(b) appropriately transitions to the		and
	adjacent residential uses along		(b) lots which are a minimum of 1,000m ²
	Wappa Falls Road and Bracken		in area adjacent to existing lots along
	Fern Road; and		Wappa Falls Road and along the
	(c) are used predominantly for single		frontage to Bracken Fern Road.
	household detached housing.		
PO22	Development in the Low density	AO22	No acceptable outcome provided.
	residential zone south of Wappa Falls		
	Road provides for:-		
	(a) the protection, rehabilitation and		
	buffering of natural waterways and		
	drainage lines through the site;		
	(b) a minimum 10 metre wide		
	vegetated buffer to Creightons		
	Road, extending and enhancing the		
	existing vegetated buffer along the		
	eastern boundary of the site; and		
	(c) the continuation of the existing		
	nature strip/vegetated buffer on the		
	northern boundary of the site		
PO23	fronting Wappa Falls Road. As identified conceptually on Figure	AO23	No acceptable outcome provided.
. 023	7.2.27A (Yandina local plan	A023	
	elements), development in the Low		
	density residential zone south of Wappa		
	Falls Road provides for a safe,		
	interconnected, permeable and legible		
	road, pedestrian and cycle network to		
	service the development, including:-		
	(a) primary access from Wappa Falls		
	Road at the northern boundary of		
	the site, via a new intersection at		
	Retreat Crescent;		
	(b) other external access points from:		
	(i) Wappa Falls Road on the		
	western boundary of the site;		
	and		
	(ii) Bracken Fern Road;		
	(c) works to improve the safety and		
	efficiency of the Nambour North		
	Connection Road, Wappa Falls		
	Road and Creightons Road		
	intersections; and		
	(d) the extension of the existing		
	pedestrian/cycle pathway along		
	Wappa Falls Road from Retreat		
	Crescent to Nambour North		
	Connection Road.		
	Connection Road.		



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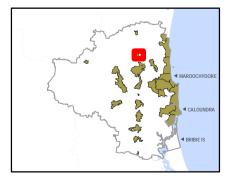
LEGEND	
123	Local Plan Area Boundary
	Waterway ^{Note 1}
	Primary Active Street Frontage
	Primary Streetscape Treatment Area
4****	Local Ecological Linkage
	Greenspace ^{Note 1}
	Community Activity/Facility ^{Note 1}
	Character Vegetation
/////	Landscape Buffer
States and States	Gateway/Entry Point
**	Mountain or Hill
•	Significant View
	Heritage Place ^{Note 2}
	Neighbourhood Character Area ^{Note 2}
$\leftrightarrow \cdots \rightarrow$	Dedicated Public Transport Corridor
∢···· >	Pedestrian/Cycle Linkage
\longrightarrow	Indicative Road Linkage/Access Point
	Transit Hub
0	Intersection Upgrade

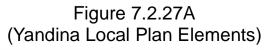
Note 1: For contextual purposes only. Note 2: Refer to Heritage and Character Overlay maps in Schedule 2 (Mapping).

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Part 8

8.2.8 Height of buildings and structures overlay code³⁰

8.2.8.1 Application

- (1) This code applies to assessable development:-
 - (a) subject to the height of buildings and structures overlay shown on the overlay maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Height of buildings and structures overlay code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

8.2.8.2 Purpose and overall outcomes

- (1) The purpose of the Height of buildings and structures overlay code is to protect the distinctive character and amenity of the Sunshine Coast as a place with a predominantly low to medium-rise built form.
- (2) The purpose of the Height of buildings and structures overlay code will be achieved through the following overall outcomes:-
 - (a) development provides for the height of buildings and structures to comply with specified height limits except where explicitly provided for in this code;
 - (b) development contributes to the retention of the preferred built form character for the Sunshine Coast, and the local plan area in which it occurs;
 - (c) the height of buildings and structures is consistent with the reasonable expectations of the local community;
 - (d) development on a *site* within a flooding and inundation area, as identified on a Flood Hazard Overlay Map, is afforded an allowance for additional maximum height so as to minimise the risk to people and property; and
 - (e) development does not result in a significant loss of amenity for surrounding development, having regard to:-
 - (i) the extent and duration of any overshadowing;
 - (ii) privacy and overlooking impacts;
 - (iii) impacts upon views;
 - (iv) building character and appearance; and
 - (v) building massing and scale relative to its surroundings.

8.2.8.3 **Performance outcomes and acceptable outcomes**

Table 8.2.8.3.1 Performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Accep	table Outcomes
Maximu	m Height of Buildings and Structures	5	
PO1	 Unless otherwise specified in PO2 below, the height of a building or structure does not:- (a) exceed the maximum height specified for the <i>site</i> on the applicable Height of Buildings and Structures Overlay Map; (b) adversely impact upon the character of the local area; and 	AO1	No acceptable outcome provided.

³⁰ Editor's note—the Height of Buildings and Structures Overlay Maps in Schedule 2 (Mapping) show the maximum height for development on a particular site.

Dorform		٨٥٥٥	table Quiteemee
Performa	ance Outcomes	Accep	table Outcomes
	(c) result in a significant loss of		
	amenity for surrounding		
	development.		
	Note—a lower height limit may be		
	specified in a local plan code or use		
	code for certain parts of a <i>site</i> (e.g.		
	buildings may be required to be stepped		
	in height, or observe lower height limits		
	along site frontages).		
PO2	Despite PO1 above, for	AO2	No acceptable outcome provided.
	development on a <i>site</i> within a		
	flooding and inundation area, as		
	identified on a Flood Hazard		
	Overlay Map, the maximum height		
	of a building or structure is		
	calculated in accordance with the		
	following formula:-		
	MH = OMH + FHA		
	MH means the maximum height of a building or structure;		
	OMH means the maximum height		
	of a building or structure specified		
	for the <i>site</i> on the applicable Height		
	of Buildings and Structures Overlay		
	Map; and		
	FHA means the flood hazard		
	allowance.		
	allowance.		
	Note—the flood hazard allowance is the		
	vertical difference, in metres, between		
	ground level and the minimum design		
	floor level specified in Column 3B of		
	Table 8.2.7.3.3 (Flood levels and flood immunity requirements for		
	development and infrastructure) of		
	the Flood Hazard Overlay Code.		
	-		
	Note-for a dual occupancy or dwelling		
	house on a site within the Low density		
	residential zone, the flood hazard allowance calculated in accordance with		
	the above formula is not to exceed 1		
	metre.		
Transitio	n of Building Height		
PO3	Where adjoining land with a lower	AO3	No acceptable outcome provided.
	maximum building height as		
	specified on a Height of Buildings		
	and Structures Overlay Map,		
	development provides for a		
	transition of building height adjacent		
	to this land to minimise amenity		
	impacts and achieve a greater		
Ruilding	consistency of character and scale. Design and Modelling		
PO4	Within the maximum height	AO4	No acceptable outcome provided.
	specified for the site on the		
	applicable Height of Buildings and		
	Structures Overlay Map, building		
	design and modelling incorporates		
	roof forms that are consistent with,		
	and reflect the intended character		
	of, the local area in which the		
	development occurs.		
			1

Part 8

8.2.9 Heritage and character areas overlay code³¹ ³² ³³

8.2.9.1 Application

- (1) This code applies to assessable development:-
 - (a) subject to the heritage and character areas overlay shown on the overlay maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Heritage and character areas overlay code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

8.2.9.2 Purpose and overall outcomes

- (1) The purpose of the Heritage and character areas overlay code is to ensure that:-
 - (a) development on or adjoining an identified heritage place is compatible with the heritage significance of the place; and
 - (b) the *streetscape* character and significance of identified character areas is conserved and enhanced.
- (2) The purpose of the Heritage and character areas overlay code will be achieved through the following overall outcomes:-
 - (a) the heritage significance of individual sites and places is conserved;
 - (b) development on a *local heritage place* is compatible with the heritage significance of the place by:-
 - retaining the *local heritage place*, unless there is no prudent and feasible alternative to its demolition or removal;

Note—in considering whether there is no prudent and feasible alternative to the demolition or removal of a *local heritage place*, the *Council* will have regard to:-

- (a) safety, health and economic considerations; and
- (b) any other matters the *Council* considers relevant.
 - (ii) maintaining or encouraging, as far as practicable the appropriate use (including adaptive reuse) of the *local heritage place* whilst protecting the amenity of adjacent uses;
 - (iii) protecting, as far as practicable, the context and setting of the *local heritage place*; and
 - (iv) ensuring development on the *local heritage place* is compatible with the heritage significance of the place;
- (c) development adjoining a local or *State heritage place*³⁴ is sympathetic to the heritage significance of that place; and
- (d) development in a neighbourhood character area:-

- (a) State heritage places;
- (b) local heritage places; and
 (c) neighbourhood character areas.

³¹ Editor's note—the Heritage and character areas overlay code does not apply to indigenous cultural heritage which is protected under the Aboriginal Cultural Heritage Act 2003 or Torres Strait Islander cultural heritage which is protected under the Torres Strait Islander Cultural Heritage Act 2003. In accordance with these Acts, a person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal or Torres Strait Islander cultural heritage ("the cultural heritage duty of care").

³² Editor's note—the following elements referred to in this code are identified on the Heritage and Character Areas Overlay Maps in **Schedule 2 (Mapping)**:-

Statements of significance (citations) for the identified *local heritage places* and character areas are contained in the **Planning** scheme policy for the Heritage and character areas overlay code.

³³ Editor's note—the **Planning scheme policy for the Heritage and character areas overlay code** provides advice and guidance for achieving certain outcomes of this code, including guidance for the preparation of a heritage impact assessment report and conservation management plan.

³⁴ Editor's note—development on State heritage places is regulated by the Queensland Heritage Act 1992.

- (i) is sympathetic and complementary to the *streetscape* character and heritage values of the area;
- (ii) retains buildings, structures and other elements that contribute to the preferred character of the area through their age, form, style, siting and character; and
- (iii) complements, rather than mimics or replicates, the predominant building styles in the street.

8.2.9.3 **Performance outcomes and acceptable outcomes**

Table 8.2.9.3.1 Performance outcomes and acceptable outcomes for assessable development – on a local heritage place or adjoining a State or local heritage place

Performa	ance Outcomes	Acceptab	le Outcomes
Material	Change of Use Involving a Local Her		
PO1	Development is compatible with the conservation and management of the heritage significance of the <i>local heritage place</i> .	AO1	Development is undertaken in accordance with the Australian ICOMOS Charter ³⁵ for Places of Cultural Heritage Significance (Burra Charter).
Reconfig	uring a Lot Involving a Local Heritag	e Place	
PO2	 Development does not:- (a) reduce public access to the <i>local heritage place</i>; (b) result in a <i>local heritage place</i> being severed or obscured from public view; or (c) obscure or destroy any pattern of historic subdivision, the landscape setting or the scale and consistency of the urban fabric relating to the <i>local heritage place</i>. 	AO2	Development is undertaken in accordance with the Australian ICOMOS Charter for Places of Cultural Heritage Significance (Burra Charter).
Buildina	Work or Operational Work Involving	a Local He	eritage Place
PO3	Development conserves and is subservient to the features and values of the <i>local heritage place</i> that contribute to its heritage significance.	AO3	 Development:- (a) does not alter, remove or conceal significant features of the <i>local heritage place</i>; or (b) is minor and necessary to maintain a significant use for the <i>local heritage place</i>.
PO4	Changes to a <i>local heritage place</i> are appropriately managed and documented.	AO4.1 AO4.2	Development is compatible with a conservation management plan prepared in accordance with the Australian ICOMOS Charter for Places of Cultural Heritage Significance. An archival quality photographic record is made of the features of the place that are destroyed because of the development that meets the standards outlined in the <i>Guideline: Archival Recording of Heritage Registered Places</i> (Department of
PO5	Development does not adversely affect the character, setting or appearance of the <i>local heritage</i> <i>place</i> , including removal of vegetation that contributes to the heritage significance of the place.	AO5.1 AO5.2	Environment and Resource Management). The scale, location and design of the development are compatible with the character, setting and appearance of the <i>local heritage place</i> . The development is unobtrusive and cannot
	heritage significance of the place.	AO5.2	The development is unobtrusive and cannot readily be seen from surrounding streets of other public places.

³⁵ Note—Australia ICOMOS Inc. is the national chapter of ICOMOS (International Council of Monuments and Sites), a nongovernment international organisation primarily concerned with the philosophy, terminology, methodology and techniques of cultural heritage conservation.

art 8

Performa	nce Outcomes	Acceptat	le Outcomes
		AO5.3	Existing <i>vegetation</i> that forms part of the <i>local heritage place</i> is retained and incorporated into the design and layout of development.
PO6	Excavation or other earthworks do not have a detrimental impact on archaeological sites.	AO6.1	The impact of excavation is minor and limited to parts of the <i>local heritage place</i> that have been disturbed by previous excavation.
		AO6.2	An archaeological investigation is carried out for development involving a high level of surface or sub-surface disturbance.
Develop	ment adjoining a State or Local Herit	age Place	
PO7	Where on a lot or premises adjoining a <i>State heritage place</i> or a <i>local heritage place</i> , development is located, designed and constructed in a manner that does not adversely affect the heritage significance of the heritage place, including its context, setting, appearance and archaeology.	A07.1 A07.2	The scale, location and design of the development is compatible with the heritage significance of the adjoining State heritage place or <i>local heritage place</i> , including its context, setting and appearance. Where the <i>site</i> adjoins a <i>State heritage place</i> or a <i>local heritage place</i> that has been identified as an archaeological place, an archaeological investigation is carried out for development involving a high level of
		l	surface or sub-surface disturbance.
PO8	ing Devices (All Places)	AO8	No cocontable quiteeme provided
P08	 Advertising devices located on a local heritage place or adjoining a State heritage place, or a local heritage place, are sited and designed in a manner that:- (a) is compatible with the heritage significance of the place; and (b) does not obscure the appearance or prominence of the heritage place when viewed from the street or other public place. 	AUð	No acceptable outcome provided.

Table 8.2.9.3.2Performance outcomes and acceptable outcomes for assessable
development – within a neighbourhood character area

Perform	ance Outcomes	Acceptab	le Outcomes
Infill Dev	/elopment		
PO1	Infilldevelopmentwithinaneighbourhoodcharacterarea,includingredevelopmenton vacantsites,iscompatiblewiththe keycharacterelementsforthearea,havingregardto:-(a)settingandstreetscapecontext;(b)viewsandvistas;(c)scaleandform;(d)materials;and(e)landscapetreatments.	AO1	No acceptable outcome provided.
PO2	The existing streetscape is maintained in terms of:- (a) building orientation; (b) building alignment; and (c) side and front boundary setbacks.	AO2	No acceptable outcome provided.
PO3	Development provides front boundary setbacks that ensure new	AO3	No acceptable outcome provided.

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Porforma	ince Outcomes	Accentab	le Outcomes
F enorma	additions and works are consistent	Acceptab	le Outcomes
	in alignment with adjoining lots.		
PO4	New buildings respect the	AO4	No acceptable outcome provided
F 04	architectural style of surrounding	A04	
	development and complement,		
	rather than replicate, period		
Domoliti	building styles. on or Removal of Character Building		
PO5	Existing buildings or structures are	AO5	No accontable outcome provided
FUJ	not wholly or partially demolished	AUS	No acceptable outcome provided.
	or removed unless one or more of		
	the following circumstances apply:-		
	(a) the building or structure is not		
	capable of structural repair;		
	(b) repair is not feasible having		
	regard to economic, safety		
	and health considerations; or		
	(c) the building or structure does		
	not contribute to the historical,		
	architectural or streetscape		
	character of the area.		
	tions to Character Buildings	-	
PO6	Modifications to existing buildings,	AO6	No acceptable outcome provided.
	including associated landscapes		
	and fencing:-		
	(a) do not interfere with the		
	integrity of the facade and		
	continuity of the streetscape;		
	(b) utilise traditional materials		
	and design elements		
	consistent with other		
	character buildings in the		
	area and the period or		
	characteristics of significance;		
	and		
	(c) complement the form and		
	proportions of the existing		
	building.		
Ancillarv	Structures		
PO7	Ancillary structures are located	A07	Proposed structures are not visible from
	such that they do not detract from		surrounding streets and do not detract from
	the neighbourhood character area		or significantly obscure the view of a
	and are respectful of the existing		character building.
	<i>character building</i> in terms of		onaraotor banang.
	materials, form and scale.		
Advertisi	ing Devices	I	
PO8	Advertising devices are sited and	AO8	No acceptable outcome provided.
	designed to be consistent with the		
	style, size and form of signage of		
	the significant era or period of time.		

8.2.10 Landslide hazard and steep land overlay code³⁶ ³⁷

8.2.10.1 Application

- (1) This code applies to accepted development and assessable development:-
 - (a) subject to the landslide hazard and steep land overlay shown on the overlay maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Landslide hazard and steep land overlay code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The acceptable outcomes in Table 8.2.10.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

8.2.10.2 Purpose and overall outcomes

- (1) The purpose of the Landslide hazard and steep land overlay code is to ensure:-
 - (a) development avoids or mitigates the potential adverse impacts of landslide hazard on people, property, economic activity and the environment; and
 - (b) development on steep land is avoided or otherwise limited in scale and intensity, and is sensitively located and designed to minimise adverse impacts on scenic amenity, the environment and public safety.
- (2) The overall outcomes sought for the Landslide hazard and steep land overlay code are the following:-
 - (a) development in areas at risk from landslide hazard is compatible with the nature of the hazard;
 - (b) the risk to people, property and the natural environment from landslide hazard is minimised;
 - (c) development does not result in a material increase in the extent or severity of landslide hazard; and
 - (d) development on *steep land* occurs only where the scenic and environmental quality and integrity of the landscape is maintained and safe and efficient *access* can be provided.

8.2.10.3 **Performance outcomes and acceptable outcomes**

Table 8.2.10.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development

	Performance Outcomes		le Outcomes
Landslid	e Hazard Areas		
Risk of H	larm to People and Property		
PO1	Development does not increase the risk of harm to people and property as a result of landslide by either:- (a) avoiding development in a landslide hazard area; or (b) undertaking development in a landslide hazard area only	A01	Development, including associated <i>access</i> , is not located on land identified as a landslide hazard area on a Landslide Hazard and Steep Land Overlay Map. OR

³⁶ Editor's note—landslide hazard areas and *steep land* (slopes of 15% or greater) are identified on the Landslide Hazard and Steep Land Overlay Maps in **Schedule 2 (Mapping)**. Landslide hazard may also be a risk in other areas and warrant further assessment.

³⁷ Editor's note—the Planning scheme policy for the landslide hazard and steep land overlay code and the Planning scheme policy for development works provide advice and guidance for achieving certain outcomes of this code, including guidance for the preparation of a site-specific geotechnical assessment report.

Perfermence Outcomes	Assortable Outsomes
Performance Outcomes where strictly in accordance with best practice geotechnical principles.	Acceptable Outcomes Development, including associated access, is located in a low or very low landslide hazard area, as determined by a geotechnical investigation prepared by a competent person.
	Note—a site-specific geotechnical assessment may be used to demonstrate that although the proposed development is shown on a Landslide Hazard and Steep Land Overlay Map as being located within a landslide hazard area, the landslide hazard risk is in fact low or very low.
	OR
	 Where development is located on land identified as a landslide hazard area³⁸:- (a) a competent person has certified that:- (i) the stability of the <i>site</i>, including associated buildings and <i>infrastructure</i>, will be maintained during the course of the development and will remain stable for the life of the development; (ii) development of the <i>site</i> will not increase the risk of landslide activity on other land, including land above the <i>site</i>; and (iii) the <i>site</i> is not subject to the risk of landslide activity originating from other land; and (b) any measures identified in a site-specific geotechnical assessment for stabilising the <i>site</i> or development
Steep Land	nate been rany impontented.
Risk of Harm to People and Property	
PO2 Development, including associated access, does not increase the risk of harm to people and property by:- (a) avoiding development on steep land; or	AO2 Development, including associated <i>access</i> , is not located on <i>steep land</i> as identified on a Landslide Hazard and Steep Land Overlay Map.
(b) undertaking development on	OR
<i>steep land</i> only where strictly in accordance with best- practice geotechnical principles.	Development, including associated <i>access</i> , is located on land with less than 15% <i>slope</i> , as determined by a site-specific <i>slope</i> <i>analysis</i> prepared by a competent person.
	OR
	 Where development is located on steep land³⁹, a site-specific geotechnical assessment prepared by a competent person certifies that:- (a) the stability of the <i>site</i>, including associated buildings and <i>infrastructure</i>, will be maintained during both the construction and operational life of the development; and (b) the <i>site</i> is not subject to risk of landslide activity originating from other land.

 ³⁸ As specified on a Landslide Hazard and Steep Land Overlay Map or as determined by a site-specific geotechnical assessment.
 ³⁹ As specified on a Landslide Hazard and Steep Land Overlay Map or as determined by a *slope analysis*.

	s for assessable development w		
PO3	 Where for a <i>dwelling house</i>, it development:- (a) is responsive to the natu topography of the <i>site</i> a minimises the need for and fill; (b) does not visually dominate thill slope or interrupt the skyline; and (c) is visually integrated w natural site characterist including <i>vegetation</i>. 	he AO3.1 ral nd cut he he ith	 Where for a <i>dwelling house</i> and located on land having a <i>slope</i> exceeding 15%, as identified on a Landslide Hazard and Steep Land Overlay Map:- (a) buildings are of a split level design that steps down the slope or incorporates a suspended floor construction that avoids filling and/or excavation; OR (b) any <i>filling or excavation</i> associated with buildings, structures or driveways is confined to the driveway and plan area of the <i>dwelling house</i>, with ground level being retained around the driveway and the external walls of the
			building(s); OR
			 (c) any <i>filling or excavation</i> associated with buildings, structures or driveways:- (i) is not more than 2 metres relative to ground level or 1.0 metres relative to ground level where within 1.5 metres of any property boundary; and (ii) does not necessitate the construction of a retaining wall exceeding 2 metres in height relative to ground level.
		AO3.2	Any <i>filling or excavation</i> associated with buildings, structures or driveways provides for the stabilisation of any cut or fill batter through the use of landscapes and/or retaining walls.
		AO3.3	Driveways are not steeper than 20% for more than 20 metres or one quarter of their length, whichever is the lesser, and not more than 25% in any location.
		AO3.4	Parts of a driveway steeper than 20% are provided with a slip-resistant surface.

Table 8.2.10.3.2 Additional performance outcomes and acceptable outcomes for assessable development

	Performance Outcomes		Outcomes
Landslie	le Hazard and Steep Land		
Essentia	al Community Infrastructure		
PO1	<i>Essential community infrastructure</i> is able to function effectively during and immediately after landslide events.	A01	Development involving essential community infrastructure is not located within a landslide hazard area, or on steep land, as identified on the applicable Landslide Hazard and Steep Land Overlay Map. OR

Performa	ance Outcomes	Acceptable	Outcomes
			Development involving essential community infrastructure is located in a low or very low landslide hazard area, as determined by a site-specific geotechnical assessment prepared by a competent person. OR
			 Development involving essential community infrastructure:- (a) does not result in any new building work, other than an addition to an existing building; (b) does not involve vegetation clearing; and (c) does not alter ground levels or stormwater conditions.
			OR
			 Development involving essential community infrastructure includes measures identified by a site-specific geotechnical assessment, prepared by a competent person, that ensure:- (a) the long term stability of the site, including associated buildings and infrastructure; (b) access to the site will not be impeded by a landslide event; and (c) the community infrastructure will not be adversely affected by landslides originating from other land, including land above the site.
Storage PO2	of Hazardous Materials Development ensures that public	AO2	Development involving the manufacture or
	safety and the environment are not adversely affected by the detrimental impacts of landslide on hazardous materials manufactured or stored in bulk.		storage of hazardous materials in bulk is not located within a landslide hazard area, or on <i>steep land</i> , as identified on a Landslide Hazard and Steep Land Overlay Map.
			OR
			Development involving the manufacture or storage of hazardous materials in bulk is located in a low or very low landslide hazard area, as determined by a site- specific geotechnical assessment prepared by a competent person.
			OR
			Where development is located in a landslide hazard area ⁴⁰ , a site-specific geotechnical assessment prepared by a competent person certifies that:- (a) the stability of the <i>site</i> , including associated buildings and <i>infrastructure</i> , will be maintained during both the construction and operational life of the development; and

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⁴⁰ As specified on a Landslide Hazard and Steep Land Overlay Map or as determined by a site-specific geotechnical assessment.

Performa	ance Outcomes	Acceptable	Outcomes
			(b) the <i>site</i> is not subject to risk of landslide activity originating from other land.
Steep La			
PO3	Donsive Design Development, including associated access, is and constructed to:- including	AO3.1	No additional lot which includes a house site is created on land with a <i>slope</i> of 25% or greater.
	 (a) sensitively respond to the constraints imposed by slope; (b) minimise impacts on the natural landform and 	AO3.2	Development avoids or minimises <i>filling or excavation</i> by using elevated construction or stepped (split level) building forms.
	natural landform and landscape character; and (c) avoid any potential instability and associated problems, including long term stability of the <i>site</i> and long term stability of the development and adjoining properties.	AO3.3	Development provides for cut and fill batters to be stabilised and protected from erosion by measures such as grassing, dense landscapes, retaining walls or other suitable stabilisation/protective methods.
PO4 ⁴¹	 Development is sensitively designed, sited and erected to respect and be visually integrated into the streetscape and the natural surroundings by ensuring:- (a) adequate screening of the underneath of buildings; (b) retention, where possible, of natural landforms, drainage lines and vegetation; and (c) buildings and structures are not visually intrusive, particularly from ridge lines, public open spaces, scenic routes and other critical vantage points, outside of the <i>site</i>. 	AO4.1 AO4.2	 Any building, including any associated car parking structure:- (a) has a maximum undercroft height at the perimeter of the building of 3 metres above ground level; or (b) incorporates undercroft skirting or screening (such as timber battens) to the full height of any undercroft higher than 3 metres above ground level at the perimeter of the building; or (c) incorporates landscape screening for the full height of any undercroft higher than 3 metres above ground level at the perimeter of the building; (c) incorporates landscape screening for the full height of any undercroft higher than 3 metres above ground level at the perimeter of the building.
			completion of the works.
Safe and PO5	Efficient Access	AO5.1	Pood grades comply with the standards
205	Development provides safe and efficient <i>access</i> for vehicles and pedestrians.	AU5.1	Road grades comply with the standards specified in the Planning scheme policy for development works.
		AO5.2	Driveways are not steeper than 20% for more than 20 metres or one quarter of their length, whichever is the lesser, and not steeper than 25% in any location.
		AO5.3	Vehicle turning areas are provided at the end of driveways so that it is not necessary to reverse up or down driveways.
		AO5.4	Where a driveway is steeper than 20% in any part, it is provided with a slip-resistant surface.

⁴¹ Editor's note—the acceptable outcomes corresponding to this performance outcome represent only partial fulfilment of the performance outcome. In order to adequately address this performance outcome, other measures are also likely to be necessary.

8.2.11 Regional infrastructure overlay code⁴²

8.2.11.1 Application

- (1) This code applies to assessable development:-
 - (a) subject to the regional infrastructure overlay shown on the overlay maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Regional infrastructure overlay code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

8.2.11.2 Purpose and overall outcomes

- (1) The purpose of the Regional infrastructure overlay code is to is to ensure that development is compatible with, and does not adversely affect the viability, integrity, operation and maintenance of, the following existing and planned regional *infrastructure* within the Sunshine Coast:-
 - (a) gas pipelines;
 - (b) high voltage electricity transmission lines;
 - (c) water supply pipelines;
 - (d) sewage treatment plants;
 - (e) major roads;
 - (f) railways; and
 - (g) dedicated public transport corridors.
- (2) The purpose of the Regional infrastructure overlay code will be achieved through the following overall outcomes:-
 - (a) existing and planned regional *infrastructure* facilities, networks and corridors are protected from incompatible development;
 - (b) development proximate to existing and planned regional *infrastructure* facilities, networks and corridors is appropriately located, designed, constructed and operated to:-
 - (i) avoid compromising the integrity, operational efficiency and maintenance of regional *infrastructure*; and
 - (ii) protect the amenity, health and safety of people and property; and
 - (c) the number of people exposed to the potential adverse impacts emanating from regional *infrastructure* is minimised.

8.2.11.3 Performance outcomes and acceptable outcomes

Table 8.2.11.3.1 Performance outcomes and acceptable outcomes for assessable development

Performance Outcomes		Acceptable Outcomes	
Gas Pipe	eline Corridors and Buffers		
PO1	Development provides and maintains adequate separation between the use or works and the gas pipeline corridor identified on a Regional Infrastructure Overlay		Buildings and structures are setback a minimum of 40 metres from a gas pipeline as identified on a Regional Infrastructure Overlay Map.

⁴² Editor's note—the following elements referred to in this code are identified on the Regional Infrastructure Overlay Maps in Schedule 2 (Mapping):-

+

⁽a) gas pipeline corridors and buffers;

⁽b) high voltage electricity transmission lines and buffers;

⁽c) water supply pipelines and buffers;(d) sewage treatment plants and buffers;

 ⁽d) sewage treatment plants and buffers
 (e) major road corridors and buffers;

 ⁽e) major road corridors and buffers;
 (f) railway corridors and buffers; and

⁽g) dedicated transit corridors and buffers.

Performa	ince Outcomes	Acceptab	le Outcomes
	Map, so as to minimise risk of harm to people and property.		Editor's note—should a lesser setback distance be proposed, it is recommended that the applicant consult with the relevant gas pipeline manager prior to the lodgement of a development application to determine how compliance with the performance outcome can be achieved.
PO2	 Development, including uses and works are constructed and operated to avoid:- (a) compromising the viability of the gas pipeline corridor; or (b) damaging or adversely affecting the existing or future operation of the gas pipeline and the supply of gas. 	AO2	No acceptable outcome provided. Editor's note—it is recommended that an applicant consult with the relevant gas pipeline manager prior to the lodgement of a development application in the vicinity of a gas pipeline corridor.
	tage Electricity Transmission Lines a		
PO3	Development does not adversely impact on existing or planned high voltage electricity transmission <i>infrastructure</i> .	AO3	Urban residential lots and buildings and structures are not located within an easement for, or an area otherwise affected by, a high voltage electricity transmission line as identified on a Regional Infrastructure Overlay Map.
PO4	Sensitive land uses are not located close to high voltage electricity transmission lines.	A04	 Buildings and outdoor use areas associated with a sensitive land use are setback from the closest boundary of an easement for, or an area otherwise affected by, a high voltage electricity transmission line, in accordance with the following:- (a) 20 metres for transmission lines up to 132kV; (b) 30 metres for transmission lines between 133kV and 275kV; and (c) 40 metres for transmission lines exceeding 275kV.
Water Su	pply Pipelines and Buffers		
PO5	Development within a water supply pipeline and buffer identified on a Regional Infrastructure Overlay Map:- (a) is located, designed and constructed to protect the integrity of the water supply pipeline; and (b) maintains adequate access for any required maintenance or upgrading work to the water supply pipeline. Treatment Plants and Buffers	A05	Buildings and structures are setback a minimum of 20 metres from a water supply pipeline as identified on a Regional Infrastructure Overlay Map. Editor's note—should a lesser setback distance be proposed, it is recommended that an applicant consult with the relevant water entity, to determine how compliance with the performance outcome can be achieved.
PO6	Residential activities and other	PO6.1	A sensitive land use involving a residential
	sensitive land uses are not adversely affected by odour emissions from existing or planned sewage treatment plants.	PO6.2	A sensitive land use involving a residential activity is not located or intensified within a sewage treatment plant buffer as identified on a Regional Infrastructure Overlay Map. A sensitive land use (other than a residential activity) located within a sewage treatment plant buffer, as identified on a Regional Infrastructure Overlay Map, demonstrates that occupants and users will not be adversely affected by odour emissions from the sewage treatment plant.
		PO6.3	Reconfiguring a lot within a sewage treatment plant.

⁴³ Editor's note—applicants are encouraged to consult with the relevant electricity transmission line manager when proposing development in the vicinity of high voltage electricity transmission lines. Any work within an electricity transmission line easement may require the consent of the electricity transmission manager that holds the easement.

Derferme		Assentab	
Performa	ince Outcomes	Acceptab	ole Outcomes
			Regional Infrastructure Overlay Map:-
			(a) does not result in the creation of
			additional lots used or capable of being
			used for residential activities; and
			(b) where rearranging boundaries, does
			not worsen the existing situation with
			respect to the distance between
			available dwelling sites and the
			sewage treatment plant.
	ad and Railway Corridors and Buffe		
PO7	Sensitive land uses are located and	A07	No acceptable outcome provided.
	designed to ensure that noise		Editoria note Dant 4.4 of the Overenderd
	emissions from existing or planned		Editor's note—Part 4.4 of the <i>Queensland Development Code</i> provides requirements for
	major road and railway corridors do		residential buildings in a designated transport
	not adversely affect:-		corridor.
	(a) the development's primary		
	function; and		
	(b) the wellbeing of occupants		
	including their ability to sleep,		
	work or otherwise undertake		
	quiet enjoyment without		
	unreasonable interference		
	from road traffic noise.		
PO8	Development within a <i>major road</i> or	AO8	No acceptable outcome provided.
	railway corridor buffer, as identified		
	on a Regional Infrastructure		
	Overlay Map, maintains and, where		
	practicable, enhances the safety,		
	efficiency and effectiveness of the		
	corridor.		
PO9	Development retains and enhances	AO9	No acceptable outcome provided.
	existing vegetation between the		
	intended location of the		
	development and a <i>major road</i> or		
	railway corridor, so as to provide		
	dense screening to potential noise,		
	dust, odour and visual impacts		
	emanating from the corridor.		
Dedicate	d Public Transport Corridors and Bu	Iffers	
PO10	Development adjacent to an	AO10	No acceptable outcome provided.
	existing or planned dedicated public		
	transport corridor and buffer, as		
	identified on a Regional		
	Infrastructure Overlay Map, is:-		
	(a) compatible with the nature		
	and function of the corridor;		
	and		
	(b) does not compromise the		
	operational efficiency of the		
	corridor.		
L		1	l

⁴⁴ Major Road Corridors and Buffers identified on the Regional Infrastructure Overlay Maps incorporate designated transport noise corridors for the purposes of the *Building Act 1975*.

8.2.12 Scenic amenity overlay code⁴⁵ ⁴⁶

8.2.12.1 Application

- (1) This code applies to assessable development:-
 - (a) subject to the scenic amenity overlay shown on the overlay maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Scenic amenity overlay code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

8.2.12.2 Purpose and overall outcomes

- (1) The purpose of the Scenic amenity overlay code is to ensure that development does not adversely affect scenic amenity and landscape values within the Sunshine Coast.
- (2) The purpose of the Scenic amenity overlay code will be achieved through the following overall outcomes:-
 - (a) development protects the significant landscape elements and features which contribute to the unique character and identity of the Sunshine Coast, including:-
 - (i) the scenic amenity values visible from scenic routes;
 - the regional inter-urban break which provides continuity of separation between the Sunshine Coast and the Brisbane to Caboolture metropolitan area and defines the Sunshine Coast as a separate place in the South East Queensland Region;
 - the sub-regional inter-urban breaks which provide continuity of separation between urban communities within the Sunshine Coast and define individual communities as separate places within the sub-region; and
 - (iv) significant views and vistas⁴⁷.

8.2.12.3 **Performance outcomes and acceptable outcomes**

Table 8.2.12.3.1 Performance outcomes and acceptable outcomes for assessable development

Performa Scenic R	ance Outcomes	Acceptak	ole Outcomes
PO1	 Development does not detract from the visual amenity of a scenic route and:- (a) is visually unobtrusive, relative to its urban or non-urban setting and surroundings, when viewed from the scenic route; (b) maintains or enhances important view corridors or distance views from the scenic route to significant landscape features; and (c) is low key, both visually and in scale, so as not to detract 		 Development on land adjoining a scenic route, as identified on a Scenic Amenity Overlay Map:- (a) retains existing vegetation and incorporates landscape treatments to visually screen and soften built form elements, whilst not impeding distance views or view corridors from the scenic route; (b) incorporates building materials and external finishes that are compatible with the visual character and the landscape or townscape setting of the scenic route; and (c) minimises visual impacts on the scenic

⁴⁵ Editor's note—the following elements referred to in this code are identified on the Scenic Amenity Overlay Maps in **Schedule 2** (Mapping):-

⁽a) scenic routes; and

⁽b) the regional inter-urban break. Sub-regional inter-urban breaks are identified on Strategic Framework Map SFM6 (Community identity, character and social inclusion elements).

⁴⁶ Editor's note—the **Planning scheme policy for the scenic amenity overlay code** provides advice and guidance for achieving

certain outcomes of this code, including guidance for the preparation of a visual impact assessment report.

⁴⁷ Editor's note—a local plan code may also contain requirements with respect to local view corridors and view lines.

Porform	ance Outcomes	Accontab	le Outcomes
T entonina		Acceptat	route in terms of:-
	from the scenic amenity offered from the scenic route.		
	onered from the scenic route.		 the scale, <i>building height</i> and setback of buildings;
			access roads and driveways; and
			(iii) the scale, extent and visual
			prominence of signage.
	I Inter-urban Break		
PO2	Urban and rural residential	AO2	No acceptable outcome provided.
	development does not occur within		
	the regional inter-urban break.		
PO3	Development protects and	AO3	No acceptable outcome provided.
	enhances the landscape values of		
	the regional inter-urban break as a		
	non-urban land area, free of urban		
	elements and <i>infrastructure</i> , that		
	maintains the continuity of		
	separation between the Sunshine		
	Coast and the Brisbane to		
	Caboolture metropolitan area.		
Sub-reai	onal Inter-urban Breaks		
PO4	Urban and rural residential	AO4	No acceptable outcome provided.
_	development does not occur within	_	
	a sub-regional inter-urban break.		
PO5	Development protects the function	AO5	No acceptable outcome provided.
	of a sub-regional inter-urban break		
	in providing physical and visual		
	separation between urban areas,		
	individual places and communities		
	within the Sunshine Coast.		
Significa	Int Views and Vistas	1	
PO6	Assessable development requiring	AO6	Development maintains or enhances the
1.00	impact assessment, or other	700	significant views identified in Table
	development that exceeds the		8.2.12.3.2 (Significant views).
	maximum height specified on a		0.2.12.3.2 (Significant views).
	Height of Buildings and Structures		
	Overlay Map, does not adversely		
	impact upon significant views.		
	impact upon significant views.		
	Note—the Height of buildings and		
	structures overlay code provides that		
	certain types of development may		
	exceed the height limits specified for a		
	site on the applicable Height of		
	Buildings and Structures Overlay Map.		
L	2 and 3 and 3 addition 3 tonay Map.	1	

Table 8.2.12.3.2 Significant views

Column 1 Significant views	Column 2 Location
Views of the Glass House Mountains from Bulcock Beach, Wickham Point and the higher parts of Regent and Queen Streets (near Maltman Street)	Caloundra local plan area
View of Pumicestone Passage and Bribie Island from Bulcock Beach and within the Caloundra Town Centre	Caloundra local plan area
Views of Moffat Beach and Tooway Lake and the northern beaches from Moffat Head	Caloundra local plan area
Views to Moffat Head from Dicky Beach and Shelly Beach	Caloundra local plan area
Views to Shelly Beach and George Watson Park from Caloundra Head and Moffat Head	Caloundra local plan area
Views to Kings Beach, Bribie Island and Caloundra Bar from Caloundra Head and Esplanade	Caloundra local plan area
Views to Point Cartwright from Moffat Head and Dicky Beach	Caloundra local plan area
Views from Caloundra Road and Little Mountain to Pumicestone Passage, Moreton Bay and Islands	Caloundra West local plan area
Views of the Glass House Mountains from Pumicestone Passage	Caloundra local plan area, Golden Beach/Pelican Waters local plan area, Rural area

8.2.13 Water resource catchments overlay code⁴⁸

8.2.13.1 Application

- (1) This code applies to assessable development:-
 - (a) subject to the water resource catchments overlay shown on the overlay maps contained within **Schedule 2 (Mapping)**; and
 - (b) identified as requiring assessment against the Water resource catchments overlay code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

8.2.13.2 Purpose and overall outcomes

- (1) The purpose of the Water resource catchments overlay code is to protect the following water supply catchments that are wholly or partly contained in the Sunshine Coast:-
 - (a) Cooloolabin Dam and Wappa Dam;
 - (b) Baroon Pocket Dam;
 - (c) Ewen Maddock Dam; and
 - (d) Somerset Dam and Wivenhoe Dam.
- (2) The purpose of the Water resource catchments overlay code will be achieved through the following overall outcomes:-
 - (a) development is located, designed and managed to avoid adverse impacts on water quality in a water supply catchment;
 - (b) development maintains and contributes to improving water quality in a water supply catchment;
 - (c) development promotes sustainable land use practices within a water supply catchment;
 - (d) development protects and enhances land resources, natural systems and *vegetation* within a water supply catchment; and
 - (e) development in a water supply catchment ensures that there is no cumulative impact on water quality.

8.2.13.3 **Performance outcomes and acceptable outcomes**

Table 8.2.13.3.1 Performance outcomes and acceptable outcomes for assessable development

Performa	ance Outcomes	Acceptab	ole Outcomes
Effects o	f Development on Water Supply Sto	rages and	Water Supply Catchment Areas
PO1	Development complies with the specific outcomes of the SEQ Water Development Guidelines for Water Quality Management in Drinking Water Catchments as if the specific outcomes are performance outcomes.		Development complies with the measures of the SEQ Water Development Guidelines for Water Quality Management in Drinking Water Catchments as if the measures are acceptable outcomes.

⁴⁸ Editor's note—water supply storages and water resource catchment areas are identified on the Water Resource Catchments Overlay Maps in Schedule 2 (Mapping).

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9.3.4 Community activities code

9.3.4.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Community activities code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.4.2 Purpose and overall outcomes

- (1) The purpose of the Community activities code is to ensure community activities are appropriately located to maximise community benefit and are designed in a manner which meets the needs of users and protects neighbourhood character and the amenity of surrounding premises.
- (2) The purpose of the Community activities code will be achieved through the following overall outcomes:-
 - (a) a community activity is established in a manner that maximises community benefit;
 - (b) where practicable, a community activity is integrated and co-located with another community activity use;
 - (c) buildings exceeding the predominant height of surrounding residential development minimises adverse impacts to neighbourhood character and amenity, through appropriate building design and physical separation; and
 - (d) the operation of a community activity does not have an adverse impact on the amenity of adjoining residential premises.

9.3.4.3 **Performance outcomes and acceptable outcomes**

Table 9.3.4.3.1 Performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
Location	n and Site Suitability		
PO1	 The community activity use is located:- (a) conveniently to the population that it is intended to serve; and (b) in an area that is intended for a community activity use. 	A01	The community activity use is located within the Community facilities zone. OR The community activity use is located within a <i>centre zone</i> . OR The community activity is located in another <i>urban zone</i> adjacent to another
			compatible community activity.
PO2	The community activity is located on a <i>site</i> that is capable of accommodating a well-designed and integrated facility.	AO2	No acceptable outcome provided.
PO3	The community activity is located and designed to ensure that users are not exposed to unacceptable levels of noise, unhealthy air emissions, contaminants or other nuisance.	AO3	 The community activity is located on a <i>site</i> where:- (a) soils are not contaminated by pollutants which represent a health or safety risk to users; (b) maximum concentrations of air pollutants are less than those recommended by the National Health and Medical Research Council; and (c) noise levels from external sources (measured at the maximum L₁₀ [1]

P04 Where the community activity is located and (i) S5dB(A) when measured at the centre of any outdoor use area. P04 Where the community activity is located and adjacent to an electricity transmission line, it incorporates adequate setbacks to protect the health and wellbeing of users. A04 P05 The scale and siting of buildings and structures used for the community activity. (b) a 30 metre separation distance for transmission lines between 133kV and 132kV; and (c) a 40 metre separation distance for transmission lines between 133kV and 132kV; P05 The scale and siting of buildings and structures used for the community activity. A05.1 In partial fulfitment of Performance Outcome PO5 P05 The scale and setting, and the nature and scale of surrounding development; and A05.1 In partial fulfitment of Performance Outcome PO5 (b) provides adequate separation from residential uses and land in a residential use and land in a residential use and land in a residential access are minimised. A05.2 P06 The community activity beso namy surrounding residential area, including by way of noise, light and odour nuisance. A05.2 P06 The community activity activity and innuctures are activity that is essential community infrastructure is analtaned during and structures is defined in Schedule 1 P06 The community activity does not impose uncasconable adverse impacts on any surrounding residential area, including by way of noise, light and odour nuisance. P07 <td< th=""><th>Performa</th><th>ance Outcomes</th><th>Acceptable</th><th>Outcomes</th></td<>	Performa	ance Outcomes	Acceptable	Outcomes
 (i) 48dB(A) within buildings; and enter the centre of any outdoor use area. PO4 Where the community activity is located adjacent to an electricity transmission line, it incorporates adequate sebacks to protect the health and wellbeing of users. Po4 adjacent to an electricity transmission line, it incorporates adequate sebacks to protect the health and wellbeing of users. (a) a 20 metre separation distance for transmission lines between 33kV and 132kV; (b) a 30 metre separation distance for transmission lines greater than 275kV; and (c) a 40 metre separation distance for transmission lines of the community activity: (a) is appropriate, having regard to its location and setting, and the nature and scale of surrounding development; and (b) provides adequate separation from residential zone, so that adverse impacts on visual amenity, privay and solar access are minimised. AO 5.2 The community activity activity and solar access are minimised. AO 5.2 The community activity activity and solar access are minimised. AO 5.2 The community activity activity activity and solar access are minimised. AO 5.2 The community activity activity and solar access are minimised. AO 5.2 The community activity activity and solar access are minimised. AO 5.2 The community activity activity function and setting area, including by way of noise, light and doour nuisance. AO6.1 The functioning of a community activity function residential acce, an enormand and in a residential acce, an inimumuly infrastructure is maintained during and instructure. The functioning of a community activity function and access access are minimised. AO 5.2 The community activity function activities are located and oresonates.				
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adjacent to an electricity transmission line, it incorporates adequate setbacks to protect the health and wellbeing of users. the most proximate boundary of an electricity transmission line assement as follows:- (a) a 20 metre separation distance for transmission lines greater than 25KV. Scale and Siting of Buildings and Structures AO5.1 PO5 The scale and siting of buildings and scale of surrounding development; and scale of surrounding development; and scale of surrounding development; and scale and setting, and the nature and scale of surrounding development; and scale and solar access are minimised. AO5.1 In partial fulfilment of Performance Outcome PO5 Where a standalone use and not located in a centre zone, the community activity: and scale of surrounding development; and solar access are minimised. AO5.2 PO6 The contential Amenity unreasonable adverse impacts on any surrounding residential area, including by way of noise, light and odour nuisance. AO6.1 PO6 The functioning of a community activity infrastructure is maintained during and immediately after flood and storm tide inundation events. AO6.1 Recommended Flood Level for Essential community infrastructure is defined in Schedule 1 (Definitions). AO6.1	-			
line, it incorporates adequate setbacks to protect the health and wellbeing of users. electricity transmission line easement as follows:- (a) a 20 metre separation distance for transmission lines between 33kV and 275kV; and (b) a 30 metre separation distance for transmission lines between 133kV and 275kV; and POS The scale and siting of buildings and structures used for the community activity:- (a) is appropriate, having regard to its location and setting, and the nature and scale of surrounding development; and (b) provides adequate separation from residential zone, so that adverse impacts on visual amenity, privacy and solar access are minimised. AOS.1 In partial fulfiment of Performance Outcome POS PO6 The community activity does not impose unreasonable adverse impacts on avisual amenity, privacy and solar access are minimised. AOS.2 Where not a standalone use or where located in a centre zone—no acceptable outcome provided. PO6 The community activity does not impose unreasonable adverse impacts on any surrounding residential ane. Intrusive outdoor activities are located and orientated away from residential zone, a minimum distance equal to the height of the building or structure. PO7 The functioning of a community infrastructure is maintained during and immediately after flood and storm tide inundation events. AO6.1 Where adjoining a residential zone, a minimum discuste event flood levels for Essential community infrastructure is defined in Schedule 1 (Definitions). AO6.1 Mere adjoining a residential score, and included in a residential zone, a minimum discuste event and infrastructure in instructure is	PO4		AO4	
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PO5 The scale and siting of Buildings and Structures A05.1 In partial fulfilment of Performance or transmission lines greater than 275kV, and PO5 The scale and siting of buildings and structures used for the community activity (a) is appropriate, having regard to its location and setting, and the nature and scale of surrounding development; and (b) provides adequate separation from residential uses and land in a residential uses and land in a residential zone, so that adverse impacts on visual amenity, privacy and solar access are minimised. PO6 The community activity does not impose impacts on visual amenity, privacy and solar access are minimised. A0 5.2 Where adjoining a residential use or land included in a residential zone, buildings and structures are setback from the corresponding site boundary a minimum distance equal to the height of the building or structure. PO6 The community dotivity does not impose unreasonable adverse impacts on any surrounding residential area, including by way of noise, light and odour nuisance. A06.1 Where adjoining a residential zone, a minimum 1.8 metre high solid accoustic screen fence and a 2 metre wide landscape strip is provided along the full length of all community infrastructure is maintained during and inmediately after flood and storm tide inundation events. A07.1 A community activity that is essential community infrastructure:				
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Editor's note—essential community infrastructure is defined in Schedule 1 (Definitions).				8.2.7.3.3 (Flood levels and flood
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(b) ensures that any components of the <i>infrastructure</i> that are likely to fail or function, or may result in contamination when inundated by				development and infrastructure) in
<i>infrastructure</i> that are likely to fail or function, or may result in contamination when inundated by				
function, or may result in contamination when inundated by				
contamination when inundated by				
				contamination when inundated by
valves), are:-				contamination when inundated by floodwaters (e.g. electrical switchgear
(i) located above the recommended				contamination when inundated by floodwaters (e.g. electrical switchgear and motors, water supply pipeline air

Performance Outcomes	Acceptable	Outcomes
		flood level; or (ii) designed and constructed to exclude floodwater intrusion/infiltration.
	A07.2	<i>Essential community infrastructure</i> that is <i>emergency services</i> and shelters, police facilities and hospitals and associated facilities has an emergency rescue area above the <i>probable maximum flood (PMF)</i> or probable maximum storm tide (<i>PMST</i>).



9.3.5 Dual occupancy code

9.3.5.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Dual occupancy¹ code by the tables of assessment in **Part 5 (Tables of** assessment).
- (2) The acceptable outcomes in Table 9.3.5.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.5.2 Purpose and overall outcomes

- (1) The purpose of the Dual occupancy code is to ensure dual occupancies are appropriately located, achieve a high level of comfort and amenity for occupants, maintain the amenity of neighbouring premises and are compatible with the character and *streetscape* of the local area.
- (2) The purpose of the Dual occupancy code will be achieved through the following overall outcomes:-
 - (a) a *dual occupancy* is located in an area intended to accommodate more diverse housing options and is integrated within its neighbourhood setting in a manner which appropriately disperses the distribution of density having regard to the intent of the zone;
 - (b) a *dual occupancy* incorporates a high standard of design and makes a positive contribution to the *streetscape* character of the area in which it is located;
 - (c) a *dual occupancy* is sited and designed to protect the amenity, privacy and access to sunlight of adjoining residential premises;
 - (d) a *dual occupancy* provides a high level of amenity and convenience to residents of the *dual occupancy*; and
 - (e) a *dual occupancy* is provided with an appropriate level of *infrastructure* and services.

9.3.5.3 **Performance outcomes and acceptable outcomes**²

Table 9.3.5.3.1Requirements for accepted development and performance outcomes
and acceptable outcomes for assessable development

Performa	ance Outcomes	Acceptable	Outcomes
Location	and Site Suitability		
PO1	The <i>dual occupancy</i> is located on a <i>site</i> which:- (a) is convenient to local services and	AO1.1	The site is included in a centre zone and the dual occupancy is part of a mixed use building.
	public transport;		, , , , , , , , , , , , , , , , , , ,
	(b) is in an area intended to accommodate more diverse		OR
	housing options; (c) is dispersed and not concentrated within low density residential neighbourhoods;		The <i>site</i> is included in the Medium density residential zone and has a minimum <i>frontage</i> of 15m.
	(d) has sufficient <i>frontage</i> to achieve desired built form and streetscape		OR
	outcomes;		The site is included in the Low density

¹ Editor's note—in accordance with **Schedule 1 (Definitions)**, a reference to a '*dual occupancy*' in the planning scheme includes a reference to any *home office* and all outbuildings, structures and works normally associated with a *dual occupancy*.

² Editor's note—a Structure Plan, as varied by an approved master plan or an approved plan of development for a variation approval or reconfiguring a lot, may vary or specify alternative requirements for accepted development or performance outcomes and acceptable outcomes for assessable development for a *dual occupancy*. In such cases, compliance with these alternative requirements for accepted development or performance outcomes and acceptable outcomes for assessable development or performance outcomes and acceptable outcomes for assessable development or performance outcomes and acceptable outcomes for assessable development or performance outcomes and acceptable outcomes for assessable development will be deemed to represent compliance with the comparable provisions of the Dual occupancy code.

Porforma	nce Outcomes	Acceptable	Outcomes
r en onna	(e) has sufficient area and dimensions to accommodate the use (including	Acceptable	residential zone, other than in Precinct LDR-1 (Protected Housing Area).
	associated access, parking, landscapes and setback requirements); and (f) is not steep and is otherwise suitable for the proposed development.	AO1.2	 Where located on a <i>site</i> included in the Low density residential zone, other than in Precinct LDR-1 (Protected Housing Area) and there is no approved plan of development (nominating <i>dual occupancy</i> lots), the <i>site</i>:- (a) has a minimum area of 800m², exclusive of any access strip; (b) does not adjoin another lot developed or approved for a <i>dual occupancy</i>; and (c) has a <i>slope</i> of not more than 15%.
			OR
			Where located on a <i>site</i> included in the Low density residential zone, other than in Precinct LDR-1 (Protected Housing Area), the lot is nominated as a <i>dual occupancy</i> lot on an approved plan of development.
			Note—A reference to an approved plan of development in AO1.2 above, only applies to an approved plan of development which nominates <i>dual occupancy</i> lots.
Site Cove	er and Density		· · · ·
PO2	 The <i>dual occupancy:</i>- (a) is of a scale that is compatible with surrounding development; (b) does not present an appearance of bulk to adjacent premises, road or other areas in the vicinity of the <i>site</i>; (c) maximises opportunities for the retention of existing <i>vegetation</i> and allows for soft landscapes between buildings and the street; (d) allows for adequate area at ground level for outdoor recreation, entertainment, clothes drying and other site facilities; and (e) facilitates on-site stormwater management and vehicular access. 	AO2.1 AO2.2	 The site cover of the dual occupancy does not exceed:- (a) 50% where a single storey dual occupancy; (b) 40% where the dual occupancy is 2 or more storeys in height; or (c) 50% for the ground floor and 30% for the upper floors where the dual occupancy is 2 or more storeys in height. The maximum number of bedrooms per dwelling in the dual occupancy does not exceed 3.
PO3	pe Character The dual occupancy is designed and	AO3.1	Each dwelling has an individual design
	 (a) provide an attractive address to all street <i>frontages</i>; (b) make a positive contribution to the preferred <i>streetscape</i> character of the locality; (c) provide shading to walls and windows of the <i>dual occupancy</i>; 		such that the floor plan is not a mirror image of the adjoining <i>dwelling</i> and includes distinct external design elements (e.g. variations in roof line, facade, treatment or position of main entrances and garages, window treatments and shading devices).
	 (d) minimise opportunities for residents to overlook the <i>private</i> open space areas of neighbouring premises; and (e) maximise the retention of existing mature trees within the <i>frontage</i> 	AO3.2	The <i>dual occupancy</i> is <i>setback</i> at least 4.5 metres from any street <i>frontage</i> , with any garage or carport associated with the <i>dual occupancy setback</i> at least 6 metres.
	setback, to retain <i>streetscape</i> character.	AO3.3	Any garage or carport is <i>setback</i> a minimum of 1.5 metres from the main



Private Open Space A03.4 Ince of the associated dwelling, where the dwelling incorporates a front verandah or portico projecting forward of the main face of faces. PO4 Sufficient private open space is provided to allow for the amenity and reasonable recreation needs of the occupants of the dual occupancy. A03.4 PO4 Sufficient private open space is provided value for the dual occupancy is setback from any side or rear property boundary in accordance with the boundary clearance provisions of the QDC MP1.3. PO4 Sufficient private open space is provided with private open space at ground level free of buildings which: (a) is at least 50m² in area; (b) comprises not more than two separate parts; (c) has none part directly accessible from the main living area which: (i) is at least 50m² in area; (ii) has a minimum dimension of 4 metres; and (iii) has a minimum gradient of 1 in 20(5%). Setbacks to Canals and Artificial Waterways astelast 25m² in area; (i) protect the structures are adequately structures are adequately structures are adequately to:	Performa	nce Outcomes	Accentable	Outcomes
PO4 Sufficient private open space is provided to allow for the amenity and reasonable recreation needs of the occupants of the dual occupancy. A04 PO4 Each dwelling is provided with private open space at ground level free of buildings which:-				face of the associated <i>dwelling</i> , or in line with the main face of the associated <i>dwelling</i> , where the <i>dwelling</i> incorporates a front verandah or portico projecting forward of the main face or faces. The <i>dual occupancy</i> is <i>setback</i> from any side or rear property boundary in accordance with the boundary clearance
PO4 Sufficient private open space is provided to allow for the amenity and reasonable recreation needs of the occupants of the dual occupancy. AO4 Each dwelling is provided with private open space at ground level free of buildings which (a) is at least 250m² in area; (b) comprises not more than two separate parts; (c) has one part directly accessible from the main living area which:- (i) is at least 250m² in area; (ii) is at least 250m² in area; (i) is at least 250m² in area; (i) is at least 250m² in area; (ii) is at least 250m² in area; (ii) has a maximum gradient of 1 in 20 (5%). PO5 Buildings and structures are adequately setback from canals and other artificial waterways or waterbody profile and revetment wall; and (a) protect the structural integrity of the canal/waterway/waterbody profile and revetment wall; and (b) ensure no unreasonable loss of amenity occurs and vistas; (ii) building massing and scale as seen from neighbouring premises. AO61 PO6 The dual occupancy incorporates site landscapes (c). (c) effectively define and scree; (d) uitlise locally native vegetation species as the major planing theme; and (e) maximise the relation of existing mature trees in order to relatin the landsc	Drive to O			provisions of the QDC MP1.3.
PO5 Buildings and structures are adequately setback from canals and other artificial waterways or waterbodies (e.g. lakes) to:- (a) protect the structural integrity of the canal/waterway/waterbody profile and revetment wall; and (b) ensure no unreasonable loss of amenity occurs to adjacent land and dwellings, having regard to:-	PO4	Sufficient <i>private open space</i> is provided to allow for the amenity and reasonable recreation needs of the occupants of the <i>dual occupancy</i> .	AO4	 open space at ground level free of buildings which:- (a) is at least 50m² in area; (b) comprises not more than two separate parts; (c) has one part directly accessible from the main living area which:- (i) is at least 25m² in area; (ii) has a minimum dimension of 4 metres; and (iii) has a maximum gradient of 1 in
 setback from canals and other artificial waterways or waterbodies (e.g. lakes) to:- (a) protect the structural integrity of the canal/waterway/waterbody profile and revetment wall; and (b) ensure no unreasonable loss of amenity occurs to adjacent land and dwellings, having regard to:- (i) privacy and overlooking; (ii) building massing and scale as seen from neighbouring premises. Site Landscapes PO6 The dual occupancy incorporates site landscapes stating for the enjoyment and apperation of residents; (b) integrate the development into the surrounding urban landscapes; (c) effectively define and screen private open space and service areas; (d) utilise locally native vegetation species as the major planting theme; and (e) maximise the retention of existing mature trees in order to retain the landscape character of the area. A06.5 A06.5 Fences or walls are not provided along street frontages. 				
 PO6 The <i>dual occupancy</i> incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of residents; (b) integrate the development into the surrounding urban landscape; (c) effectively define and screen private open space and service areas; (d) utilise locally native vegetation species as the major planting theme; and (e) maximise the retention of existing mature trees in order to retain the landscape character of the area. A06.1 A06.2 A06.3 A06.3 A06.4 A06.4 A06.4 		 setback from canals and other artificial waterways or waterbodies (e.g. lakes) to:- (a) protect the structural integrity of the canal/waterway/waterbody profile and revetment wall; and (b) ensure no unreasonable loss of amenity occurs to adjacent land and dwellings, having regard to:- (i) privacy and overlooking; (ii) views and vistas; (iii) building character and appearance; and (iv) building massing and scale as seen from neighbouring premises. 	A05	metre in height above ground level (other than pool fencing which is at least 75% transparent) are <i>setback</i> a minimum of 4.5 metres from the property boundary adjacent to the canal or artificial
 Iandscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of residents; (b) integrate the development into the surrounding urban landscape; (c) effectively define and screen private open space and service areas; (d) utilise locally native vegetation species as the major planting theme; and (e) maximise the retention of existing mature trees in order to retain the landscape character of the area. A06.4 A06.5 The tree and shrub species. A06.2 At least 20% of the site is retained for soft landscapes (i.e. not used as hardstand area). A1 least 20% of the site is retained for soft landscapes (i.e. not used as hardstand area). 			AO6 1	The site is fully landscaped with turf and
 (c) effectively define and screen private open space and service areas; (d) utilise locally native vegetation species as the major planting theme; and (e) maximise the retention of existing mature trees in order to retain the landscape character of the area. AO6.4 AO6.4 A minimum 1 metre wide landscape strip is provided along the full length of the street <i>frontage</i> (excluding driveways and pathways). AO6.4 AO6.4 A 1.8 metre high solid screen fence is provided along:- (a) the full length of all rear site boundaries; and (b) the full length of all side site boundaries to the front building line. AO6.5 Fences or walls are not provided along street <i>frontages</i>. 		 landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of residents; (b) integrate the development into the 		tree and shrub species. At least 20% of the <i>site</i> is retained for soft landscapes (i.e. not used as hardstand
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street frontages.		theme; and(e) maximise the retention of existing mature trees in order to retain the	AO6.4	provided along:- (a) the full length of all rear <i>site</i> boundaries; and (b) the full length of all side <i>site</i>
			AO6.5	
				OR

Performance Outcomes Acceptable Outcomes Performance Outcomes Fences or walls to street frontage not more than:- (a) 1.8 metres high where the site a major road; or (b) 1.2 metres high where the site on a major road. Safety and Security A07.1 PO7 The dual occupancy, including buildings and outdoor spaces, is designed to protect the personal security and safety of residents by allowing for casual surveillance. A07.2 A07.2 The internal pathway network has signtines to the dwelling entrance street access points. Access and Car Parking A08 P08 Sufficient parking spaces are provided on the site to cater for residents and visitors. P09 The design and management of access, parking and vehicle movement on the site facilitates the safe and convenient use of the dual occupancy	is on is not nich is n the clear e and paces east 1 being ided in nat all
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on the site facilitates the safe and parking areas are designed	
	and
	ana
by residents and visitors. (a) IPWEA Standard Drawings SE	
049, R-050 and R-056 as appli	cable;
and (b) AS2890 Parking facilities – Off-	street
parking.	
Services and Utilities	
PO10 The <i>dual occupancy</i> is provided with, AO10 The <i>dual occupancy</i> is connected and connected to, <i>infrastructure</i> and reticulated water supply, sewerage	
services.	
networks and has an electricity supp	
PO11The dual occupancy is provided with aAO11Where the dual occupancy is on a local	
stormwater management system a finished level that falls to the stormwater is:-	road,
(a) makes adequate provision for (a) piped to kerb and channel; or	
drainage of the premises to a (b) connected directly into the Co	
lawful point of discharge; and piped stormwater infrastr	ucture
(b) conveys external catchment network. stormwater through the	
development. OR	
Where the <i>dual occupancy</i> is on a lo	
a finished level that falls away fro road, stormwater is:-	
(a) connected into an inter-allo	m the
drainage easement; or	m the otment
(b) connected directly into the Con	m the otment <i>uncil's</i>
(b) connected directly into the <i>Con</i> piped stormwater <i>infrastr</i>	m the otment <i>uncil's</i>
(b) connected directly into the Con	m the otment uncil's ucture
P012 Development works and connections to infrastructure and services are A012.1 All development works are certified Registered Professional Englishment	m the otment uncil's ucture
PO12 Development works and connections to infrastructure and services are undertaken in accordance with AO12.1 All development works are certified Registered Professional Englished (RPEQ).	m the otment <i>uncil's</i> <i>uctur</i> e
PO12 Development works and connections to infrastructure and services are undertaken in accordance with accepted engineering standards and AO12.1 All development works are certified Registered Professional Engineering standards and	m the otment <i>uncil's</i> <i>ucture</i> I by a gineer
P012 Development works and connections to infrastructure and services are undertaken in accordance with accepted engineering standards and A012.1 All development works are certified Registered Professional Engineering standards and	m the otment <i>uncil's</i> <i>ucture</i> I by a gineer and
PO12Development works and connections to infrastructure and services are undertaken in accordance with accepted engineering standards and are complete prior to the commencement of the use.AO12.1All development works are certified Registered Professional Eng Queensland (RPEQ).AO12.2All connections to infrastructure services are in accordance with accepted engineering standards and are complete prior to the commencement of the use.AO12.1	m the otment <i>uncil's</i> <i>ucture</i> I by a gineer and

Performa	ance Outcomes	Acceptable	Outcomes
PO13	The <i>dual occupancy</i> is provided with adequate areas for the storage of waste and recyclable items, in appropriate containers, which are convenient to use and service.	A013.1	A separate waste storage area is provided for each <i>dwelling</i> to accommodate the permanent storage of waste and recyclable items in standard waste containers.
			OR
			A shared waste storage area over which each <i>dwelling</i> has control via access rights or ownership is provided to accommodate the permanent storage of waste and recyclable items in standard waste containers.
		AO13.2	 The separate or shared waste storage area is:- (a) a level, constructed hardstand area, and where shared, provided with a screened enclosure; (b) of sufficient size to accommodate the required number of standard waste containers (i.e. a minimum of 2 wheelie bins per <i>dwelling</i>, and a minimum of 600mm x 600mm per wheelie bin); (c) not visible from passing vehicle or pedestrian traffic; (d) easy to access and use; and (e) not located adjacent to the living areas of existing neighbouring properties.
Filling or	r excavation		properties.
PO14	Any filling or excavation associated with a dual occupancy:- (a) sensitively responds to the slope and landform characteristics of the site;	AO14.1	The extent of excavation (cut) and fill does not involve a total change of more than 1.0 metre relative to the ground at any point.
	 (b) provides safe and efficient access for vehicles and pedestrians on sloping land; (c) minimises adverse impacts on the streetscape; and (d) does not adversely impact upon the privacy or amenity of surrounding premises. 	AO14.2	No part of any cut or fill is within 1.5 metres of any property boundary, except cut and fill involving a change in ground level of less than 200mm that does not necessitate the removal of any <i>vegetation</i> . OR Filling and/or excavation is confined to
			within the plan area of the <i>dual</i> occupancy, with ground level being retained around external walls of the building.

Part 9

9.3.6 Dwelling house code

9.3.6.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Dwelling house³ code by the tables of assessment in **Part 5 (Tables of** assessment).
- (2) The acceptable outcomes in Table 9.3.6.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.6.2 Purpose and overall outcomes

- (1) The purpose of the Dwelling house code is to ensure *dwelling houses* achieve a high level of comfort and amenity for occupants, maintain the amenity and privacy of neighbouring residential premises and are compatible with the character and *streetscape* of the local area.
- (2) The purpose of the Dwelling house code will be achieved through the following overall outcomes:-
 - (a) a *dwelling house* incorporates a high standard of design and makes a positive contribution to the *streetscape* character of the area in which it is located;
 - (b) a *dwelling house* is sited and designed to protect the amenity and privacy of neighbouring residential premises;
 - (c) a *dwelling house* provides a high level of amenity to the residents of the *dwelling house*;
 - (d) a *dwelling house* is provided with an acceptable level of *infrastructure* and services; and
 - (e) where provided, a secondary dwelling:-
 - (i) is located, designed, constructed and used to have an association with the primary *dwelling*; and
 - (ii) is small in size, such that the *secondary dwelling* is *ancillary* to the primary *dwelling*.

9.3.6.3 Performance outcomes and acceptable outcomes⁴

Table 9.3.6.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development

Performa	ance Outcomes	Acceptable	e Outcomes
Height o	f Buildings and Structures		
PO1	The height of the <i>dwelling house</i> is consistent with the preferred character of a local area and does not adversely impact on the amenity of neighbouring premises having regard to:- (a) overshadowing; (b) privacy and overlooking; (c) views and vistas; (d) building appearance; and (e) building massing and scale as	A01	The height of the <i>dwelling house</i> does not exceed the height specified for the <i>site</i> on the applicable Height of Buildings and Structures Overlay Map.

³ Editor's note—in accordance with Schedule 1 (Definitions), a reference to a 'dwelling house' in the planning scheme includes a reference to any secondary dwelling or home office associated with the dwelling house, and all outbuildings, structures and works normally associated with a dwelling house.

⁴ Editor's note—a Structure Plan, as varied by an approved master plan or an approved plan of development for a variation approval or reconfiguring a lot, may vary or specify alternative requirements for accepted development or performance outcomes and acceptable outcomes for assessable development for a *dwelling house*. In such cases, compliance with these alternative requirements for accepted development or performance outcomes and acceptable outcomes for assessable development will be deemed to represent compliance with the comparable provisions of the Dwelling house code.

Performa	ance Outcomes	Acceptable	Outcomes
	seen from neighbouring premises.		
Garages,	Carports and Sheds	-	
PO2	 Garages, carports and sheds:- (a) preserve the amenity of adjacent land and dwelling houses; (b) do not dominate the <i>streetscape</i>; (c) maintain an adequate area suitable for landscapes adjacent to the road <i>frontage</i>; and (d) maintain the visual continuity and pattern of buildings and landscape elements within the street. 	AO2.1	 Where located on a lot in a residential zone, a garage, carport or shed:- (a) is setback at least 6 metres from any road frontage; (b) does not exceed a height of 3.6 metres; and (c) has a total floor area that does not exceed 56m². Note—AO2.1(b) and (c) do not apply to a garage under the main roof of a <i>dwelling house</i>. Note—AO2.1(a) alternative provision to QDC. Where located on a lot in a residential zone, the total width of a garage door facing a street (and that is visible from the road frontage) does not exceed 6 metres
Cothooks			within any one plane, with any additional garage door being set back a further 1 metre from the street <i>frontage</i> to break up the apparent width of the garage facade.
Setbacks PO3	Where located in a <i>residential zone</i> ,	AO3	Where located in a residential zone, the
FOJ	 the dwelling house is set back from any road frontage so as to:- (a) achieve a close relationship with, and high level of passive surveillance of, the street; (b) create a coherent and consistent streetscape, with no or only minor variations in frontage depth; (c) make efficient use of the site, with opportunities for large back yards; (d) provide reasonable privacy to residents and neighbours on adjoining lots; and (e) maintain reasonable access to views and vistas, prevailing breezes and sunlight for each dwelling house. 		 dwelling house (other than a garage, carport or shed) is <i>setback</i> to any road frontage at least:- (a) 4.5 metres for the ground <i>storey</i>; and (b) 6 metres for any levels above the ground <i>storey</i>. Note—AO3 alternative provision to QDC.
PO4	 Where located in the Rural zone, Rural residential zone or Limited development (landscape residential) zone, the <i>dwelling house</i> is set well back from any road <i>frontage</i> so as to:- (a) maintain an open visual landscape dominated by natural elements (rather than built structures); (b) preserve the amenity and character of the rural or rural residential area, having regard to building massing and scale as seen from the road and neighbouring premises; (c) protect views and vistas; (d) avoid or minimise noise and dust nuisance from sealed roads, existing State controlled roads and extractive industry <i>transport routes</i>; and (e) protect the functional characteristics of existing State controlled roads and extractive 	AO4.1	 Where located on a lot in the Rural zone, and the lot has an area of more than 2 hectares, the <i>dwelling house</i> (including any associated garage, carport or shed) is set back at least:- (a) 40 metres from a State controlled road or an extractive industry <i>transport route</i>; (b) 20 metres from any other road; or (c) if an extension not exceeding 50m² gross floor area and within, under or structurally part of an existing <i>dwelling house</i>, the <i>setback</i> of the existing <i>dwelling house</i>, the <i>setback</i> of the existing <i>dwelling house</i> on the <i>site</i>. Where located on a lot in the Rural zone, and the lot has an area of not more than 2 hectares, or where located on a lot in the Rural residential zone or the Limited development (landscape residential) zone, the <i>dwelling house</i> (including any associated garage, carport or shed) is set back at least:-

Performa	nce Outcomes	Accentable	Outcomes
	industry transport routes.	Acceptable	 (a) 10 metres from any road <i>frontage</i>; or (b) if an extension not exceeding 50m² gross floor area and within, under or structurally part of an existing <i>dwelling</i> <i>house</i>, the <i>setback</i> of the existing <i>dwelling house</i> on the <i>site</i>. Note—AO4.1 and AO4.2 alternative provisions
PO5	 Where located in the Rural zone, Rural residential zone or the Limited development (landscape residential) zone, the <i>dwelling house</i> is set back from side and rear boundaries so as to:- (a) maintain an open visual landscape dominated by natural elements (rather than built structures); (b) preserve the amenity and character of the rural or rural residential area, having regard to building massing and scale as seen from the road and neighbouring premises; and (c) minimise opportunities for residents to overlook the <i>private open space</i> areas of neighbouring premises. 	AO5.1 AO5.2	 to QDC. Where located on a lot in the Rural zone, the <i>dwelling house</i> (including any associated garage, carport or shed) is set back from any side or rear boundary at least:- (a) 3 metres where the lot has an area of 2 hectares or less; or (b) 10 metres where the lot has an area of more than 2 hectares. Where located on a lot in the Rural residential zone or Limited development (landscape residential) zone, the <i>dwelling house</i> (including any associated garage, carport or shed) is <i>setback</i> at least 3 metres from any side or rear boundary. Note—AO5.1 and AO5.2 alternative provisions to QDC.
Setbacks PO6	to Canals and Artificial WaterwaysBuildingsandstructuresareadequatelysetbackfrom canalsandotherartificialwaterwaysorwaterbodies(e.g. lakes) to:-(a)protect(a)protectthestructuralintegrityofthecanal/waterway/waterbodyprofileand revetment wall;(b)ensurenounreasonablelossofamenitytoadjacentadwellingsoccur having regard to:-(i)privacyandviewsand vistas;(iii)buildingcharacterandappearance;and(c)buildingmassingandscopfromprodibleprodible	AO6	Buildings and structures exceeding 1 metre in height above ground level (other than pool fencing which is at least 75% transparent) are <i>setback</i> a minimum of 4.5 metres from the property boundary adjacent to the canal or artificial <i>waterway</i> /waterbody. Note—AO6 alternative provision to QDC.
0	seen from neighbouring premises.		
PO7	and Utilities The dwelling house is provided with a level of infrastructure and services that is appropriate to its setting and commensurate with its needs.	A07.1	Where located on a lot in an <i>urban zone</i> the <i>dwelling house</i> is connected to the reticulated water supply, sewerage, stormwater drainage and telecommunications <i>infrastructure</i> networks (where available to the lot).
		A07.2	Where located on a lot in a <i>non-urban</i> <i>zone</i> and/or reticulated sewerage is not available to the lot, the <i>dwelling house</i> is connected to an on-site effluent treatment and disposal system. Note—the <i>Plumbing and Drainage Act 2003</i> sets out requirements for on-site effluent treatment and disposal.
		AO7.3	Where located on a lot in a <i>non-urban</i> <i>zone</i> and/or reticulated water supply is not available to the lot, the <i>dwelling house</i> is

Porforma	anco Outcomos	Accontable	Outcomos
Performa	ance Outcomes	Acceptable	 Outcomes provided with a rainwater collection tank that:- (a) has a minimum capacity of 45,000 litres; and (b) is plumbed so that water from the rainwater tank is available for household use.
Access a	nd Car Parking		
PO8	Sufficient parking spaces are provided on the <i>site</i> to cater for residents and visitors.	A08	 On-site car parking is provided in accordance with the following:- (a) for a lot exceeding 300m²—at least 2 (two) car parking spaces with at least one space capable of being covered; or (b) for a lot not exceeding 300m²—at least 1 (one) covered car parking space. Note—car parking spaces may be provided in a
			tandem configuration provided that all spaces are wholly contained within the <i>site</i> such that parked vehicles do not protrude into the road reserve.
PO9	The design and management of <i>access</i> , parking and vehicle movement on the <i>site</i> facilitates the safe and convenient use of the <i>dwelling house</i> by residents and visitors.	AO9	 Access driveways, internal circulation and manoeuvring areas, and on-site car parking areas are designed and constructed in accordance with:- (a) IPWEA Standard Drawings SEQ R-049, R-050 and R-056 as applicable; and (b) AS2890 Parking facilities – Off-street parking.
Tennis C	ourts and Sports Courts	•	
PO10	Where a <i>dwelling house</i> includes a tennis court or other type of sports court, the court is designed, located and operated to avoid any adverse impacts on the amenity of neighbouring premises.	AO10.1	A 1.5 metre landscape strip incorporating screening tree and/or shrub species is provided between the tennis court or sports court and any side property boundary to create a visual screen between the tennis court and the side boundary.
		AO10.2	The tennis court or sports court is fenced with 3.6 metre high mesh fencing for a full size tennis court or 2.4 metre high mesh fencing if for a half size court.
		AO10.3	 Where incorporating lighting:- (a) the tennis court or sports court is located at least 50 metres from the external wall of an existing or approved dwelling on an adjacent lot; and (b) the vertical illumination resulting from direct, reflected or other incidental lighting emanating from the <i>site</i> does not exceed 8 lux when measured at any point 1.5 metres outside the boundary and at any level from ground level upwards.
	ry Dwellings		
PO11	Where located in an <i>urban zone</i> , the <i>secondary dwelling</i> is located on a 'traditional lot' in order to:- (a) protect neighbourhood character; (b) provide an acceptable level of	AO11	Where located in an <i>urban zone</i> and there is no approved plan of development (nominating lots for <i>secondary dwellings</i>), the <i>secondary dwelling</i> is located on a lot which:-
1	amenity to occupants of the site		(a) has a minimum area of 600m ² ; and

Performa	nce Outcomes	Accentable	Outcomes
	and neighbouring dwellings; and	Acceptable	(b) is regular in shape (i.e. square or
	 (c) provide sufficient area to accommodate the dwellings and 		rectangular) or, if not regular in shape, is able to accommodate a square or
	associated access, parking, site		rectangle of at least 400m ² in area
	facilities, open space and <i>setback</i> requirements.		within the lot.
			OR
	Note—for the purposes of this performance outcome, a 'traditional lot' is a lot that is at		Where located in an <i>urban zone</i> and there
	least 600m² in area.		is an approved plan of development (nominating lots for secondary dwellings),
			the secondary dwelling:-
			 (a) is located on a lot nominated for a secondary dwelling; or
			(b) provides accommodation only for a
			relative or carer of a resident of the <i>dwelling house</i> .
			Note—A reference to an approved plan of
			development in AO11 above, only applies to an approved plan of development which nominates <i>secondary dwelling</i> lots.
PO12	The secondary dwelling is:-	AO12.1	The secondary dwelling has a maximum
	 (a) small in size and clearly ancillary to the primary dwelling; and 		gross floor area of:- (a) 90m ² where located on a lot in the
	(b) located in close proximity to the		Rural zone or Rural residential zone;
	primary dwelling.		and (b) 60m ² where located on a lot in any
			other zone.
		AO12.2	Where freestanding, the secondary
			<i>dwelling</i> is located within 20m of the primary <i>dwelling</i> (measured from the
			outermost projection of each dwelling).
PO13	The <i>secondary dwelling</i> is located, designed, constructed and used to	AO13	The primary <i>dwelling</i> and the <i>secondary dwelling</i> share a single (common):-
	share common services and vehicle		(a) water connection and meter;
	access arrangements.		(b) waste water connection/system;(c) street number and letterbox; and
			(d) vehicle access driveway and access
			point.
			Note—the secondary dwelling can utilise an independent water supply and/or on-site effluent
			treatment and disposal system where reticulated
PO14	The secondary dwelling is provided	AO14	services are not available to the lot. At least one (1) on-site car parking space,
_	with sufficient parking to meet user	-	in addition to the requirement for the
	needs and minimise the demand for on-street parking.		primary <i>dwelling</i> , is provided for the secondary dwelling.
			Note—on-site car parking for the secondary
			dwelling is not to be provided in a tandem
			configuration with the car parking provided for the primary <i>dwelling</i> .
Filling or PO15	excavation Any filling or excavation associated	AO15	Except where located on a site having a
	with a dwelling house:-		slope of greater than 15% as identified on
	 (a) sensitively responds to the slope and landform characteristics of the 		an applicable Landslide Hazard and Steep Land Overlay Map:-
	site;		(a) the extent of excavation (cut) or fill
	 (b) provides safe and efficient access for vehicles and pedestrians on 		does not involve a total change of more than 1.0 metre relative to ground
	sloping land;		level at any point; and
	 (c) minimises adverse impacts on the streetscape; and 		(b) no part of any un-retained cut or fill batter is within 1.5 metres of any
	(d) does not adversely impact upon		property boundary except cut and fill

Dorformo		Assantable	Outcomes
Periorma	nce Outcomes the privacy or amenity of	Acceptable	Outcomes
			involving a change in ground level of less than 200mm.
	surrounding premises.		
			OR
			O R
			Filling and/or excavation is confined to
			within the plan area of the <i>dwelling house</i>
			with ground level being retained around
			external walls of the building.
			external walle of the ballang.
			OR
			Where on a lot in an identified drainage
			deficient area, filling is undertaken in
			accordance with a current drainage
			deficient area flood information certificate
			issued by the <i>Council</i> for the <i>site</i> .
			,
			Editor's note—drainage deficient areas are
			identified on Figure 8.2.7 (Drainage deficient
			areas) of the Flood hazard overlay code.
	al Requirements for Dwelling Houses in	Certain Are	as and Precincts
	Range Local Plan Area		
PO16	The dwelling house:-	AO16.1	The height of the <i>dwelling house</i> does not
	(a) has a scale and bulk that is		exceed 2 storeys.
	subservient to the natural and		-
	rural landscape with building forms	AO16.2	The total footprint of the dwelling house,
	that are visually broken up;		including any associated garage, carport
	(b) has exterior surfaces that allow		or shed, does not exceed 280m ² .
	the <i>dwelling house</i> to blend in with		
	the natural and rural landscape;	AO16.3	The exterior colour of the <i>dwelling house</i> is
	and		characterised by muted
	(c) incorporates roof forms that are		earth/environmental tones that blend with
	consistent with traditional rural or		the hinterland rural and natural
	rural village setting.		environment.
			Note—appropriate colours will depend on the
			existing native vegetation and backdrop, but
			may include muted tones such as green, olive
			green, blue green, grey green, yellow green,
			green blue, indigo, brown and blue grey.
		AO16.4	The dwelling house incorporates one of
			the following roof designs:-
			the following roof designs:- (a) gable roof;
			the following roof designs:- (a) gable roof; (b) hip roof;
			the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable;
			 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or
Decis			 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof.
	Local Plan Area (Precinct BUD LPP-1 (the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof.
Buderim PO17	The dwelling house is designed and	Gloucester F AO17	 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The dwelling house (including any garage,
	The <i>dwelling house</i> is designed and sited such that it maintains the integrity		 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is setback at least 10
	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential		 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The dwelling house (including any garage,
	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern		 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is setback at least 10 metres from Gloucester Road.
	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are		 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is setback at least 10
	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back		 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is setback at least 10 metres from Gloucester Road.
	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded		 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is setback at least 10 metres from Gloucester Road.
PO17	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded by generous landscaped grounds.	A017	the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The <i>dwelling house</i> (including any garage, carport or shed) is <i>setback</i> at least 10 metres from Gloucester Road. Note—AO17 alternative provision to QDC.
PO17 Caloundi	The dwelling house is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded by generous landscaped grounds. ra Local Plan Area (Precinct CAL LPP-	A017	 the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Road South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is setback at least 10 metres from Gloucester Road.
PO17 Caloundi Plan Map	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded by generous landscaped grounds. <i>ra Local Plan Area (Precinct CAL LPP-</i> <i>DLPM45</i>	AO17 4 (Moffat Be	the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Coad South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is <i>setback</i> at least 10 metres from Gloucester Road. Note—AO17 alternative provision to QDC.
PO17 Caloundi	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded by generous landscaped grounds. <i>ra Local Plan Area (Precinct CAL LPP- LPM45</i>) The <i>dwelling house</i> preserves the	A017	the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Coad South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is setback at least 10 metres from Gloucester Road. Note—AO17 alternative provision to QDC. Each/Shelly Beach/Dicky Beach) on Local The dwelling house (including any garage,
PO17 Caloundi Plan Map	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded by generous landscaped grounds. ra Local Plan Area (Precinct CAL LPP- D LPM45) The <i>dwelling house</i> preserves the amenity of adjacent land and <i>dwelling</i>	AO17 4 (Moffat Be	the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Coad South) on Local Plan Map LPM32 The <i>dwelling house</i> (including any garage, carport or shed) is <i>setback</i> at least 10 metres from Gloucester Road. Note—AO17 alternative provision to QDC. Each/Shelly Beach/Dicky Beach) on Local The <i>dwelling house</i> (including any garage, carport or shed) is <i>setback</i> a minimum of 6
PO17 Caloundi Plan Map	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded by generous landscaped grounds. ra Local Plan Area (Precinct CAL LPP- DLPM45) The <i>dwelling house</i> preserves the amenity of adjacent land and <i>dwelling houses</i> and does not dominate the	AO17 4 (Moffat Be	the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Coad South) on Local Plan Map LPM32 The dwelling house (including any garage, carport or shed) is setback at least 10 metres from Gloucester Road. Note—AO17 alternative provision to QDC. Each/Shelly Beach/Dicky Beach) on Local The dwelling house (including any garage,
PO17 Caloundi Plan Map	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded by generous landscaped grounds. Ta Local Plan Area (Precinct CAL LPP- DLPM45) The <i>dwelling house</i> preserves the amenity of adjacent land and <i>dwelling houses</i> and does not dominate the <i>streetscape</i> having regard to:-	AO17 4 (Moffat Be	the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Coad South) on Local Plan Map LPM32 The <i>dwelling house</i> (including any garage, carport or shed) is <i>setback</i> at least 10 metres from Gloucester Road. Note—AO17 alternative provision to QDC. Each/Shelly Beach/Dicky Beach) on Local The <i>dwelling house</i> (including any garage, carport or shed) is <i>setback</i> a minimum of 6 metres from the primary street <i>frontage</i> .
PO17 Caloundi Plan Map	The <i>dwelling house</i> is designed and sited such that it maintains the integrity of the large, established residential properties adjacent to the southern part of Gloucester Road that are characterised by buildings set back from street boundaries and surrounded by generous landscaped grounds. ra Local Plan Area (Precinct CAL LPP- DLPM45) The <i>dwelling house</i> preserves the amenity of adjacent land and <i>dwelling houses</i> and does not dominate the	AO17 4 (Moffat Be	the following roof designs:- (a) gable roof; (b) hip roof; (c) Dutch gable; (d) pitched roof with skillion at rear; or (e) multiple gable roof. Coad South) on Local Plan Map LPM32 The <i>dwelling house</i> (including any garage, carport or shed) is <i>setback</i> at least 10 metres from Gloucester Road. Note—AO17 alternative provision to QDC. Each/Shelly Beach/Dicky Beach) on Local The <i>dwelling house</i> (including any garage, carport or shed) is <i>setback</i> a minimum of 6

Part 9

Performa	ance Outcomes	Acceptable	Outcomes
	(b) views and vistas; and(c) building mass and scale as seen		
	from neighbouring premises.		
PO19	Any secondary dwelling is:- (a) small in size and has an integrated appearance with the primary	AO19.1	Any <i>secondary dwelling</i> has a maximum gross floor area of 45m2.
	dwelling in order to maintain the prevailing low density residential character and amenity of the area; and	AO19.2	Any secondary dwelling does not exceed 4 metres in height from <i>ground level</i> .
	(b) sited and designed to not adversely impact upon views or outlooks from neighbouring <i>dwellings</i> .		



9.3.7 Extractive industry code

9.3.7.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Extractive industry code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.7.2 Purpose and overall outcomes

- (1) The purpose of the Extractive industry code is to ensure that the exploitation of *extractive resources* is undertaken in an environmentally sound manner which avoids, or if avoidance is not practicable, minimises and mitigates, any adverse impacts on environmental and landscape values, public safety and the amenity of surrounding premises.
- (2) The purpose of the Extractive industry code will be achieved through the following overall outcomes:-
 - (a) extraction of extractive resources occurs in a safe and environmentally sound manner;
 - (b) *ecologically important areas* and water quality are protected from any environmental degradation potentially arising from *extractive industry* operations;
 - (c) *extractive industry* operations are located, designed, constructed and operated to avoid, or if avoidance is not practicable, minimise and mitigate, adverse impacts on any *sensitive land use*;
 - (d) *transport routes* allow extractive materials to be transported with the least amount of impact on development along those roads and on the function of those roads;
 - (e) land used for extractive industry operations is effectively rehabilitated; and
 - (f) in Precinct RUR1 (Meridan Plains Extractive Resource Area), the exploitation of *extractive resources* occurs in a manner that:-
 - (i) maintains or improves the integrity of the Mooloolah River and the flood storage capacity of the Mooloolah River *floodplain*;
 - maintains, as far as practicable, the flow conveyance patterns of the Mooloolah River flood plain, avoids any worsening of existing flooding conditions and protects the existing ground water regime;
 - (iii) protects, buffers and reconnects ecologically important areas;
 - (iv) maintains the quality of surface water and groundwater;
 - (v) avoids adverse impacts on upstream and downstream properties;
 - (vi) provides for and protects existing and planned future transport and other infrastructure corridors;
 - (vii) provides for and protects the function of identified *transport routes*;
 - (viii) provides appropriate separation distances to conflicting land uses;
 - (ix) minimises the visual impacts of *extractive industry* operations throughout the life of the development on the scenic values of the *floodplain* as an open landscape;
 - (x) provides for the rehabilitation of the area in a manner that supports the establishment of a range of complementary open space and recreation uses within a post extraction setting;
 - (xi) provides land for continuous public access trails along a rehabilitated Mooloolah River esplanade, connecting to public access points and open space areas; and
 - (xii) protects the advanced waste water and sewage treatment plant site.

9.3.7.3 **Performance outcomes and acceptable outcomes**

Table 9.3.7.3.1 Performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
Extractiv	ve Industry Generally		
Site Plan	nning		
P01	 The extractive industry is designed and established so as to provide:- (a) adequate buffering measures including separation distance to protect the surrounding area from significant noise, dust, vibration and visual impacts of operations; (b) suitable vehicle access; (c) protection against erosion; (d) acceptable quality of water leaving the <i>site</i>; (e) public safety; (f) acceptable restoration measures; (g) protection of groundwater quality and quantity; (h) avoidance of land contamination; (i) effective stormwater management; and (j) waste management practices which maximise recycling and reuse of 	A01	In partial fulfilment of Performance Outcome PO1:- The extractive industry is undertaken in accordance with an approved environmental management plan which is regularly updated to reflect on-site practices and addresses the environmental and social impacts of the <i>extractive industry</i> .
PO2	wastes. Environmental management requirements for the <i>extractive industry</i> are properly identified, and their effective implementation and monitoring appropriately planned, to minimise environmental impact.	AO2	In partial fulfilment of Performance Outcome PO2:- The extractive industry demonstrates that adequate resources are available to fulfil the environmental management requirements identified in the approved environmental management plan.
PO3	The extractive industry provides for volumes of extraction to be planned and staged so that a suitable and sustainable landscape form remains on the extraction site.	AO3	No acceptable outcome provided.
Vehicle	Access and Manoeuvring		
PO4	 Vehicle access to, from, and within the extractive industry site is provided so as to:- (a) be adequate for the type and volume of traffic to be generated; (b) not create or worsen any traffic hazard; 	AO4.1 AO4.2	The proposed <i>transport route</i> to the <i>site</i> is along sealed roads and does not require heavy vehicles to traverse residential or rural residential streets classified as collector streets or local streets. All driveways and manoeuvring areas
	 (c) ensure disturbance to surrounding land uses is minor and that impacts from emissions are minimised; and (d) ensure no tracking of sediment or 		between the site entrance and site office and all wash down areas and works depot areas are sealed.
	material onto the road network results from the transport of materials associated with the haulage of <i>extractive resources</i> .	AO4.3	Driveways have a minimum width of 9 metres measured at the property alignment/road <i>frontage</i> and are located not less than 9 metres from any other driveway.
0		AO4.4	A wheel wash down area is provided near the driveway entrance of the <i>site</i> to any <i>transport route</i> .
	on Distances	105 1	
PO5	The <i>extractive industry</i> is located on a <i>site</i> which has sufficient area to provide	AO5.1	Hard rock extraction and processing activities involving blasting are not carried

Fellollia		Acceptable	Outcomos
	nce Outcomes for adequate setback of operations from road <i>frontages</i> , <i>site</i> boundaries, surrounding residential uses and other <i>sensitive receptors</i> , such that the <i>extractive industry</i> achieves an acceptable standard of visual amenity and control of noise, light, dust and	Acceptable	out within 40 metres of any boundary of the <i>site</i> or within 1 kilometre of any residential premises, land included within a <i>residential zone</i> or Rural residential zone or other <i>sensitive receptor</i> on surrounding land.
	vibration impacts.	AO5.2	Extractive and processing activities not involving blasting are not carried out within 30 metres of any boundary of the <i>site</i> or within 200 metres of any residential premises, land included within a <i>residential zone</i> or Rural residential zone or other <i>sensitive receptor</i> .
			Note—a topographic feature providing a natural buffer between extractive and processing activities and a <i>sensitive land use</i> may justify provision of a lesser setback distance.
		AO5.3	A vegetated <i>buffer</i> strip or mound having a minimum width of 10 metres is provided to all boundaries of the <i>site</i> .
			Note—Acceptable Outcomes AO5.2 and AO5.3 may be modified by more specific requirements in this code relating to Precinct RUR-1 (Meridan Plains Extractive Resource Area).
		AO5.4	Extraction and processing activities are screened from view from any <i>major road</i> and any land included in an <i>urban zone</i> , where appropriate.
Site Drain PO6		AO6.1	Danka and channels are constructed to
	The <i>extractive industry</i> provides on-site drainage that is designed, constructed and maintained so as to:- (a) avoid erosion;	A06.1	Banks and channels are constructed to divert stormwater run-off away from excavated areas.
	 (b) prevent pollution of groundwater and surface water; (c) protect downstream water quality; and (d) provide opportunities to recycle 	AO6.2	Sediment basins are provided to detain stormwater run-off from disturbed areas such that there is no off-site discharge likely to cause environmental harm.
	water for reuse in processing, washing and/or screening materials, dust suppression and on	AO6.3	Bunding and treatment and disposal of industrial wastes are carried out such that no environmental harm is caused.
	product stockpiles, overburden stockpiles, revegetation or rehabilitation areas and wheel wash facilities.	AO6.4	Lining or other suitable treatment of erosion-prone areas is established and maintained at discharge points.
		AO6.5	Harvested water is re-used on the extractive industry site for a range of purposes including, but not limited to:- (a) processing, washing and/or screening materials;
			 (b) dust suppression and for use on product and overburden stockpiles; (c) irrigation of revegetation and rehabilitation areas; and (d) wheel wash facilities.
	nent of Blasting and Other Operations		
	The <i>extractive industry</i> provides for blasting, crushing, screening and loading to be carried out safely and in accordance with <i>best practice</i>	A07.1	Blasting and other operations are confined to the hours of operation identified in Table 9.3.7.3.1A (Extractive industry hours of operation).

Perform	ance Outcomes	Acceptable	Outcomes	
	management standards so that disturbance to surrounding land uses is minor and that impacts from emissions		Table 9.3.7.3.1A	Extractive industry hours of operation
	are minimised.		Column 1 Extractive industry	Column 2 Hours of Operation
			activity Blasting operations	9am to 5pm Monday to Friday
			Other operations	No operations Saturday, Sunday or public holidays 6am to 6pm Monday to Friday.
				7am to 1pm Saturday No operations Sunday or public holidays.
		A07.2		do not exceed the ns contained in the <i>stection Act 1994</i> .
Public S		A09 1	Sofaty fance in	provided to provent
PO8	<i>Extractive industry</i> operation areas are fenced to prevent unauthorised or accidental public entry.	AO8.1	unauthorised or a	provided to prevent ccidental public access <i>industry</i> site to the acticable.
		AO8.2	Public signage to safety hazards boundaries of the s	
	abilitation		T ==	
PO9	 Rehabilitation of the <i>extractive industry</i> site provides:- (a) progressive/staged rehabilitation works; (b) appropriate clean-up works (taking particular account of areas of possible soil contamination); (c) agreed landform and soil profiles; (d) suitable revegetation; and (e) establishment phase requirements. 	AO9	rehabilitation work	<i>dustry</i> provides for all ts to be undertaken in an approved expected design and site
PO10	Rehabilitation works for each operational stage are bonded to ensure the effective return of disturbed areas to acceptable land use suitability.	AO10	No acceptable out	come provided.
PO11	Rehabilitation allows for suitable use of any water bodies created through the extraction process, having regard to water quality, hydraulic conditions, land form and <i>vegetation</i> .	AO11.1		carried out to provide a standard that can c vertebrates and
		AO11.2	wetland species s	bodies are planted with such that a sustainable nunity is established.
Resourc	aal Requirements for Extractive Indus e Area) on Zone Map ZM63 Clanning and Robabilitation Concents	try in Prec		
PO12	Planning and Rehabilitation Concepts The extractive industry is established,	AO12	No acceptable out	come provided.
	operated and rehabilitated in a manner that is generally in accordance with the development and rehabilitation concepts identified on:- (a) Figure 9.3.7A (Meridan Plains extractive resource area master			
	plan); and (b) Figure 9.3.7B (Meridan Plains extractive resource area end use			

Perform	ance Outcomes	Acceptable	Outcomes
	concept plan).		
Avoidan	ce of Constrained Areas and Staging of	Extraction	
P013	 The extractive industry avoids constrained areas and utilises a staged approach to site development that provides for:- (a) the efficient exploitation of the Extractive Resource Area; (b) the progressive rehabilitation of the site such that the scenic values of the Mooloolah River floodplain are retained throughout the duration of the extraction; (c) the progressive creation of a lake system that at all times:- (i) maintains or improves the integrity of the Mooloolah River and the flood storage capacity of the Mooloolah River floodplain; (ii) maintains, as far as practicable, the flow conveyance patterns of the Mooloolah River floodplain; and (iii) maintains or improves the quantity and quality of surface and groundwater in the catchment area; and (d) the avoidance or effective mitigation of any potential environmental harm. 	A013	 The extractive industry provides for:- (a) the avoidance of exploitation in areas identified as 'Constrained Resource Area (Type A)' on Figure 9.3.7A (Meridan Plains extractive resource area master plan); (b) the avoidance of exploitation in areas identified as 'Constrained Resource Area (Type B)' on Figure 9.3.7A (Meridan Plains extractive resource area master plan) until such time as outstanding strategic coastal management, flooding and hydrological issues are investigated and resolved; (c) the avoidance of exploitation in any other part of the Extractive Resource Area determined (through further site assessment or referral agency advice) to have coastal management or other biophysical limitations making the land unsuitable for extractive industry development; (d) development on the site to be staged such that not more than 30% of the surface area of the site is used for extractive industry at any particular time; and (e) development of a lake system with a configuration that is generally consistent with that shown on Figure 9.3.7B (Meridan Plains extractive Resource Area; or (i) an approved lake management plan is yet to be approved for the entire Extractive Resource Area; or (ii) if a lake management plan is yet to be approved for the entire Extractive specific lake management plan.
Buffers a	and Batter Stability Zones		plan).
PO14	The extractive industry provides for ecological and landscape buffers, visual screens and batter stability zones to conceal and/or setback operations and activities involved in the use from road frontages, site boundaries, incompatible uses on surrounding land, lakes, waterways, wetlands, ecologically important areas and infrastructure corridors, such that the extractive industry:- (a) maintains or improves the integrity of the Mooloolah River and other	AO14.1	The extractive industry provides for the establishment of ecological and landscape buffers, visual screens and batter stability zones in accordance with Table 9.3.7.3.1B (Ecological and landscape buffers, visual screens and batter stability zones).Table 9.3.7.3.1BEcological and landscape buffers, visual screens and batter stability zones).Table 9.3.7.3.1BEcological and landscape buffers, visual screens and batter stability zones

Performance	Outcomes	Acceptable	Outcomes	
	<i>waterways</i> ; protects and reconnects		Column 1 Feature/ element	Column 2 Ecological/landscape/ visual buffer/
(c)	ecologically important areas; achieves a high standard of visual amenity from all scenic routes and		Mooloolah River and <i>waterways</i>	batter stability zone 60 metre wide (minimum) ecological <i>buffer</i> measured
(d)	significant viewpoints; protects the functionality of transport and other <i>infrastructure</i>			from the high or outer bank of the <i>waterway</i> to the top of the batter of any extraction area. The northern and southern boundaries of this
	corridors; prevents channel avulsion or erosion; and avoids or effectively mitigates any potential environmental harm.			ecological <i>buffer</i> are "smoothed" (i.e. they do not follow every bend in the river) as indicated in figures 9.3.7A and 9.3.7B. To remove any doubt, the distance is not less than 60m at any point, but could
			Native vegetation	be up to 100m when <u>"smoothed".</u> 50 metre wide (minimum) ecological <i>buffer</i> measured from the outer edge of the native <i>vegetation</i> to the top of the batter of any
			Bruce Highway – Caloundra Road Interchange	extraction area. 200 metre wide open <i>landscape buffer</i> measured from the planned final Bruce Highway and Caloundra Road boundaries to the top of the batter of any
			Multi Modal Transport Corridor	extraction area. 40 metre wide batter stability zone measured from the final MMTC Road Boundary to the top of the batter of any extraction area; and 200 metre wide interim visual screen.
			Sippy Downs to Caloundra South Link	20 metre wide batter stability zone and visual screen measured from the final corridor boundary to the top of the batter of any extraction area.
			Rainforest Drive to Claymore Road Link	20 metre wide batter stability zone and visual screen measured from the final corridor boundary to the top of the batter of any extraction area.
			Honey Farm Road Link	20 metre wide batter stability zone and visual screen measured from the final corridor boundary to the top of the batter of any extraction area.
			Water Supply Ring Tank	40 metre wide batter stability zone measured from the property boundary to the top of the batter of any extraction area.
			Water supply and sewerage main pipelines	40 metre wide batter stability zone measured from the centreline of the pipe to the top of the batter of any extraction area.
			Created water body / lake	20 metre wide batter stability zone measured from the top of the batter of any extraction area/lake to another extraction
			Electricity transmission tower or other infrastructure service where not included	area/lake. 20 metre wide batter stability zone measured from the outer extremity of the transmission tower or other <i>infrastructure</i> service to the top of a minimum 1:3
			within a road reserve	batter of any extraction area.

Performar	nce Outcomes	Acceptable	Outcomes
			External site 10m wide batter stability boundary zone measured from the property boundary to the top of the batter of any extraction area, except where a lake traverses a property boundary and is part of a development site.
		A014.2	 The extractive industry provides for:- (a) that part of any site included within the Mooloolah River ecological buffer to be:- (i) rehabilitated to provide for bank stabilisation and buffering in accordance with:- (A) an approved final landform design and site rehabilitation plan for the entire Extractive Resource Area; or (B) if an approved final landform design and site rehabilitation plan is yet to be approved for the entire Extractive Resource Area—a site specific final landform design and site rehabilitation plan; and (ii) dedicated to Council as esplanade prior to the commencement of any extraction on the site; (b) that part of any site included within another ecological buffer, to be established prior to the commencement of any extraction on the site; (c) that part of any site included within the Bruce Highway-Caloundra Road open landscape buffer or the Multi-Modal Transport Corridor visual screen to be established for that purpose prior to the commencement of any extraction of any extraction on the site; and (d) that part of any site included within another buffer or batter stability zone to be established for that purpose, at a time appropriate to the staging of the extraction.
			 Note—where land in the Mooloolah River Ecological Buffer is dedicated to <i>Council</i> as esplanade in accordance with AO14.2(a)(ii), <i>Council</i> will consider the granting of a temporary lease over part of the esplanade in order to provide for:- (a) any activity required to avoid or mitigate impacts on the environment (including approved rehabilitation work); and/or (b) any access required to allow maintenance of the Ecological Buffer or egress to an extraction area adjoining the Esplanade; and/or (c) any security measure required for public safety purposes and/or the security of extractive industry sites.
	The extractive industry provides for ecological and landscape buffers, and visual screens and batter stability	AO15	No acceptable outcome provided.

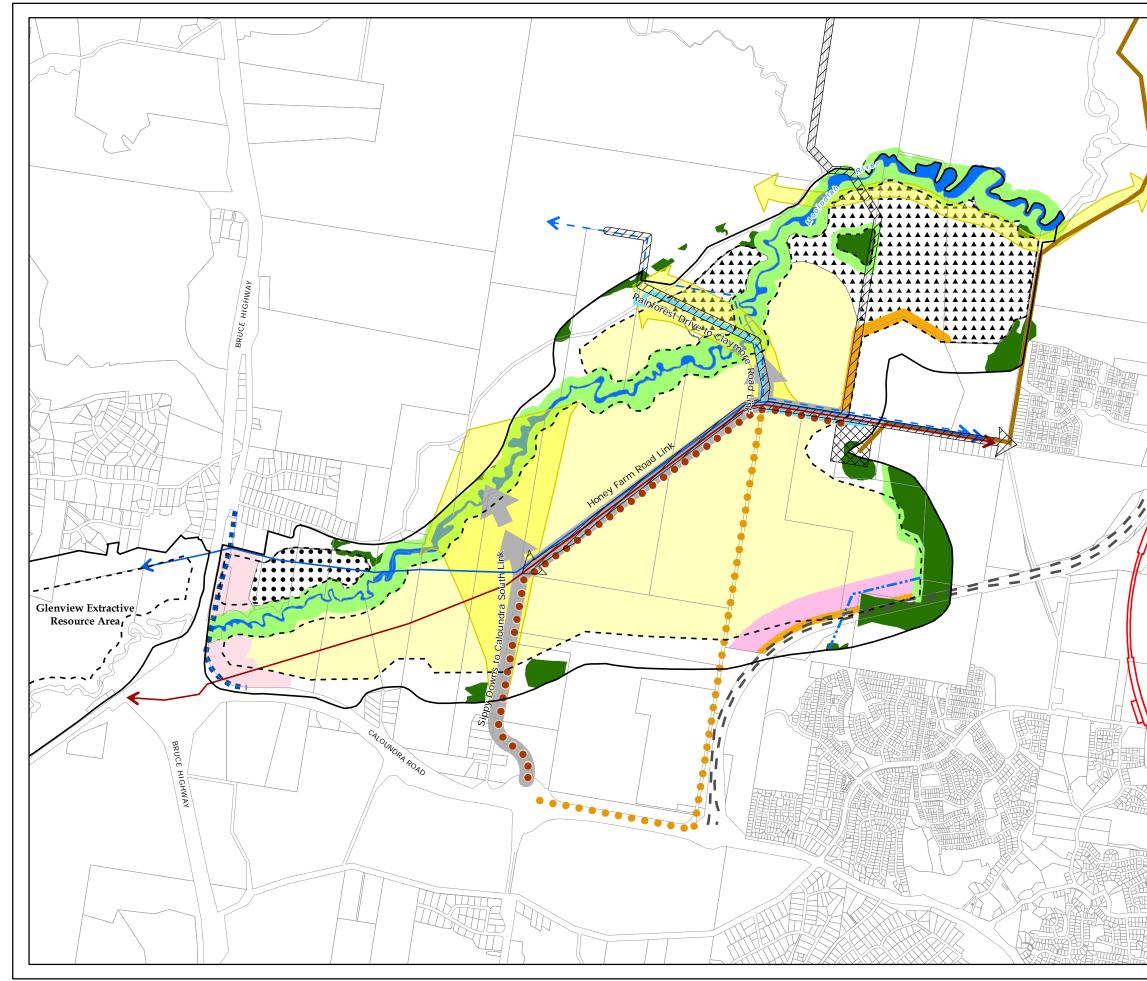
Perform	ance Outcomes	Accentable	Outcomes	
Fenomia	zones, to comprise of <i>vegetation</i>	Acceptable	Outcomes	
	endemic to the area and to have a			
	landscape character that is consistent			
	with a coastal plain landscape, where			
	rural scenery and pockets of local native			
	vegetation are interspersed with screen			
	planting and views over water.			
Transpo	rt/Infrastructure Corridors and Transpor	t Routes	•	
PO16	The extractive industry protects existing	AO16.1	The extractive inc	dustry provides for the
	transport and <i>infrastructure</i> corridors and provides for the establishment of new transport and <i>infrastructure</i> corridors.		establishment of and infrastructure Table 9.3.7.3.10 infrastructure cor be located within t infrastructure stud Figure 9.3.7A	the identified transport corridors described in
				Transport and infrastructure corridor requirements
			Column 1 Transport/ infrastructure corridor	Column 2 Land requirement
			Sippy Downs to Caloundra South Link	80 metre wide road reserve from Caloundra Road to Laxton Road and including the existing
			(Local government infrastructure)	Honey Farm and Sattler Road Reserves.
			Rainforest Drive to Claymore Road Link	40 metre wide road reserve from Honey Farm Road to Laxton
			(Local government infrastructure)	Road and including the existing unnamed Road Reserve.
			Honey Farm Road Link	40 metre wide road reserve from Sippy Downs to Caloundra
			(Local government infrastructure)	South Link to Rainforest Drive and including the existing Rainforest Road Reserve.
			Electricity transmission line or other <i>infrastructure</i> service where not included within a road reserve	40 metre wide infrastructure corridor in an alignment and configuration that fulfils the functional requirements of the infrastructure/service provider.
		AO16.2	accommodate a transport or other dedicated to C	any <i>site</i> required to
PO17	The extractive industry provides for the establishment and utilisation of identified transport routes, so as to provide for the efficient transport of extracted material from the Meridan Plains Extractive Resource Area in a manner that:- (a) is adequate for the type and volume of traffic to be generated; (b) does not create or worsen any	AO17	establishment of t	
	traffic hazards; (c) minimises adverse effects on the			

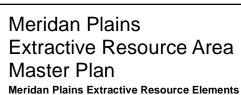
Perform	ance Outcomes	Accentable	Outcomes
	amenity of the locality;	Acceptable	outcomes
	(d) protects the inherent rural character		
	and identity of the area; and		
	(e) ensures that disturbance to		
	surrounding land uses is minor and		
	that impacts from emissions are minimised.		
Lake an	d Site Management	<u> </u>	
PO18	The extractive industry provides for the	AO18	In partial fulfilment of Performance
	appropriate establishment and		Outcome PO18:-
	management of lakes provided in		
	accordance with Figure 9.3.7A		The extractive industry is established and
	(Meridan Plains extractive resource		operated in accordance with a lake
	area master plan) in a manner that appropriately addresses potential		management plan (supported by modelling) that:-
	environmental and flooding impacts.		(a) considers the full development
	chimoniniental and hooding impacts.		scenario for the Meridan Plains
			Extractive Resource Area and its
			external influences; and
			(b) identifies and addresses all
			environmental and flooding impacts
			and the measures to manage the potential impacts.
			potential impacts.
			Note—a lake management plan is intended to
			be prepared for the entire area as well as
Site Reh	abilitation and End Use	<u> </u>	individual sites.
PO19	The extractive industry provides for the	AO19.1	The extractive industry provides for site
	progressive rehabilitation of all areas		rehabilitation to be carried out on a
	subject to extractive industry operations		progressive basis at the conclusion of
	to a stable and restored state such that		each stage of extraction, providing for:-
	the land is suitable for use in accordance with Figure 9.3.7B		(a) clean-up works (taking particular account of areas of possible soil
	(Meridan Plains extractive resource		contamination);
	area end use concept plan).		(b) minimisation of potential for erosion
			from the site and sediment transport
			across the <i>site</i> ;
			(c) management of the quality of stormwater, water and seepage
			released from the <i>site</i> such that
			releases of contaminants are not
			likely to cause environmental harm;
			(d) management of any actual and
			potential <i>acid sulfate soils</i> in or on the
			site; (e) a stable final landform and soil profile;
			(f) local native <i>vegetation</i> suitable for
			establishment in the coastal plain to
			be planted, established and
			maintained;
			(g) management of weeds; and
			(h) public <i>infrastructure</i> (including pathways) to be provided in those
			areas dedicated as public open
			space.
		AO19.2	The extractive industry provides for all
			lakes created through the extraction process to achieve an end use water
			quality standard at least suitable for
			secondary contact recreation use with a
			self managing pH range of 5.0 to 8.5 and
			metal concentrations and hardness similar
			to background concentrations in the
			adjacent Mooloolah River (as at 2006).

Performa	ance Outcomes	Acceptable	Outcomes
		AO19.3	The extractive industry provides for all rehabilitation works to be undertaken in accordance with an expected final landform design and site rehabilitation plan.
			Note—a final landform design and site rehabilitation plan is intended to be prepared for the entire area as well as individual <i>sites</i> .
		AO19.4	The <i>extractive industry</i> provides for the long term management of any rehabilitated lands or lakes dedicated to <i>Council</i> as <i>public open space</i> or esplanade.
Infrastru	cture Agreement	•	•
PO20	 The extractive industry occurs in accordance with an infrastructure agreement made with the <i>Council</i> that:- (a) incorporates the agreed plan of staging for extraction on the <i>site</i>; (b) provides for the establishment and maintenance of <i>transport routes</i> necessary to support development of the extractive resource area; (c) establishes the performance bonding arrangements for:- (i) the operation of the <i>extractive industry</i> in accordance with the lake management plan and site based management plan; (ii) the rehabilitation of the <i>site</i> in accordance with the final landform design and site rehabilitation plan; and (iii) the long term management of any rehabilitated lands or lakes dedicated to <i>Council</i> as <i>public open space</i> or esplanade; and (d) specifies any other obligation of the extraction, rehabilitation and ongoing maintenance of the extractive resource area. 	AO20	No acceptable outcome provided.



Sunshine Coast Planning Scheme 2014 **Meridan Plains Extractive Resource Area**





Main Roads - Bruce Highway Possible Resumption Boundary Haulage Route Interim Haulage Route Future Meridan Plains Sewerage and Advanced Waste Water Treatment Plants Trunk Sewer Pipe Trunk Water Pipe ← Aquagen Pipeline Trunk Pressure Main Future Infrastructure Corridor Future Transport and Infrastrucure Study Area Open Landscape Buffer Visual Screen Transport Infrastructure Corridor Batter Stability Zone Regional Significant Vegetation (areas shown within and adjoining extractive resource area only Ecological Buffer (areas shown within and adjoining extractive resource area only) Mooloolah River Indicative Future 132kv Electricity Corridor Primary Resource Area ••• Constrained Resource Area (Type A) Constrained Resource Area (Type B) SPP Key Resource Area Boundary SPP Extractive Resource Area Boundary Other Elements DCDB 28 January 2013 © State Government CAMCOS Transport Corridor - Major Road Corridor ---- Indicative Proposed Drainage Line

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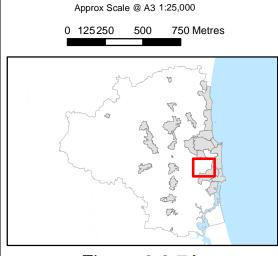
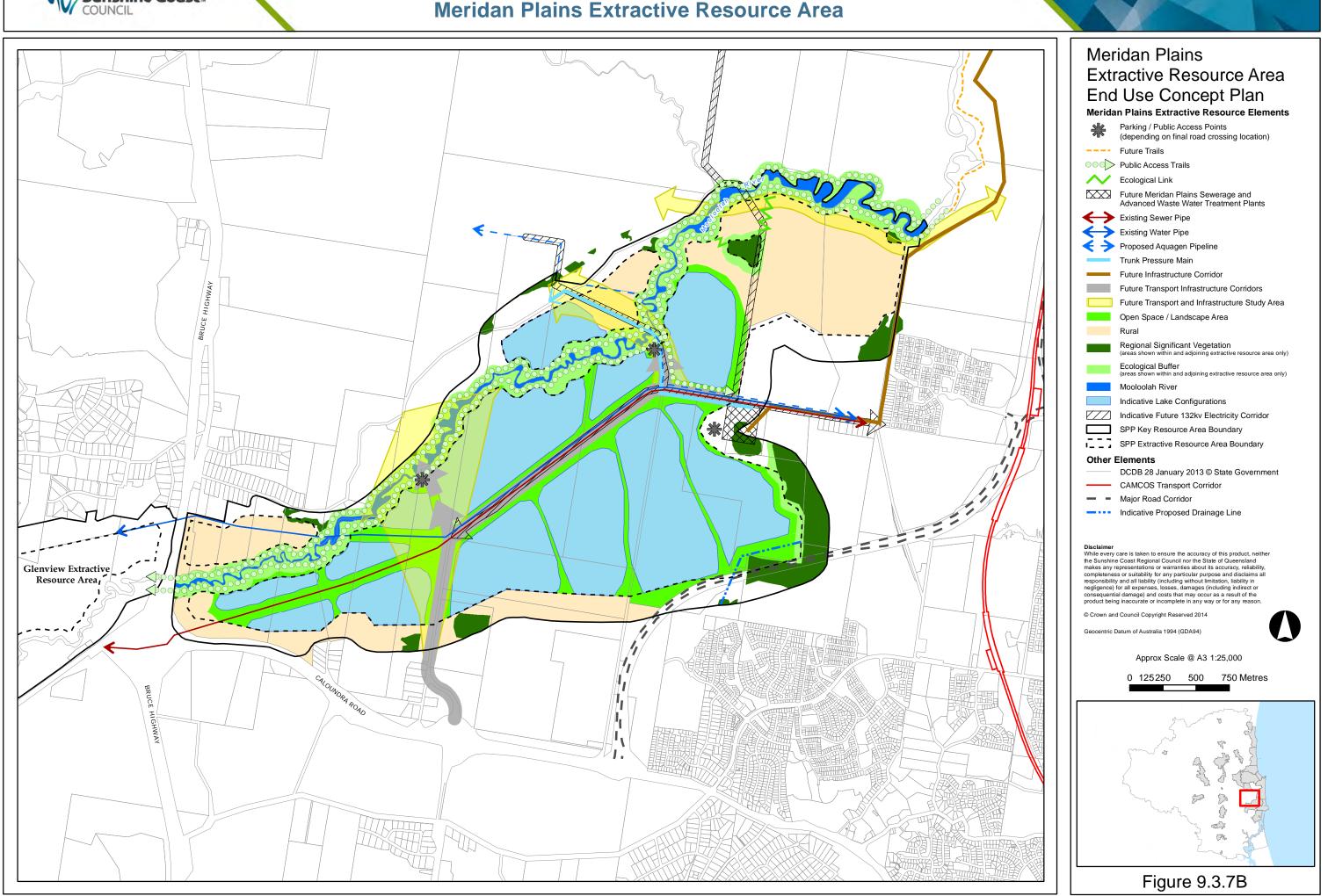


Figure 9.3.7A

Sunshine Coast Planning Scheme 2014



Sunshine Coast Planning Scheme 2014 Meridan Plains Extractive Resource Area



Sunshine Coast Planning Scheme 2014

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9.3.8 Home based business code

9.3.8.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Home based business code by the tables of assessment in **Part 5** (Tables of assessment).
- (2) The acceptable outcomes in Table 9.3.8.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.8.2 Purpose and overall outcomes

- (1) The purpose of the Home based business code is to ensure *home based business* is conducted in a manner which is appropriate to the preferred character of the area and protects the amenity of surrounding premises.
- (2) The purpose of the Home based business code will be achieved through the following overall outcomes:-
 - (a) a *home based business* is domestic in scale and operates in a manner that is subservient and *ancillary* to the residential use on the premises; and
 - (b) a *home based business* is compatible with the preferred character of the local area and does not adversely impact upon the amenity of adjoining or nearby *sensitive land uses*.

9.3.8.3 Performance outcomes and acceptable outcomes

Table 9.3.8.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
Operatio	n as Bona Fide Working From Home Act	tivity	
PO1	The <i>home based business</i> is conducted as a bona fide working from home activity.	AÓ1.1	 Except where a bed and breakfast, the home based business is conducted:- (a) in, under or within the curtilage of the dwelling house; (b) within a dual occupancy; or (c) within a multiple dwelling.
		A01.2	For a home based business operating as a bed and breakfast, the bed and breakfast is conducted within the dwelling house. A resident of the dwelling conducts the
			home based business.
Residen	tial Appearance and Character		
PO2	The <i>home based business</i> is conducted such that buildings on the <i>site</i> retain a residential appearance and character.	AO2	The external appearance and character of the <i>dwelling</i> is not modified to accommodate the <i>home based business</i> .
Scale of	Use and Protection of Residential Amen	ity	
PO3	 The home based business is limited in size and scale so that:- (a) the amenity of the existing neighbourhood is protected; and (b) the home based business remains ancillary to the use of the dwelling house as a private permanent 	AO3.1	For a <i>home based business</i> (other than a <i>bed and breakfast</i>) conducted in, under or within the curtilage of a <i>dwelling house:-</i> (a) the total <i>gross floor area</i> used for the <i>home based business</i> does not exceed:- (i) 40m ² where the <i>dwelling house</i>

Perform	ance Outcomes	Acceptable	Outcomes
	residence.		 is located on a lot not exceeding 2,000m² in area; or (ii) 80m² where the <i>dwelling house</i> is located on a lot exceeding 2,000m² in area; (b) no more than 2 customers or clients are present at any one time and no more than 8 customers or clients are present in any one day; and (c) the <i>home based business</i> does not involve more than:- (i) 1 person who is a non-resident of the <i>dwelling house</i>; or (ii) where the <i>site</i> is included in the Rural zone, 4 persons who are non-residents of the <i>dwelling house</i>.
			 For a home based business conducted within a dual occupancy or multiple dwelling:- (a) the total gross floor area used for the home based business does not exceed 20m²; (b) the home based business does not involve outdoor use areas; (c) no more than 2 customers or clients are present at any one time and no more than 4 customers or clients are present in any one day; and (d) the home based business involves only the persons who are residents of the dwelling.
		AO3.2	 For a home based business operating as a bed and breakfast:- (a) at least one bedroom within the dwelling house is excluded from use by guests; and (b) the maximum number of bedrooms used to accommodate guests is 3 and the maximum number of guests accommodated at any one time is 6. Not more than one home based business
PO4	The <i>home based business</i> does not involve any materials, equipment or processes that cause nuisance or adversely impact on residential amenity.	AO4.1 AO4.2	is conducted on the premises. The <i>home based business</i> does not produce any dust emissions beyond the <i>site</i> boundaries. The <i>home based business</i> does not
		AO4.3	produce any odour emissions or a noticeable smell in excess of 1 odour unit at the <i>site</i> boundaries. The <i>home based business</i> does not produce noise which exceeds the background noise level plus 5 dB(A) (8.00am to 6.00pm) (measured at adjusted sound level) at the <i>site</i> boundaries.

	anco Outcomos	Acceptable	Outcomos
	ance Outcomes	ACCEPTABLE AO4.4	A maximum of one commercial vehicle associated with the <i>home based business</i> is parked/garaged on the <i>site</i> .
		AO4.5	Materials or equipment used or goods manufactured, serviced or repaired are stored within a building on the premises.
		AO4.6	Trade person's storage and horticultural activities are located at the rear of the <i>dwelling</i> and any vehicle, or stored equipment or materials, is screened from view from all public places and adjoining residential premises.
		AO4.7	 Where goods are offered for sale from the premises, the public display of such goods:- (a) does not occur outside of a building; and (b) is not visible from the street or another public place.
PO5	The hours of operation of the <i>home</i> <i>based business</i> do not cause a nuisance or adversely impact on residential amenity.	AO5	 For a home based business, other than a bed and breakfast, the hours of operation are limited to:- (a) 8.00am and 6.00pm, Mondays to Saturdays; and (b) not at all on Sundays or public holidays.
			Note—office administration functions and activities that do not involve visitors by customers or clients, deliveries or noise related activities may occur outside of the hours of operation.
Traffic In			
PO6	Traffic impacts of the <i>home based business</i> are no greater than that which might reasonably be expected in a residential location.	AO6.1	The <i>home based business</i> does not involve the use of a motor vehicle with a carrying capacity exceeding 2.5 tonnes.
		AO6.2	Commercial deliveries or collections are limited to a vehicle no larger than a courier van and no more than 2 deliveries or collections per day.
		AO6.3	Loading or unloading activity is undertaken entirely within the <i>site</i> and only during the hours of operation specified by Acceptable Outcome AO5.
Signage			
PO7	Signage associated with the <i>home based business</i> is small, unobtrusive and appropriate to its location and setting.	A07	 Not more than 1 sign is erected on the premises and the sign:- (a) includes only the name of the occupier and/or the business conducted on the premises; (b) has a maximum <i>signface area</i> of:- (i) 0.3m² where in an <i>urban zone</i>; or (ii) 0.5m² where in another zone; (c) is attached to a fence or wall; and (d) is not illuminated or in motion.
PO8	The home based business does not	AO8	No greater load is imposed on any public
	impact on the capacity of <i>infrastructure</i> services.		tility than would reasonably be expected from the normal residential use of the <i>dwelling</i> .

Perform	Performance Outcomes Acceptable Outcomes				
Addition	Additional Requirements for Bed and Breakfast Accommodation				
Tempor	ary Accommodation				
PO9	<i>Bed and breakfast</i> accommodation is provided for short-term stay only.	AO9	Guests stay no more than 14 consecutive nights.		
Guest F	acilities				
PO10	An acceptable standard of facilities is provided for guests of the <i>bed</i> and <i>breakfast</i> .	AO10.1	Guests are provided with a bedroom capable of being enclosed to prevent visual or other intrusion by members of the host family or other guests.		
		AO10.2	A separate bathroom and toilet facility is provided within the <i>dwelling house</i> for the exclusive use of guests.		
Access	and Parking				
PO11	Sufficient parking spaces are provided on the <i>site</i> to cater for guests of the <i>bed</i> <i>and breakfast</i> .	AO11	A minimum of 1 (one) on-site car parking space per guest bedroom is provided in addition to the car parking spaces required for a <i>dwelling house</i> .		
			Note—car parking spaces may be provided in a tandem configuration, provided that all spaces are wholly contained within the <i>site</i> such that parked vehicles do not protrude into the road reserve.		
PO12	The design and management of <i>access</i> , parking and vehicle movement on the <i>site</i> facilitates the safe and convenient use of the <i>bed and breakfast</i> by residents and visitors.	AO12	 Access driveways, internal circulation and manoeuvring areas, and on-site car parking areas are designed and constructed in accordance with:- (a) IPWEA Standard Drawings SEQ R-050 and R-056 as applicable; and (b) AS2890 Parking facilities – Off-street parking. 		

Part 9

9.3.9 Industry uses code

9.3.9.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Industry uses code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The acceptable outcomes in Table 9.3.9.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.9.2 Purpose and overall outcomes

- (1) The purpose of the Industry uses code is to ensure industry uses are designed and operated in a manner which meets the needs of the industry use, protects public safety and environmental values and appropriately responds to amenity considerations.
- (2) The purpose of the Industry uses code will be achieved through the following overall outcomes:-
 - (a) the scale and intensity of an industry use is compatible with its location and setting;
 - (b) an industry use incorporates a site layout and building design that provides for the efficient and safe conduct of industrial activities and contributes to a well organised development that is attractive when viewed from the street;
 - (c) an industry use does not cause environmental harm or nuisance, including the contamination of land or water;
 - (d) an industry use avoids or effectively mitigates adverse impacts on the amenity of adjoining and nearby *sensitive land uses*, where these uses are located in a zone other than an *industry zone*;
 - (e) an industry use incorporates service areas and waste management processes and systems that are efficient and maximise opportunities for reuse or recycling; and
 - (f) an industry use provides a safe and pleasant environment for employees and visitors to the *site*.

9.3.9.3 **Performance outcomes and acceptable outcomes**

Table 9.3.9.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development⁵

Performa	nce Outcomes	Acceptable	Outcomes
Built form	, Streetscape Character and Protection	n of Amenity	
PO1	Buildings and structures associated with the industrial use:- (a) are of a scale and design which is appropriate for an industrial	AO1.1	The <i>site cover</i> of all buildings and structures on the <i>site</i> does not exceed 70%.
	 setting, whilst contributing positively to the visual character and <i>streetscape</i> of the area; and (b) are designed to avoid or mitigate the potential for adverse amenity impacts on adjoining or nearby non-industrial uses. 	AO1.2	 Buildings and structures are setback a minimum of:- (a) 6 metres from the primary street <i>frontage</i>; (b) 3 metres from any secondary street <i>frontage</i>; and (c) 3 metres from any side or rear boundary, except where:- (i) a built to boundary wall, in

⁵ Note—for accepted development in an existing building, only acceptable outcomes AO8.1, AO8.2, AO8.3, AO8.4, AO8.5, AO9.1, AO9.2, AO9.3, AO10.1, AO10.2, AO12 and AO13 of Table 9.3.9.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) apply.

Performa	nce Outcomes	Acceptable	Outcomes
			 which case no setback requirement applies; or (ii) adjoining a sensitive land use or land in a residential zone or the Community facilities zone, in which case a minimum setback of 10 metres applies.
		AO1.3	 Where the <i>site</i> has a common boundary with a <i>sensitive land use</i>:- (a) no openings occur in walls facing a common boundary; (b) acoustic screening is provided to all areas where work could be conducted outside of the building, including waste storage and refuse areas, so that off-site noise emissions are avoided or do not cause nuisance; and (c) noise emitting services such as air conditioning equipment, pumps and ventilation fans are located as far as practicable from the <i>sensitive land use</i>.
		AO1.4	The main entry to any building is easily identifiable, and directly accessible, from the street, or the primary street <i>frontage</i> if the <i>site</i> has more than one street <i>frontage</i> .
		AO1.5	All permanent storage containers have a uniform colour.
PO2	The industrial use is attractive when viewed from a <i>major road</i> .	AO2.1	 Where the industrial use has <i>frontage</i> to or overlooks a <i>major road</i>:- (a) building design incorporates variations in parapet design, roofing heights and treatments; (b) a 3 metre wide landscape strip is provided adjacent to the <i>frontage</i> of the <i>site</i> within the <i>site</i> boundaries; and (c) any security fencing is set within or located behind the landscape strip rather than adjacent to a <i>major road</i>.
		AO2.2	Any temporary storage of containers is located in an area of the <i>site</i> not visible from a major road.
	es and Buffering	402.4	
PO3	The industrial use incorporates landscapes that:- (a) makes a positive contribution to	AO3.1	A minimum of 10% of the <i>site</i> is landscaped.
	 the streetscape; (b) provides shade to open car parking areas; and (c) buffers the development from adjoining sensitive land uses. 	AO3.2	A landscape strip, with a minimum width of 2 metres, is provided within the <i>site</i> boundaries adjacent to all street <i>frontages</i> .
		AO3.3	Tree planting is provided to street <i>frontages</i> that will achieve canopy spread over 50% of the <i>site frontage</i> within 5 years of planting.
		AO3.4	Shade trees are provided in car parking areas at a ratio of 1 tree for every 6 car parking spaces.

Performa	nce Outcomes	Acceptable	Outcomes
		AO3.5	Landscaped areas provide for deep root planting in natural ground which is clear of <i>infrastructure</i> and exclusive of hard paved areas, such as car parking, service areas, paths and the like.
		AO3.6	Where adjoining a <i>sensitive land use</i> , or land included in a <i>residential zone</i> , a minimum 1.8 metre high solid screen fence and a minimum 3 metre wide landscape strip is provided for the full length of the common boundary.
	and Utilities		
PO4	The industrial use is connected to essential <i>infrastructure</i> and services.	AO4	The industrial use is connected to the reticulated water supply, sewerage and electricity <i>infrastructure</i> networks.
PO5	 The industrial use is provided with a stormwater management system which:- (a) makes adequate provision for drainage of the premises to a lawful point of discharge; and (b) conveys external catchment stormwater through the development. 	AO5	 Where the industrial use is on a lot with a finished level that falls to the road, stormwater is:- (a) piped to kerb and channel; or (b) connected directly into the <i>Council's</i> piped stormwater <i>infrastructure</i> network.
			 Where the industrial use is on a lot with a finished level that falls away from the road, stormwater is:- (a) connected into an inter-allotment drainage easement; or (b) connected directly into the <i>Council's</i> piped stormwater <i>infrastructure</i> network.
PO6	The industrial use provides the site frontage works, <i>access</i> and manoeuvring arrangements and on- site <i>infrastructure</i> and services necessary to accommodate the use and facilitate the coordinated	AO6.1	Kerb and channel is constructed for the full length of the road <i>frontage</i> in accordance with the standards specified in the Planning scheme policy for development works .
	development of the <i>site</i> and the locality.	AO6.2	Reinforced industrial rated crossovers are provided in accordance with the standards specified in the Planning scheme policy for development works.
		AO6.3	All hardstand areas are sealed in accordance with the standards specified in the Planning scheme policy for development works .
		AO6.4	The layout and design of the development provides for the loading and un-loading of goods to be accommodated on site.
		AO6.5	The layout and design of the development provides for on-site storage of refuse so that it is not visible from the street.
PO7	Development works and connections to <i>infrastructure</i> and services are undertaken in accordance with accepted engineering standards and	A07.1	All development works are certified by a Registered Professional Engineer Queensland (RPEQ).
	are complete prior to the	A07.2	All connections to infrastructure and

Performa	ance Outcomes	Acceptable	
	commencement of the use.		services are in accordance with the requirements of the relevant
			requirements of the relevant infrastructure entity.
Environn	nental Performance		initiasituciure entity.
PO8	The industrial use ensures that any emissions of odour, dust, air pollutants, noise, light or vibration does not cause nuisance to, or have an unreasonable impact on, adjoining or nearby premises.	AO8.1	The industrial use achieves the environmental values for the acoustic environment and acoustic quality objectives for sensitive receiving environments set out in the <i>Environment</i> <i>Protection (Noise) Policy.</i>
	Note—in addition to complying with the corresponding acceptable outcomes, development involving industry activities will need to comply with relevant environmental legislation including the	AO8.2	The industrial use achieves the environmental values and air quality objectives set out in the <i>Environmental Protection (Air) Policy</i> .
	<i>Environmental Protection Act 1994</i> and subordinate legislation.	AO8.3	The industrial use does not produce any odour emissions in excess of 1 odour unit beyond the <i>site</i> boundaries.
		AO8.4	The industrial use ensures that any vertical illumination resulting from direct, reflected or other incidental lighting emanating from the <i>site</i> does not exceed 8 lux when measured at any point 1.5 metres outside the boundary and at any level from ground level upwards.
		AO8.5	Vibrations resulting from the industrial use do not exceed the maximum acceptable levels identified in Australian Standard AS2670 Evaluation of human exposure to whole of body vibration, Part 2: continuous and shock induced vibration in buildings (1-80Hz).
PO9	The industrial use provides for the collection, treatment and disposal of all liquid waste such that:- (a) there is no off-site release of contaminants;	AO9.1	Waste water associated with the industrial use is disposed of to the reticulated sewerage system or an on- site industrial waste treatment system.
	(b) all wastes are collected and disposed of in accordance with relevant license and approval conditions and/or relevant government or industry standards; and	AO9.2	Liquid wastes that cannot be disposed of to the reticulated sewerage system, or an on-site industrial waste treatment system, are disposed of off-site to an approved waste disposal facility.
	 (c) there are no adverse impacts on the quality of surface water or groundwater resources. 	AO9.3	No discharge of waste occurs to stormwater systems, local <i>waterways</i> (including dry <i>waterways</i>) or <i>wetlands</i> .
PO10	The industrial use ensures that stormwater does not contaminate surface water.	AO10.1	Areas where potentially contaminating substances are stored or used are roofed.
		AO10.2	Provision is made for spills to be bunded and retained on site for removal and disposal by an approved means.
	Amenities for Employees		
PO11	The industrial use includes on-site amenities for employees that contribute to the establishment of a socially amenable work environment.	AO11	An on-site recreation area is provided in a private location, removed from any noisy or odorous activities, that incorporates:- (a) seating, tables and rubbish bins; (b) protection from the weather; and (c) safe access for all staff.

Perform	ance Outcomes	Acceptable	Outcomes
On-site	Office and Administration Functions		
PO12	Any office and administration functions conducted on the <i>site</i> are <i>ancillary</i> to the industrial use.	AO12	The area used for office and administration functions is limited to 200m ² or 10% of the <i>gross floor area</i> of the premises, whichever is the lesser.
On-site	Sales		
PO13	Any retail sales conducted on the <i>site</i> are <i>ancillary</i> to the industrial use.	A013	On-site retail sales of goods manufactured or assembled on the premises, including display areas, is limited to a <i>gross floor area</i> of 200m ² or 10% of the <i>gross floor area</i> of the premises, whichever is the lesser.
			OR
			On-site retail sales of goods not manufactured or assembled on the premises, including display areas, is limited to a <i>gross floor area</i> of 50m ² or 10% of the <i>gross floor area</i> of the premises, whichever is the lesser.

Table 9.3.9.3.2 Additional performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
Location	n and Site Suitability		
PO1	 The industry use is established on land included in an <i>industry zone</i>, or another zone that is suitable, having regard to:- (a) the suitability of the land for an industry use; (b) the nature, scale and intensity of the industry use; (c) the <i>infrastructure</i> and services needs of the industry use; and (d) the preferred character of the local area. 	A01	No acceptable outcome provided.
PO2	The industrial use is located on a <i>site</i> which has an area and dimensions capable of accommodating a well-designed and integrated industry development, incorporating required buildings, parking and service areas, storage areas, landscapes, vehicle <i>access</i> and on-site movement.	AO2	No acceptable outcome provided.
Site Lay	out		
PO3	 The layout and design of the industrial use ensures that:- (a) premises are safe, secure and legible; (b) movement systems (including roads and pathways), and accessible on-site parking and manoeuvring areas, meet the needs of users and employees; (c) premises contribute to an attractive address to the street, with buildings integrated with landscapes and security fencing to provide a quality contemporary appearance; and (d) surplus areas that may become unsightly or difficult to manage due to their size, configuration or access limitations are not created. 	AO3	No acceptable outcome provided.

Perform	ance Outcomes	Acceptable	Outcomes
Integrati	on of Site Infrastructure and Services		
PO4	Where the industry use is located on a large <i>site</i> which is intended to be developed incrementally or in stages, the industrial use is designed to allow for the <i>infrastructure</i> and service requirements of future users.	AO4	 Development design makes allowance for proposed and future <i>infrastructure</i> and servicing requirements, including where relevant:- (a) access and space allocation for any future trade waste connection to sewer; (b) storage tanks; (c) refuse storage areas; (d) recycling storage areas; (e) waste pre-treatment devices; (f) other ancillary equipment; (g) car parking and manoeuvring areas; and (h) water recycling, retention and re-use <i>infrastructure</i>.
Hazardo	us Materials and Dangerous Goods		
PO5	Development involving the use, storage and disposal of hazardous materials, hazardous chemicals, dangerous goods and flammable or combustible substances does not cause:- (a) a public health or safety hazard; or (b) environmental harm or nuisance.	AO5	No acceptable outcome provided.

9.3.10 Market code

9.3.10.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Market code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The acceptable outcomes in Table 9.3.10.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.10.2 Purpose and overall outcomes

- (1) The purpose of the Market code is to ensure *markets* are appropriately located, and are operated in a manner which is economically, environmentally and socially sustainable and appropriately responds to local amenity issues.
- (2) The purpose of the Market code will be achieved through the following overall outcomes:-
 - (a) *markets* are established in locations of community attraction;
 - (b) *markets* are established where *infrastructure* and services are available or can easily be provided to meet the needs of users; and
 - (c) markets operate in a manner which takes account of:-
 - (i) the amenity of the local area; and
 - (ii) the viability of local businesses.

9.3.10.3 Performance outcomes and acceptable outcomes

Table 9.3.10.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development

Performan	ce Outcomes	Acceptable	Outcomes
Location a	nd Site Suitability	-	
PO1	The <i>market</i> is operated at a location where the attraction of a large number of people is consistent with the preferred character of the local area.	A01	The <i>market</i> is located on or adjoining land included in a <i>centre zone</i> , the Community facilities zone, the Open space zone or the Sport and recreation zone.
PO2	The <i>market:</i> - (a) promotes community, entertainment, local farmers and food production, local creative and cultural products and non-profit uses in the <i>market</i> ; and (b) minimises economic impacts on established businesses in the vicinity of the <i>market</i> .	AO2.1	 A minimum of 10% of stalls are used for one or more of the following:- (a) entertainment; (b) creative or artistic activities or performances; (c) sales of fresh food and produce; (d) home-made goods; and (e) activities conducted by or on behalf of a non-profit or community organisation.
		AO2.2	Where <i>market</i> stalls are proposed to be located adjacent to existing <i>shops</i> , the <i>market</i> is not held on more than 1 day per week.
Site Layou			
PO3	 The <i>market</i> is designed to provide for:- (a) convenient pedestrian access and movement; (b) legibility and accessibility between 	AO3.1	Pedestrian access or pathways, a minimum of 2 metres wide, are provided between:- (a) stall fronts; and

Performan	ce Outcomes	Accontable	Outcomes
Fenomian	stalls and existing surrounding	Acceptable	(b) stalls and existing shop fronts.
	uses; and		
	(c) pedestrian comfort and safety,	AO3.2	Public toilets:-
	including the provision of public		(a) are provided within the area of the
	convenience facilities.		market, or are located within 250
			metres of the <i>market</i> ; and
			(b) remain open and accessible for use
			during <i>market</i> hours.
		AO3.3	Directional signage is provided to identify
		A03.3	the location of, and entry to, public toilet
			facilities.
Operation	and Protection of Amenity		
PO4	The market is operated in a manner	AO4.1	The market is conducted, including set-
	that does not cause environmental		up and pack-up time, between the hours
	nuisance to neighbouring and nearby		of 5.00am and 10.00pm.
	residents and other sensitive land	AO4.2	The module is see donted and which a set
	uses, having regard to:- (a) the generation of noise, dust,	A04.2	The <i>market</i> is conducted, excluding set- up and pack-up time, for not more than 8
	odour and light emissions; and		hours.
	(b) hours and frequency of operation.		
		AO4.3	Where other than provided for by
			Acceptable Outcome AO2.2, the market
			is held on not more than two days per
			week.
		AO4.4	Noise generated from the market
			complies with the level of noise
			emissions prescribed under the
			Environmental Protection (Noise) Regulations 1997.
		AO4.5	Any outdoor lighting associated with the
			<i>market</i> is designed, installed, operated
			and maintained in accordance with
			AS4282 – The Control of the Obtrusive
			Effects of Outdoor Lighting.
		4046	
		AO4.6	Any temporary lighting is dismantled immediately on closure of the <i>market</i> .
Waste Mar	agement		Immediately of closure of the market.
PO5	The <i>market</i> is established and	AO5.1	Waste containers are provided on the
	operated to provide a safe and healthy		premises for the disposal of waste from
	environment and provides waste		stall holders and the public, at a rate of:-
	disposal facilities which are		(a) 1 standard waste container for each
	appropriate to the type and scale of		food stall (not including existing
	the <i>market</i> .		street bins); and
			(b) 1 standard waste container and 1
			recycled waste container for every 4
			non-food stalls (not including
			existing street bins).
		AO5.2	The use area for the market is left in a
			clean state at the end of each market
			day.
	ce of Pedestrian Environment		
PO6	The design and management of	AO6	Where the <i>market</i> is conducted on a
	access, parking and vehicle movement		footpath and the adjoining road remains
	ensures that:-		open to vehicle use, a minimum 1.2
	(a) safe vehicular, pedestrian and		metre clearance from the kerb to any
	cyclist access is provided to and from the <i>site</i> ; and		<i>market</i> structure or <i>use area</i> is provided.
	(b) the functioning of the road		
	network is protected.		



Performance Outcomes		Acceptable Outcomes		
Parking and Access				
PO7	Sufficient parking spaces are provided on the <i>site</i> to cater for the <i>market</i> .	A07	Where the <i>market</i> is conducted on private property, on-site car parking is provided at a rate of 1 space per 20m ² of <i>use area</i> .	
PO8	The <i>market</i> provides adequate access for emergency vehicles.	AO8	A clear movement path, at least 3 metres in width, is maintained through or around the <i>market</i> to allow emergency vehicle access.	



9.3.11 Multi-unit residential uses code

9.3.11.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Multi-unit residential uses code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.11.2 Purpose and overall outcomes

- (1) The purpose of the Multi-unit residential uses code is to ensure multi-unit residential uses are of a high quality design which appropriately responds to local character, environment and amenity considerations.
- (2) The purpose of the Multi-unit residential uses code will be achieved through the following overall outcomes:-
 - (a) a multi-unit residential use is visually attractive, with a built form which addresses the street and integrates with surrounding development;
 - (b) a multi-unit residential use incorporates building design that responds to the region's subtropical climate as well as the character of the particular local area;
 - (c) a multi-unit residential use incorporates high quality landscapes and well designed and useable communal and *private open space* areas that provide visual relief to the built form; and
 - (d) a multi-unit residential use provides a high standard of privacy and amenity for residents.

9.3.11.3 **Performance outcomes and acceptable outcomes**

Table 9.3.11.3.1 Performance outcomes and acceptable outcomes for assessable development

Performa	ance Outcomes	Acceptable	Outcomes	
Site Layo	Site Layout and Relationship of Buildings to Site Features			
PO1	 The multi-unit residential use is sited and designed so as to:- (a) take account of its setting and site context; (b) create an attractive living environment for residents; and (c) make a positive contribution to the character of the street and local area. 	AO1	No acceptable outcome provided.	
PO2	 The multi-unit residential use is located on a <i>site</i> which has an area and dimensions capable of accommodating a well-designed and integrated multi-unit residential development incorporating:- (a) vehicle access, parking and manoeuvring areas; (b) communal and <i>private open space</i> areas and landscapes; and (c) any necessary buffering to incompatible uses or sensitive environments. 	AO2.1 AO2.2	The multi-unit residential use is located on a lot having a minimum area of 800m ² . The multi-unit residential use is not located on a hatchet/battle axe lot or a lot otherwise relying upon <i>access</i> via an easement.	
Relation	ship of Buildings to Streets, Public Spac	ces and Privat	te Open Space	
PO3	The multi-unit residential use is sited and designed to:- (a) provide a visibly clear pedestrian entrance to and from the building;	AO3	The building is sited and designed such that:- (a) the main pedestrian entrance to the building (or group of buildings) is	

Performa	nce Outcomes	Acceptable	Outcomes
	and (b) minimise the potential for pedestrian and vehicular conflict.		 located on the primary street frontage; (b) access from the street to the entrance of the building(s) or individual dwellings is easily discerned; and (c) vehicular access to the site is separate from the pedestrian
PO4	 The multi-unit residential use is sited and designed to:- (a) address and provide a semi-active frontage to the street, adjacent parkland and other public areas; (b) promote casual surveillance of public and semi-public spaces; (c) contribute to a residential character; and (d) achieve a high level of amenity for dwellings within the <i>site</i>. 	AO4	access. The building is sited and designed such that:- (a) street and parkland frontages comprise "semi-active uses/spaces" such as habitable rooms of <i>dwellings</i> or <i>rooming units</i> , common recreation areas (indoor and outdoor) and landscaped areas, to facilitate casual surveillance; and (b) the number of <i>dwellings</i> , <i>rooming</i> <i>units</i> , windows and balconies of habitable rooms that address adjoining streets, communal recreation areas and open spaces is maximised.
PO5	The multi-unit residential use is designed to screen car parking areas, services and mechanical plant.	AO5.1 AO5.2	 Any car parking area or other associated structures are integrated into the design of the development such that:- (a) they are screened from view from frontages to streets, parks and adjoining land; (b) they are not located between the building and the street address; and (c) a <i>basement</i> or undercroft car parking area does not protrude above the adjacent ground level by more than 1 metre. Services and mechanical plant, including individual air conditioning equipment for dwalling and the integration.
			<i>dwellings</i> or <i>rooming units</i> , is visually integrated into the design and finish of the building or effectively screened from view.
	ial Density		
PO6	A multi-unit residential use has a <i>residential density</i> that is compatible with the intent of the zone and the preferred character for the local area in which it is located.	AO6	 Except where otherwise specified in a structure plan or local plan code, the site density for a multi-unit residential use:- (a) is between 30 and 50 <i>equivalent dwellings</i> per hectare where in the Medium density residential zone, District centre zone or Local centre zone and the Height of buildings and structures overlay provides for a <i>building height</i> of 8.5 metres; (b) is between 50 and 80 <i>equivalent dwellings</i> per hectare where in the Medium density residential zone, District centre zone or Local centre zone and the Height of buildings and structures overlay provides for a <i>building height</i> or Local centre zone and the Height of buildings and structures overlay provides for a <i>building height</i> exceeding 8.5 metres; and (c) is not less than 80 <i>equivalent dwellings</i> per hectare where in the High density residential zone, Tourist accommodation zone, Major centre

Performa	ince Outcomes	Acceptable	Outcomes
			zone or Principal centre zone.
	Massing and Composition	1074	
PO7	 The multi-unit residential use is sited and designed in a manner which:- (a) maximises the retention of existing vegetation and allows for spaces and landscapes between buildings; (b) allows sufficient area at ground level for communal open space, site facilities, resident and visitor parking, landscapes and maintenance of a residential streetscape; and (c) demonstrates 3 dimensional 	A07.1	 Except where otherwise specified in a structure plan or local plan code, the <i>site cover</i> of all buildings on a <i>site</i> does not exceed:- (a) 50% if 1 <i>storey</i>; and (b) 40% if 2 or more <i>storeys</i>. Note—where a multi unit residential use is provided above the podium level of a <i>mixed use building</i> in a <i>centre zone</i> or the Tourist accommodation zone, the <i>site cover</i> requirements of Section 9.3.1 (Business uses and centre design code) apply.
	modelling that reduces:- (i) the scale and bulk of the building; and	A07.2	Buildings above 4 <i>storeys</i> in height are not wider than they are high.
	(ii) the appearance of continuous blank walls.	horizontal articulation such	The building incorporates vertical and horizontal articulation such that no unbroken elevation is longer than 15 metres.
		A07.4 A07.5	 The building incorporates most or all of the following design features:- (a) variations in plan shape, such as curves, steps, recesses, projections or splays; (b) variations in vertical profile, with steps or slopes at different levels; (c) variations in the treatment and patterning of windows, sun protection and shading devices, or other elements of a facade treatment at a finer scale than the overall building structure; (d) balconies, verandahs or terraces; and (e) planting, particularly on podiums, terraces and low level roof decks. Existing mature trees are retained and incorporated into the design of the
PO8	The multi-unit residential use is sited and designed so as to:- (a) provide amenity for users of the premises whilst preserving the visual and acoustic privacy of adjoining and nearby properties; (b) provide adequate distance from	AO8	development wherever practicable. Except where otherwise specified in a structure plan or local plan code, buildings and structures comply with the minimum boundary <i>setbacks</i> in Table 9.3.11.3.2 (Minimum boundary setbacks for multi-unit residential uses).
	 adjoining uses; (c) preserve any existing vegetation that will buffer the proposed building; (d) allow for landscapes to be provided between buildings and street frontages and between 		Note—where a multi-unit residential use is provided above the podium level of a <i>mixed</i> <i>use building</i> in a <i>centre zone</i> or the Tourist accommodation zone, the boundary <i>setback</i> requirements of Section 9.3.1 (Business uses and centre design code) apply.
	 (e) maintain the visual continuity and pattern of buildings and landscape elements within the street; and (f) protect the structural integrity of the canal/waterway/waterbody profile and revetment wall where 		

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Performa	nce Outcomes	Acceptable	Outcomes
	located on a lot fronting a canal or artificial waterway.		
PO9	The multi-unit residential use is in a building which has a top level and roof form that is shaped to:- (a) provide an articulated and visually attractive skyline silhouette; and (b) screen mechanical plants from view.	AO9	No acceptable outcome provided.
Privacy			
PO10	The multi-unit residential use ensures that <i>dwellings</i> , <i>rooming units</i> , <i>private</i> <i>open spaces</i> and adjoining residential uses are provided with a reasonable level of privacy.	AO10.1	Non-habitable room windows of one <i>dwelling</i> or <i>rooming unit</i> are not located opposite windows of another <i>dwelling</i> or <i>rooming unit</i> unless views are controlled by screening devices, distance, landscapes or design of the opening.
		AO10.2	 Where habitable room windows look directly at habitable room windows in an adjacent <i>dwelling</i> or <i>rooming unit</i> within 2 metres at the ground <i>storey</i>, or 9 metres at levels above the ground <i>storey</i>, privacy is protected by:- (a) window sill heights being a minimum of 1.5 metres above floor level; or (b) fixed translucent glazing being applied to any part of a window below 1.5 metres above floor level; or (c) fixed external screens; or (d) if at ground level, screen fencing to a minimum height of 1.8 metres.
		AO10.3	The outlook from windows, balconies, stairs, landings, terraces and decks or other private, communal or public areas is screened where direct view is available into <i>private open space</i> of an existing <i>dwelling</i> .
	ace and Landscapes		1
PO11	The multi-unit residential use provides communal and <i>private open space</i> and landscapes such that residents have sufficient area to engage in communal activities, enjoy private and semi-	AO11.1	A 2 metre wide landscape strip is provided along the full length of the street <i>frontage</i> (excluding driveways and pathways).
	private spaces, and accommodate visitors.	AO11.2	For development involving 10 or more <i>dwellings</i> , at least 10% of the area of the <i>site</i> is provided as communal open space, exclusive of required landscape strips and clothes drying areas.
		AO11.3	Each ground floor <i>dwelling</i> or <i>rooming</i> <i>unit</i> has a courtyard or similar <i>private</i> <i>open space</i> area directly accessible from the main living area which is not less than $20m^2$ in area with a minimum dimension of 3.5m.
		AO11.4	Each <i>dwelling</i> or <i>rooming unit</i> above ground level has a balcony or similar <i>private open space</i> area directly accessible from the main living area which is not less than 12m ² in area with a minimum dimension of 3.0m.

Performa	ance Outcomes	Acceptable	Outcomes
T enorma		Acceptable	fence is provided and maintained along the full length of any side or rear
PO12	Londoonno municipal in conjunction	AO12	boundary.
PU12	 Landscapes provided in conjunction with the multi-unit residential use:- (a) enhance privacy between dwellings, rooming units and private open space on the site and adjoining premises; (b) assist in providing microclimatic control to buildings, communal and private open space; (c) make a positive contribution to the streetscape; and (d) maintain opportunities for casual surveillance of public and semi-public spaces. 		No acceptable outcome provided.
PO13	Fences and walls used in landscapes for the multi-unit residential use:- (a) assist the development to address the street; (b) enable the use of <i>private open</i>	AO13.1	Unless required to ameliorate traffic noise or headlight glare, high solid fences or walls are avoided along street <i>frontages</i> .
	 (c) snace abutting the street; (c) provide an acoustic barrier for traffic noise; (d) highlight site and building entrances; 	AO13.2	Front fences and walls have a maximum height of not more than:- (a) 1.8 metres if 50% transparent; or (b) 1.2 metres if solid.
	 (e) maintain safety and opportunities for casual surveillance; and (f) do not unduly impact upon the amenity of the <i>site</i> or surrounding areas. 	AO13.3	Front fences and walls are setback behind the 2 metre wide landscape strip.
Clothes	Drying Facilities		
PO14	Communal clothes drying facilities are provided where <i>dwellings</i> or <i>rooming</i> <i>units</i> are not provided with individual drying facilities.	AO14	Where individual clothes drying facilities are not provided for each <i>dwelling</i> or <i>rooming unit</i> , one or more outdoor clothes drying areas fitted with robust clothes lines are provided in accessible locations to meet the clothes drying needs of residents.
PO15	Where individual clothes drying areas are provided on balconies, they do not adversely impact on the amenity of public places or neighbouring residential premises.	AO15	Individual clothes drying areas are concealed or screened from public view.
	al Requirements for Rooming or Short 1		
PO16	Except where in the form of a serviced apartment or self-contained accommodation, the rooming accommodation or short-term accommodation use is provided with sufficient kitchen, dining, laundry and common room facilities to accommodate the needs of residents and staff.	AO16	No acceptable outcome provided.
PO17	al Requirements for Mixed Use Develop Where the multi-unit residential use	AO17.1	Entry areas for the residents of, and
	forms part of a <i>mixed use building</i> or development, the development provides residents with reasonable privacy and security.		entry areas for the residents of, and visitors to, <i>dwellings</i> or <i>rooming units</i> are provided separately from entrances for other building users and provide for safe entry from streets, car parking areas and servicing areas.
		AO17.2	Clearly marked, safe and secure parking areas are provided for residents and

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Performance Outcomes	Acceptable Outcomes	
	visitors which is separate from p areas provided for other building us	
	AO17.3 Security measures are installed such building users do not have accelerate areas that are intended for the excluse of residents of, and visitor residential accommodation.	ess to clusive



Table 9.3.11.3.2	Minimum boundary setbacks for multi-unit residential uses
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Column 1	Column 2	Column 3
Building height (above ground level) for that part of a building up to:-	Boundary type	Minimum setback in metres (m)
8.5 metres	Front (primary)	6m
	Front (secondary)	4m
	Side	2m
	Rear	2m (or 4.5m to a canal or artificial waterway)
12 metres	Front (primary)	6m
	Front (secondary)	4m
	Side	3m
	Rear	6m
16 metres	Front (primary)	6m
	Front (secondary)	4m
	Side	4m
	Rear	6m
22 metres	Front (primary)	6m
	Front (secondary)	6m
	Side	7m
	Rear	6m
37.5 metres	Front (primary)	6m
	Front (secondary)	6m
	Side	8m
	Rear	8m

9.3.12 Nature and rural based tourism code

9.3.12.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Nature and rural based tourism code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.12.2 Purpose and overall outcomes

- (1) The purpose of the Nature and rural based tourism code is to ensure nature and rural based tourism activities are appropriately located and designed in a manner which meets visitor needs, protects environmental and landscape values and protects the amenity of surrounding premises.
- (2) The purpose of the Nature and rural based tourism code will be achieved through the following overall outcomes:-
 - (a) a nature or rural based tourism use is located and designed in a manner which sensitively responds to site characteristics;
 - (b) a nature or rural based tourism use provides high quality amenities and facilities commensurate with its setting, the types of accommodation supplied and the length of stay accommodated;
 - (c) a nature or rural based tourism use is of a scale and intensity that is compatible with, and subservient to, its rural or natural setting and the preferred character of the local area;
 - (d) a nature or rural based tourism use does not adversely impact on the amenity of rural and residential areas or the viable operation of rural activities; and
 - (e) a nature or rural based tourism use is provided with appropriate utilities and services.

9.3.12.3 **Performance outcomes and acceptable outcomes**

Table 9.3.12.3.1 Performance outcomes and acceptable outcomes for assessable development

	ance Outcomes and Site Suitability	Acceptable	e Outcomes
PO1	A nature or rural based tourism use is located such that it avoids land use conflicts with residents and rural uses on surrounding properties.	A01.1	The nature or rural based tourism use is sited so as to not overlook the living areas of neighbouring premises.
		AO1.2	 The nature or rural based tourism use is <i>setback</i> at least:- (a) 50 metres from the common boundary of any property included in the Rural zone; and (b) 20 metres from any <i>site</i> boundary where the circumstances identified in (a) above do not apply.
PO2	The area of the <i>site</i> is sufficient to accommodate the use without detracting from the rural or natural character and amenity of the local area.	AO2	No acceptable outcome provided.
PO3	The nature or rural based tourism use is located such that it conserves the productive characteristics of Agricultural Land Classification Class A and Class B.	AO3	 The nature or rural based tourism use:- (a) is not located on Agricultural Land Classification Class A or Class B; and (b) is separated from Agricultural Land Classification Class A and Class B and other farm activities such that it

Dorferme		Accortable	Outcomes
Performa	nce Outcomes	Acceptable	does not cause a land use conflict
			that would threaten the ongoing
			productive use of the Agricultural
			Land Classification Class A and
			Class B or an established farming
			enterprise.
			1
			Note—Agricultural Land Classification Class A
			and Class B is identified under the State
			Planning Policy.
			Note—a site specific agricultural land
			assessment may be used to demonstrate that
			although the subject site is identified as
			Agricultural Land Classification Class A or
			Class B under the State Planning Policy, it is in fact not Agricultural Land Classification Class A
			or Class B under the State Planning Policy.
			If such an assessment confirms that that land
			is not Agricultural Land Classification Class A
			or Class B (and this is independently verified where necessary), then Performance Outcome
			PO3 will not be relevant to the development.
Building	Design and Appearance	•	
PO4	The scale, design and external finish of	AO4.1	Buildings take the form of small, separate
	buildings:-		buildings which are visually separated.
	(a) complements the rural and/or		
	natural character of the area and	AO4.2	The architectural style and materials used
	integrates with the surrounding natural landscape; and		for any new building:- (a) comprise a mix of lightweight and
	(b) incorporates colours and finishes		textured external materials such as
	that allow the buildings to blend in		timber cladding and corrugated iron
	with the natural and rural		roofs;
	landscape.		(b) reflect the line, form, colour and
	·················		texture found in the existing
			landscape and do not replicate
			artificial or imported themes; and
			(c) use muted earth/environmental tones
			that blend with the rural and natural
			environment.
			Note appropriate colours will depend on the
			Note-appropriate colours will depend on the
			Note-appropriate colours will depend on the existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive
			existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green,
			existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive
		404.2	existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey.
		AO4.3	existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building
Landscap)es	AO4.3	existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey.
Landscap PO5	pes A nature or rural based tourism use	AO4.3 AO5	existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building
	A nature or rural based tourism use incorporates site landscapes that:-		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors;		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the development into the surrounding 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the development into the surrounding landscape; 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the development into the surrounding landscape; (c) utilise native endemic vegetation 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the development into the surrounding landscape; (c) utilise native endemic vegetation as the major planting theme; and 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the development into the surrounding landscape; (c) utilise native endemic vegetation 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the development into the surrounding landscape; (c) utilise native endemic vegetation as the major planting theme; and (d) maximise the retention of existing 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
PO5 Tempora	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the development into the surrounding landscape; (c) utilise native endemic vegetation as the major planting theme; and (d) maximise the retention of existing mature trees in order to retain the 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.
PO5	 A nature or rural based tourism use incorporates site landscapes that:- (a) provide an attractive landscape setting for the enjoyment and appreciation of visitors; (b) visually screen and soften built form elements and integrate the development into the surrounding landscape; (c) utilise native endemic vegetation as the major planting theme; and (d) maximise the retention of existing mature trees in order to retain the landscape character of the area. 		existing native <i>vegetation</i> and backdrop, but may include muted tones such as green, olive green, blue green, grey green, yellow green, green blue, indigo, brown, and blue grey. Low reflectivity roofing and building materials are used.

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Performa	ance Outcomes	Acceptable	e Outcomes
Intensity			
PO7	 The size, scale and density of accommodation facilities:- (a) is appropriate to its environmental or rural location and setting; and (b) does not detract from the environmental or rural character and amenity of the local area. 	A07.1	 For cabin accommodation:- (a) the gross floor area of each cabin does not exceed 60m²; (b) site density does not exceed 2 cabins per hectare; and (c) the maximum number of cabins on any site does not exceed 8.
		A07.2	 For camping grounds:- (a) site density does not exceed 20 camping sites per hectare; (b) the maximum number of camping sites on any site does not exceed 100; and (c) the total gross floor area of all buildings associated with the operation of the camping ground does not exceed 500m².
		A07.3	For other forms of accommodation, no acceptable outcome provided.
Guest Fa		AO8.1	
	An acceptable standard of facilities is provided for guests.	A08.2	 For cabin accommodation:- (a) guest accommodation is self- contained; or (b) a common area or building is provided for meals and other facilities. For <i>camping grounds</i>, a minimum of 1 unisex toilet is provided on-site for every 10 camping sites.
		AO8.3	For other forms of accommodation, no acceptable outcome provided.
	and Utilities		
PO9	 A nature or rural based tourism use is provided with a level of <i>infrastructure</i> and services that:- (a) is appropriate to its location and setting; (b) maintains environmental and public health; and (c) is commensurate with the needs of users. 	AO9.1 AO9.2	 The nature or rural based tourism use is:- (a) connected to the reticulated sewer <i>infrastructure</i> network; or (b) where not located in a sewered area, the premises is connected to an onsite effluent treatment and disposal system. Note—the <i>Plumbing and Drainage Act 2003</i> sets outs requirements for on-site effluent treatment and disposal. The nature or rural based tourism use is:- (a) connected to the reticulated water supply <i>infrastructure</i> network; or (b) where reticulated water supply is not available, provided with an alternative potable water supply source (e.g. rainwater) that complies with the <i>Australian Drinking Water Guidelines</i> (<i>NHMRC, 2011</i>).



9.3.13 Relocatable home park and tourist park code

9.3.13.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Relocatable home park and tourist park code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.13.2 Purpose and overall outcomes

- (1) The purpose of the Relocatable home park and tourist park code is to ensure *relocatable home parks* and *tourist parks* are appropriately located and are designed in a manner which meets the needs of residents and visitors and protects the amenity of surrounding premises.
- (2) The purpose of the Relocatable home park and tourist park code will be achieved through the following overall outcomes:-
 - (a) a *relocatable home park* and *tourist park* is well located and offers convenient access to the services and facilities required to support residents' and travellers' needs;
 - (b) a *relocatable home park* and *tourist park* provides high quality amenities and facilities commensurate with its setting, the types of accommodation supplied and the length of stay accommodated;
 - (c) a *relocatable home park* and *tourist park* is of a scale and intensity that is compatible with the preferred character of the local area;
 - (d) a *relocatable home park* and *tourist park* does not adversely impact on the amenity of rural and residential areas or the viable operation of rural activities; and
 - (e) a *relocatable home park* and *tourist park* is provided with appropriate utilities and services.

9.3.13.3 Performance outcomes and acceptable outcomes

Table 9.3.13.3.1 Performance outcomes and acceptable outcomes for assessable development

Performance Outcomes		Acceptable	Outcomes
Design a	nd Layout		
PO1	The design and layout of the <i>relocatable home park</i> or <i>tourist park</i> ensures that residents and guests are provided with a high quality living environment.	AO1	The design and layout of the <i>relocatable</i> home park or tourist park complies with the Acceptable Solutions in the <i>Guidelines on Good Design for Caravan</i> Parks and Relocatable Home Parks 1997, published by the Department of Communication and Information, Local Government, Planning and Sport. Note—where the provisions of this code (from AO2 onwards) are different to the <i>Guidelines</i> on <i>Good Design for Caravan Parks and</i> <i>Relocatable Home Parks</i> 1997, the provisions of this code prevail.
Location	and Site Suitability		
PO2	 The relocatable home park or tourist park is located so that residents and guests have convenient access to:- (a) tourist attractions; (b) everyday commercial, community and recreation facilities; and (c) public transport services. 	AO2	No acceptable outcome provided.
PO3	The relocatable home park or tourist	AO3.1	The relocatable home park or tourist park

Perform	ance Outcomes	Acceptable	Outcomes
	park is located on a site:-	Acceptable	site:-
	 (a) which has an area and dimensions capable of accommodating a well- designed and integrated facility; and (b) is reasonably accessible from the <i>major road</i> network. 		 (a) is at least 2 hectares in area in the case of a <i>caravan park</i> or at least 4 hectares in area in the case of a <i>relocatable home park</i>; and (b) has a road <i>frontage</i> of at least 20 metres.
Resident	tial Amenity and Landscapes	AO3.2	 Roads to which the <i>site</i> has <i>access</i>:- (a) have a minimum reserve width of 20 metres; (b) in an urban area, are fully constructed with kerb and channel and bitumen paving for the full <i>frontage</i> of the <i>site</i>; (c) in a rural area, are constructed to an acceptable all weather standard; and (d) are capable of accommodating any projected increase in traffic generated by the development.
PO4	The <i>relocatable home park</i> or <i>tourist park</i> does not impact on the amenity of adjoining or nearby residential areas.	AO4.1	A 1.8 metre high solid screen fence is provided for the full length of any property boundary adjoining an existing residential use or land included in a <i>residential zone</i> .
		AO4.2	A 3 metre wide landscape strip is provided to the front, side and rear property boundaries of the <i>site</i> .
		AO4.3	Pools and other potentially noisy activities or mechanical plant are not located where they adjoin an existing residential use.
	and Separation	1	
P05	A reasonable level of privacy and separation is available to all residents within the <i>relocatable home park</i> or <i>tourist park</i> .	AO5.1	 Individual relocatable home sites:- (a) are at least 200m² in area; (b) are <i>setback</i> at least 6 metres from any external road <i>frontage</i>; (c) have a minimum boundary width to any internal accessway of 10 metres; and (d) are clearly delineated and separated from adjoining sites by trees or shrubs.
		AO5.2	Relocatable homes are not sited within 1.5 metres of the side and rear boundaries or within 3 metres of the front boundary of the individual relocatable home site.
		AO5.3	 Individual caravan, cabin and camp sites:- (a) are set back at least 12 metres from any external road <i>frontage</i> and 5 metres from any other property boundary; (b) are sited such that no part of any caravan or tent is within 3 metres of any other caravan, tent, cabin or building; (c) have a frontage of at least 10 metres to any internal accessway; (d) are clearly delineated and separated from adjoining sites by trees or

Pertorme	ince Outcomes	Acceptable	Outcomes
Fenonna	ince Outcomes	Acceptable	shrubs;
			(e) contain a clear area of at least 2.5 metres by 2.5 metres for outdoor
			space; and (f) ensure that no part of any caravan,
Posidont	ial Density		cabin or tent is within 2 metres of any internal accessway.
PO6	The relocatable home park or tourist	A06	The maximum site density for the
FOU	park has a residential density that is compatible with the preferred character of the local area in which it is located.	A00	relocatable home park or tourist park does not exceed 30 relocatable home or caravan sites per hectare.
			OR
			The total number of cabins within a <i>tourist park</i> does not exceed 1 cabin for every 3 caravan sites.
	onal Open Space		
PO7	The <i>relocatable home park</i> or <i>tourist park</i> provides recreational open space that is:-	AO7.1	A minimum of 20% of the total site area, exclusive of landscape strips, is provided as recreational open space.
	 (a) provided to meet the needs of all residents; and (b) designed to promote resident safety through casual surveillance. 	A07.2	A minimum of 50% of the required open space area is provided in one area.
		A07.3	 Recreational open space:- (a) has a minimum dimension of 15 metres; (b) contains one area at least 150m² in size; (c) is independent of landscape strips and clothes drying areas; (d) is located not more than 80 metres from any caravan, tent or cabin site or 150 metres from any relocatable home site; and (e) includes a fenced children's playground.
		A07.4	A communal recreation building is provided for the use of residents.
	ess and Parking	408.4	
PO8	The design and management of <i>access</i> , visitor parking and short term standing arrangements:- (a) facilitates the safe and convenient	AO8.1	Excluding any emergency access points, vehicle <i>access</i> is limited to 1 major entry/exit point on 1 road <i>frontage</i> .
	 (a) labilitates the sale and convenient use of the <i>relocatable home park</i> or <i>tourist park</i> by residents and visitors; and (b) minimises the demand upon external roads and other public 	AO8.2	Visitor parking is located with direct access to the entry driveway and is located and sign-posted to encourage visitor use.
	spaces for car parking associated with the use.	AO8.3	For a <i>tourist park</i> , a short term standing area with a minimum dimension of 4 metres by 20 metres is provided either as a separate bay or as part of a one-way entrance road.
		AO8.4	No caravan or relocatable home site has direct <i>access</i> to a public road.
	Access and Circulation		
PO9	The design and management of internal vehicle and pedestrian access, parking and vehicle movement on the <i>site</i> facilitates the safe and convenient	AO9	The design of internal access roads and footpaths and the location of visitor parking areas complies with the following:-

Performa	ance Outcomes	Acceptable	Outcomes
Amenitie	use of the relocatable home park or tourist park.		 (a) vehicular access to each site is via shared internal accessways which are designed to provide safe, convenient and efficient movement of vehicles and pedestrians; (b) accessways are designed to discourage vehicle speeds in excess of 15km/hr; (c) the accessway and footpath system together provide adequate access for service and emergency vehicles to each site and connect sites with amenities, recreational open space and external roads; (d) internal accessways comply with the following: (i) carriageway width is not less than 6 metres for two way traffic and not less than 4 metres for one way traffic; (ii) the verge width on both sides is not less than 1.5 metres; (iii) culs-de-sac have turning bays at the end capable of allowing conventional service trucks to reverse direction with maximum of two movements; (iv) all internal roads are sealed to the carriageway widths stated above; and (v) internal footpaths may be accommodated within the carriageway of internal accessways serving 10 sites or less).
P010	Caravan, tent and cabin sites are provided with adequate access to amenities for day-to-day living.	AO10.1 AO10.2	 Except where private facilities are provided to each site, toilet, shower and laundry amenities are located:- (a) within 100 metres of every caravan, tent or cabin site; and (b) not closer than 6 metres to any caravan, tent or cabin site. Laundry and clothes drying facilities are provided for guests.
	al requirements for a Relocatable Home	Park For Ret	irement Housing
Location PO11	and Site Suitability The relocatable home park is located	A011	The relocatable home park is located on
	 The relocatable nome park is located so that residents have convenient access to:- (a) everyday commercial facilities; (b) community facilities and social services; and (c) regular public transport or facility specific transport that provides a comparable or better level of service. 		 The relocatable home park is located on a site within 400 metres walking distance of an activity centre or a public transport stop. OR Where a relocatable home park is not located close to an activity centre or a public transport stop, a regular, convenient and affordable transport service is provided for residents of the relocatable home park to the nearest activity centre or public transport connection.

Performa	ance Outcomes	Acceptable	Outcomes
Accessit	bility		
PO12	The <i>relocatable home park</i> provides for easy and safe pedestrian and bicycle access and movement.	AO12.1	No relocatable home site is more than 250 metres walking distance from the site entry or exit point.
		AO12.2	All pathways and land used for outdoor recreation have grades of 5% or less, with paths having hard, slip resistant surfaces.
		AO12.3	Paths and ramps external to buildings are capable of accommodating two wheelchairs (side by side) at any one time.
		AO12.4	Development complies with Australian Standard AS1428 – Design for Access and Mobility.
PO13	A <i>relocatable home park</i> is serviceable by ambulance and for medical treatment and fire-fighting in	AO13.1	On-site 24 hour emergency service call facilities are available.
	emergency situations.	AO13.2	An emergency evacuation plan is prepared, and clearly displayed.
Addition		or Caravan P	ark Associated with a Showground Use
PO14	Accommodation is provided for short- term stays only.	AO14	Guests stay no more than 7 consecutive nights.

9.3.14 Residential care facility and retirement facility code

9.3.14.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Residential care facility and retirement facility code by the tables of assessment in **Part 5** (Tables of assessment).
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.14.2 Purpose and overall outcomes

- (1) The purpose of the Residential care facility and retirement facility code is to ensure *residential care facilities* and *retirement facilities*:-
 - (a) are appropriately located and integrated with the surrounding community;
 - (b) are designed in a manner which meets the needs of and provides a comfortable, adaptable and safe environment for residents; and
 - (c) protect the neighbourhood character and amenity of surrounding premises.
- (2) The purpose of the Residential care facility and retirement facility code will be achieved through the following overall outcomes:-
 - (a) a *residential care facility* or *retirement facility* is conveniently located and provides for residents to have easy and direct access to public transport and community services and facilities;
 - (b) a *residential care facility* or *retirement facility* provides a home-like, non-institutional environment that promotes individuality, sense of belonging and independence;
 - (c) a residential care facility or retirement facility achieves a balance between providing specialised housing for residents whilst providing the opportunity for residents to participate in the wider community;
 - (d) a *residential care facility* or *retirement facility* is designed to be integrated with the surrounding community;
 - (e) a *residential care facility* or *retirement facility* exceeding the predominant height of surrounding residential development minimises adverse impacts to neighbourhood character and amenity, through appropriate building design and physical separation;
 - (f) a *residential care facility* or *retirement facility* is sited such that there is ease of movement, safety and legibility for residents and visitors; and
 - (g) a *residential care facility* or *retirement facility* is designed such that the comfort, safety, security, individuality, privacy and wellbeing of residents are promoted.

9.3.14.3 **Performance outcomes and acceptable outcomes**

Table 9.3.14.3.1 Performance outcomes and acceptable outcomes for assessable development

Performance Outcomes		Acceptable Outcomes	
Location	and Site Suitability		
PO1	The residential care facility or retirement facility is conveniently located and provides for able bodied residents to have convenient access to:- (a) everyday commercial facilities; (b) community facilities and social services; and	AO1	 The residential care facility or retirement facility is located:- (a) on a site within 800 metres walking distance of an activity centre; or (b) on a site within 400 metres walking distance of a transit station or public transport stop.

Performa	nce Outcomes	Acceptable	Outcomes
Fenonna	(c) regular public transport services.	Acceptable	
Site Area	and Dimensions	I	l
PO2	The residential care facility or	AO2	No acceptable outcome provided
FU2	retirement facility is located on a site	A02	No acceptable outcome provided.
	which has an area and dimensions		
	suitable to enable the development of a		
	well-designed and integrated facility		
	that incorporates:-		
	(a) accommodation and support		
	facilities:		
	(b) vehicle <i>access</i> , parking and		
	manoeuvring;		
	(c) stormwater treatment areas;		
	(d) open space areas and landscapes;		
	and		
	(e) any necessary buffering to		
	adjoining uses or other elements.		
Integratio	on of Large Sites with Neighbourhoods	and Stroot No	tworks
PO3	The residential care facility or	AO3	The residential care facility or retirement
. 03	retirement facility is integrated with the	703	facility:-
	surrounding neighbourhood and local		(a) is connected to and forms part of the
	transport, community facility and open		surrounding neighbourhood rather
	space <i>infrastructure</i> networks.		than establishing as a separate,
			semi–private enclave;
			(b) is integrated with and extends the
			existing or proposed local transport
			network;
			(c) provides for legible and direct
			pedestrian, bicycle and vehicular
			access for all residents to nearby
			existing and planned future activity
			centres, community facilities and
			public open space; and
			(d) clearly defines public, communal
			and private open space.
Resident	ial Density for Retirement Facility		and pintate open opace.
PO4	A retirement facility has a residential	AO4	Except where otherwise specified in a
1 04	<i>density</i> that is compatible with the	704	structure plan or local plan code, the site
	intent of the zone and the preferred		density for a <i>retirement facility</i> :-
	character for the local area in which it		(a) does not exceed 30 equivalent
	is located.		dwellings per hectare where in the
	is located.		
			I OW density residential zone.
			Low density residential zone;
			(b) is between 30 and 50 equivalent
			(b) is between 30 and 50 equivalent dwellings per hectare where in the
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone,
			(b) is between 30 and 50 <i>equivalent</i> <i>dwellings</i> per hectare where in the Medium density residential zone, District centre zone, Local centre
			(b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone
			(b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and
			(b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a
			(b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres;
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone,
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height exceeding 8.5 metres; and
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height exceeding 8.5
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height exceeding 8.5 metres; and (d) is not less than 80 equivalent
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height exceeding 8.5 metres; and (d) is not less than 80 equivalent dwellings per hectare where in the metre in the structures overlay provides for a building height exceeding 8.5 metres; and
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height exceeding 8.5 metres; and (d) is not less than 80 equivalent dwellings per hectare where in the High density residential zone, Major
			 (b) is between 30 and 50 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height of 8.5 metres; (c) is between 50 and 80 equivalent dwellings per hectare where in the Medium density residential zone, District centre zone, Local centre zone or Community facilities zone and the Height of buildings and structures overlay provides for a building height exceeding 8.5 metres; and (d) is not less than 80 equivalent dwellings per hectare where in the High density residential zone, Major

Performa	Performance Outcomes Acceptable Outcomes			
	Scale, Bulk and Streetscape Appearance			
PO5	 Scale, Bulk and Streetscape Appearance The residential care facility or retirement facility is sited and designed in a manner which:- (a) results in a building scale that is compatible with surrounding development; (b) does not represent an appearance of excessive bulk to adjacent premises, the streetscape or other areas external to the site; (c) maximises the retention of existing vegetation and allows for spaces and landscapes between buildings; (d) allows sufficient area at ground level for private and communal 	AO5.1	 Except where otherwise specified in a structure plan or local plan code, the <i>site cover</i> of a building or buildings does not exceed:- (a) 50% where a single <i>storey</i> form of development; or (b) 40% where a multi-storey form of development. Building bulk is reduced by incorporating a combination of the following elements in building design:- (a) verandahs; (b) recesses; (c) variation in materials, colours, and/or textures, including between levels; 	
	 open space, site facilities, resident and visitor parking, landscapes and maintenance of a residential <i>streetscape</i>; and (e) facilitates on-site stormwater management and vehicle access. 	AO5.3	and (d) variation/graduation in building form. The length of any unarticulated elevation of a building, fence or other structure visible from the street does not exceed 15 metres.	
		AO5.4	Any building does not exceed 40 metres in length, with separation of at least 6 metres between buildings, for the purposes of cross ventilation, minimising bulk and scale, articulation and access to light.	
PO6	 The residential care facility or retirement facility is designed to:- (a) take account of its setting and site context; (b) create an attractive living environment for residents; (c) provide generous setbacks for multi-storey development, to protect the neighbourhood character and amenity of surrounding residential development; and (d) make a positive contribution to the character of the street and local area. 	AO6.1 AO6.2 AO6.3 AO6.4	 The residential care facility or retirement facility incorporates a high standard of facility design that is responsive to the specific needs of its residents. Buildings are oriented to the street and provide casual surveillance of the street. Buildings and structures are setback a minimum of:- (a) 6 metres from the road boundary of the site; and (b) 3 metres from the side and rear boundaries of the site; or (c) where a building greater than 2 storeys in height is proposed, a distance equal to the height of the building, from the side and rear boundaries of the site. Note—where located in the High density residential zone, Principal centre zone, Major centre zone or District centre zone and where a building greater than 2 storeys is proposed, setbacks are in accordance with the Multi-unit residential uses code. Screening of balconies is limited to the side and rear boundaries, and the sides of balconies where needed, to prevent noise and overlooking of other rooming units or dwellings and recreation areas.	
		AO6.5	Services structures and mechanical plant are screened or designed as part of the	

Performa	ince Outcomes	Acceptable	Outcomes
			building.
P07	The site layout and design of buildings forming part of the residential care facility or <i>retirement facility</i> promotes legibility, individuality and sense of belonging.	A07.1	Rooming units and dwellings are configured in clusters with each cluster having a clearly defined street address or access corridor and each rooming unit and dwelling having clearly defined private open space and a prominent front door.
		A07.2	Clusters of <i>rooming units</i> and <i>dwellings</i> are supported by unique design features that help identify and individualise them and assist residents and visitors to easily find their way.
0		AO7.3	Logical, direct and separated pedestrian and vehicle routes are provided between <i>rooming units</i> and <i>dwellings</i> , communal buildings and other on-site facilities and facilities in the neighbourhood.
Open Spa PO8	ace and Landscapes The residential care facility or retirement facility incorporates communal and private open space areas and landscapes that provides:- (a) sufficient spaces, including a range in type and scale of spaces, for residents to engage in and enjoy outdoor activities; (b) community gardens and or edible landscape elements; and (c) an attractive sub-tropical setting for the development that is able to be appreciated by residents. 	A08.1 A08.2 A08.3	 At least 20% of the area of the site is provided as communal and private open space, exclusive of required setbacks and buffers, with:- (a) each ground floor dwelling having a courtyard or similar private open space area, not less than 20m² and with a minimum dimension of 3 metres, directly accessible from the living area of the dwelling; (b) each dwelling above ground level having a balcony or similar private open space area, not less than 10m² and with a minimum dimension of 2.5 metres, directly accessible from the living area of the dwelling; and (c) each nursing care rooming unit having direct access to, or a view of, a landscape communal open space area. A landscape strip at least 3 metres wide is provided within the boundaries of the site, adjacent to the full frontage of the site. Landscapes incorporate community gardens, edible landscape elements and a range of plant species that provide interest through variations in colour, texture and form, seasonal changes, and
PO9	Fences and walls used in landscapes for the <i>residential care facility</i> or <i>retirement facility:-</i> (a) assist the development to address	AO9.1	the creation of spectacular floral displays. A 1.8 metre high solid screen fence is provided along the full length of all side and rear boundaries of the <i>site</i> .
	 the street; (b) enable the use of <i>private open space</i> abutting the street; (c) provide an acoustic barrier for traffic noise; 	AO9.2	Unless required to ameliorate traffic noise or headlight glare, high solid fences or walls are avoided along street <i>frontages</i> .
	 (d) highlight site and building entrances; (e) maintain safety and opportunities for casual surveillance; and 	AO9.3	Front fences and walls have a maximum height of not more than:- (a) 1.8 metres if 50% transparent; or (b) 1.2 metres if solid.

Performa 4 1	nce Outcomes	Acceptable	Outcomes
	(f) do not unduly impact upon the	-	
	amenity of the site or surrounding	AO9.4	Front fences and walls are setback
	premises.		behind the 3 metre wide landscape strip.
	nent, Social and Care Facilities		1
PO10	The residential care facility or retirement facility provides appropriate management, supervised care and social and recreational facilities to support and meet the needs of residents of the facility.	AO10.1	 The residential care facility or retirement facility provides management facilities, supervised care facilities and social and recreational facilities in the form of:- (a) a live-in manager's residence and office; (b) 24 hour nursing station and/or 24 hour monitored alert system; (c) communal dining room; (d) communal indoor social/recreation space; and (e) a diversity of informal indoor and outdoor social spaces (including spaces suitable for entertaining visiting family members and friends).
		AO10.2	Communal buildings are easily accessible and centrally located, and residents are able to easily navigate the <i>site</i> on foot or with the assistance of mobility aids.
Accessib		-	
PO11	The <i>residential care facility</i> or <i>retirement facility</i> incorporates easy and safe pedestrian access and movement.	AO11.1	No <i>dwelling</i> or <i>rooming unit</i> is more than 250 metres walking distance from a site entry or exit point, or any central community facilities building.
		AO11.2	All pathways and land used for outdoor recreation have grades of 5% or less, with paths having hard, slip resistant surfaces.
		AO11.3	Internal paths, ramps and hallways are capable of accommodating two wheelchairs (side by side) at any one time.
		AO11.4	Buildings exceeding one <i>storey</i> in height incorporate lifts to each level.
	Resilience	40404	The manifestial area for itits an action many
PO12	The residential care facility or retirement facility is able to withstand the effect of severe weather, flooding, bushfire, a period of isolation or essential service <i>infrastructure</i> failure.	AO12.1	The residential care facility or retirement facility has access to a reliable alternative power supply in the event of prolonged power outage or disconnection from grid supplied electricity.
	Note—the preferred approach is to avoid the establishment of <i>residential care facilities</i> and <i>retirement facilities</i> in areas at risk from natural hazards.	AO12.2	The residential care facility or retirement facility is designed, constructed and operated so as to allow mobility impaired residents and staff to take shelter on site during a cyclone, severe storm, flood event or any other event interfering with the normal operations for a period of up to seven (7) days.
		AO12.3	Within a <i>retirement facility</i> , there is a designated community safe place which is designed so that residents can take shelter from severe weather, cyclones, floods or bushfire.
		AO12.4	There are alternative accesses to a

Performa	Performance Outcomes		Outcomes
		40495	residential care facility or retirement facility for emergency services in the event of flood or fire.
		AO12.5	A Site Evacuation Plan with practical and reliable arrangements for the evacuation of all persons on-site to the nearest activity centre is prepared.
Caravan	Recreation Vehicle (RV)/Boat Storage		
PO13	The retirement facility provides sufficient dedicated storage area to accommodate residents' caravans, recreational vehicles (RVs), boats and the like.	AO13	Where located on a <i>site</i> exceeding one (1) hectare, <i>retirement facilities</i> provide a caravan/recreational vehicle (RV)/boat storage area capable of accommodating one (1) caravan/RV/boat space per 5 <i>dwellings</i> .



9.3.15 Rural industries code

9.3.15.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Rural industries code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The acceptable outcomes in Table 9.3.15.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.15.2 Purpose and overall outcomes

- (1) The purpose of the Rural industries code is to ensure rural industries *a*re established in a manner that:-
 - (a) supports local rural activities;
 - (b) conserves the productive characteristics of rural land; and
 - (c) protects environmental and landscape values and the amenity of surrounding premises.
- (2) The purpose of the Rural industries code will be achieved through the following overall outcomes:-
 - (a) rural industries are established in a manner that complements and supports local rural activities; and
 - (b) rural industries are located and designed so as not to adversely impact upon rural amenity, visual character and the environment.

9.3.15.3 Performance outcomes and acceptable outcomes

Table 9.3.15.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development

Performa	ince Outcomes	Acceptable	Outcomes
Requiren	nents for a Roadside Stall		
PO1	The <i>roadside stall</i> is limited in scale, appropriate to a rural setting and provides only for the sale of locally grown and manufactured goods.	AO1.1	Produce sold at the <i>roadside stall</i> is limited to that which is grown or produced on the <i>site</i> or in the surrounding area.
	g	AO1.2	The <i>roadside stall</i> does not involve the sale of manufactured goods other than where manufactured on the <i>site</i> .
		A01.3 A01.4	 Buildings and structures associated with the <i>roadside stall</i>:- (a) do not exceed a maximum <i>building height</i> of 8.5 metres; (b) occupy a <i>gross floor area</i> of not more than 40m²; and (c) are temporary, mobile, or constructed of materials that can easily be dismantled following the cessation of the use.
			The <i>roadside stall</i> is <i>ancillary</i> to a rural use conducted on the same <i>site</i> .
PO2	The <i>roadside stall</i> does not have an adverse impact on the safety and functioning of the road network.	AO2.1	The <i>roadside stall</i> is located on a <i>site</i> adjoining a road other than a highway/motorway or arterial road

Performa	ance Outcomes	Acceptable	Outcomes
			identified on Figure 9.4.8A (2031 Functional Transport Hierarchy).
		AO2.2	The <i>roadside stall</i> is located on a <i>site</i> with sufficient area to park 3 cars clear of the road reserve and within 20 metres of the roadside stall.
PO3	Signage associated with the <i>roadside stall</i> is small, unobtrusive and appropriate to a rural location.	AO3	 Not more than 1 sign is erected on the premises and the sign:- (a) has a maximum <i>signface area</i> of 0.5 metres per side; and (b) is not illuminated or in motion.
	nents for a Rural Industry		
	f Buildings	101	
PO4	Buildings associated with the <i>rural</i> <i>industry</i> have a scale compatible with the rural landscape character and do not adversely impact on the amenity of surrounding premises, having regard to:- (a) overshadowing; (b) privacy and overlooking; (c) views and vistas; (d) building appearance; and (e) building massing and scale.	AO4	Buildings associated with the <i>rural</i> <i>industry</i> do not exceed a maximum <i>building height</i> of 12 metres.
Relation	ship to Primary Rural Use		
PO5	The <i>rural industry</i> is appropriate to a rural setting and provides only for the storage, processing and packaging of locally grown produce.	AO5.1	Produce packed or processed is limited to that which is grown on the <i>site</i> or in the surrounding area.
		AO5.2	The <i>rural industry</i> is <i>ancillary</i> to a rural use occurring on the same <i>site</i> .
Location PO6	and Site Suitability	100	The much induction is leasted and a site with
	The <i>rural industry</i> is located on a <i>site</i> which is of sufficient area to reasonably accommodate the use and limit the likelihood of adverse amenity impacts on surrounding properties.	A06	The <i>rural industry</i> is located on a <i>site</i> with a minimum area of 4 hectares.
	on From Sensitive Land Uses and Setba		
P07	 The <i>rural industry</i> is setback from <i>sensitive land uses, site</i> boundaries and road frontages to.:- (a) protect the amenity of surrounding premises; (b) protect the rural landscape and visual character of the local area; and (c) provide adequate separation of buildings and structures (including 	A07.1	 Use areas associated with the rural industry are setback a minimum of:- (a) 100 metres from any dwelling on a surrounding property; and (b) 250 metres from any community activity where people congregate (e.g. child care centre, community centre, educational establishment, hospital, place of worship).
	equipment, machinery, storage areas or waste materials) from <i>sensitive land uses</i> .	A07.2	 Buildings and structures associated with the <i>rural industry</i> are <i>setback</i> from all <i>site</i> boundaries, other than road <i>frontages</i>, a minimum of:- (a) 10 metres, where not exceeding a building height of 8.5 metres; or (b) 15 metres, where exceeding a <i>building height</i> of 8.5 metres.
		A07.3	 Buildings and structures associated with the <i>rural industry</i> are <i>setback</i> at least:- (a) 40 metres from a State controlled road; and (b) 20 metres from any other type of road.

Performa	ince Outcomes	Acceptable	Outcomes
	on of Amenity		
PO8	The <i>rural industry</i> does not involve any materials, equipment or processes that	AO8.1	The <i>rural industry</i> avoids or minimises dust emissions.
	are likely to cause nuisance or impact on the rural amenity of the area.	AO8.2	The <i>rural industry</i> avoids or minimises odour emissions.
		AO8.3	The <i>rural industry</i> does not produce noise which exceeds the background noise level plus 5dB(A) from 8.00am – 6.00pm (measured as adjusted sound level) at the <i>site</i> boundaries.
Signage		AO8.4	The <i>rural industry</i> does not involve any activity defined as an environmentally relevant activity in the <i>Environment Protection Regulation 2008</i> .
PO9	Signage associated with the rural	AO9	Not more than 1 sign is erected on the
FOJ	<i>industry</i> is small, unobtrusive and appropriate to a rural location.	A03	 (a) has a maximum <i>signface area</i> of 0.5 metres per side; and (b) is not illuminated or in motion.
Requiren	nents for a Small Scale Transport Depot	in a Rural A	
	and Site Suitability		
PO10	The <i>transport depot</i> is located on a <i>site</i> which is of sufficient area to reasonably accommodate the use and limit the likelihood of adverse amenity impacts on surrounding properties.	AO10	The <i>transport depot</i> is located on a <i>site</i> with a minimum area of 4 hectares.
Separatio	on From Sensitive Land Uses and Setba	cks to Site B	oundaries
PO11	The <i>transport depot</i> is setback from <i>sensitive land uses, site</i> boundaries and road <i>frontages</i> to protect rural amenity and the visual character of the local area.	A011.1	 Use areas associated with the transport depot are set back a minimum of:- (a) 100 metres from any dwelling on a surrounding property; and (b) 250 metres from any community activity where people congregate (e.g. child care centre, community centre, educational establishment, hospital, place of worship).
		AO11.2	Buildings and structures associated with the <i>transport depot</i> are <i>setback</i> a minimum of 10 metres from all <i>site</i> boundaries, other than road <i>frontages</i> .
		AO11.3	 Buildings and structures associated with the <i>transport depot</i> are <i>setback</i> at least:- (a) 40 metres from a State controlled road; and (b) 20 metres from any other type of road.
Traffic In			
PO12	Traffic impacts are no greater than that which might reasonably be expected in a rural location.	AO12.1	The <i>transport depot</i> does not involve the use of a vehicle with a tare weight exceeding 7.5 tonnes.
		AO12.2	Loading or unloading activity is undertaken entirely within the <i>site</i> boundaries.

Perform	ance Outcomes	Acceptable	Outcomes
Addition	al Requirements for a Rural Industry		
	on of Agricultural Land		
PO1	The <i>rural industry</i> is located such that it conserves the productive characteristics of Agricultural Land Classification Class A and Class B.	AO1	The <i>rural industry</i> is not located on Agricultural Land Classification Class A or Class B under the State Planning Policy.
			Note—Agricultural Land Classification Class A and Class B is identified under the State Planning Policy.
			Note—a site specific agricultural land assessment may be used to demonstrate that although the subject <i>site</i> is identified as Agricultural Land Classification Class A or Class B under the State Planning Policy, it is in fact not Agricultural Land Classification Class A or Class B under the State Planning Policy.
Infractor	ature and Services		If such an assessment confirms that that land is not Agricultural Land Classification Class A or Class B (and this is independently verified where necessary), then Performance Outcome PO1 will not be relevant to the development.
	cture and Services	4024	The rural industry is leasted on a site
PO2	The <i>rural industry</i> is located on a <i>site</i> which has appropriate access to necessary <i>infrastructure</i> including:- (a) adequate vehicle <i>access</i> ;	AO2.1	The <i>rural industry</i> is located on a <i>site</i> which has sealed or fully formed gravel road access.
	 (b) a reliable, good quality water supply; and (c) reticulated sewerage or on-site treatment and disposal facilities. 	AO2.2	Where reticulated water is not available, the <i>rural industry</i> is provided with a reliable water supply with capacity to store a minimum of two days supply.
		AO2.3	Where reticulated sewerage is not available to the <i>site</i> , the <i>rural industry</i> is provided with appropriate on-site effluent treatment and disposal facilities.
Environ	nental Management		· ·
PO3	 The <i>rural industry</i> incorporates waste disposal systems and practices which:- (a) ensure that off-site release of contaminants does not occur; (b) ensure no adverse impacts on surface or ground water resources; and (c) comply with relevant industry guidelines, codes of practice and standards applicable to a specific use. 	AO3	No acceptable outcome provided.
PO4	 The <i>rural industry</i> use prevents or manages any discharges of stormwater runoff or wastewater from the <i>site</i> to any <i>waterway</i>, <i>wetland</i>, roadside gutter or stormwater drainage system such that:- (a) no unacceptable levels of sediment, nutrients, chemicals or other pollutants enter a <i>waterway</i> or <i>wetland</i>; and (b) the ecological and hydraulic processes of the <i>waterway</i> or <i>wetland</i> are not adversely 	AO4	No acceptable outcome provided.

Table 9.3.15.3.2 Additional performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
	affected.		
Traffic G	eneration	•	
PO5	Traffic generated by the rural industry	AO5	No acceptable outcome provided.
	on the surrounding road network does		
	not result in unacceptable impacts on		
	adjacent land and road users.		
	ments for Winery		
Bona Fig	de Use		
PO6	The winery is associated with, and	AO6	No acceptable outcome provided.
	ancillary to, a bona fide cropping use		
	located on the same <i>site</i> .		
PO7	Ancillary activities associated with the	A07	Ancillary activities associated with the
	winery are limited to those which are		winery are limited to cellar door sales,
	legitimately associated with a winery.		winery tours and restaurant facilities.
Height o	f buildings		
PO8	Buildings associated with the winery	AO8	Buildings associated with the winery do
	have a scale compatible with the rural		not exceed a maximum building height
	landscape character and do not		of:-
	adversely impact on the amenity of		(a) 8.5 metres where on a lot not
	surrounding premises, having regard		exceeding 4 hectares; or
	to:-		(b) 12 metres where on a lot exceeding
	(a) overshadowing;		4 hectares.
	(b) privacy and overlooking;		
	(c) views and vistas;		
	(d) building appearance; and		
	(e) building massing and scale.		
	and Site Suitability	1	
PO9	The winery is located on a site which	AO9	No acceptable outcome provided.
	has sufficient area to reasonably		
	accommodate the use and limit the		
	likelihood of adverse amenity impacts		
DO 44	on surrounding properties.	10101	
PO10	The <i>winery</i> is sited and designed to avoid or minimise conflict between the	AO10.1	Any public areas associated with the
			<i>winery</i> are set back a minimum of 100 metres from all <i>site</i> boundaries.
	winery and its ancillary uses and:- (a) existing or potential rural uses on		metres nom an site boundaries.
	surrounding properties; or	AO10.2	Any public areas or manufacturing areas
	(b) residential uses on surrounding	A010.2	associated with the <i>winery</i> are set back a
	properties.		minimum of 100 metres from any
	properties.		<i>dwelling</i> on surrounding properties.
Protectio	on of Agricultural Land	I	
P011	The <i>winery</i> is located such that it	A011	The winery:-
	conserves the productive		(a) is not located on Agricultural Land
	characteristics of Agricultural Land		Classification Class A or Class B;
	Classification Class A and Class B.		and
	Classification Class A and Class D.		(b) is separated from Agricultural Land
			Classification Class A and Class B
			and other farm activities such that it
			does not cause a land use conflict
			that would threaten the ongoing
			productive use of the Agricultural
			Land Classification Class A and
			Class B or an established farming
			enterprise.
			Note—Agricultural Land Classification Class A
			and Class B is identified under the State
			Planning Policy.
	1	1	
			Note—a site specific agricultural land
			assessment may be used to demonstrate that
			assessment may be used to demonstrate that although the subject <i>site</i> is identified as
			assessment may be used to demonstrate that although the subject <i>site</i> is identified as Agricultural Land Classification Class A or
			assessment may be used to demonstrate that although the subject <i>site</i> is identified as Agricultural Land Classification Class A or Class B under the State Planning Policy, it is
			assessment may be used to demonstrate that although the subject <i>site</i> is identified as Agricultural Land Classification Class A or

Performa	ance Outcomes	Acceptable	Outcomes
- on on the			Policy.
			If such an assessment confirms that that land is not Agricultural Land Classification Class A or Class B (and this is independently verified where necessary), then Performance Outcome. PO10 will not be relevant to the development.
PO12	The <i>winery</i> is sited and designed to avoid or minimise adverse visual impacts on the rural landscape.	AO12.1	Manufacturing activities associated with the <i>winery</i> , including wine-making and wine-storage activities and any <i>ancillary</i> bottling activities, occur within enclosed buildings.
		AO12.2	Appropriate on-site landscapes are provided around <i>winery</i> buildings, parking areas and other public spaces.
0.1			Editor's note— Section 9.4.2 (Landscape code) sets out requirements for landscapes.
	out, Building Design and Landscapes	AO13.1	
PO13	Buildings and structures associated with the <i>winery</i> :- (a) are designed and landscaped so as to complement the rural character and integrate with the	A013.1	Buildings and structures associated with the <i>winery</i> are <i>setback</i> at least 10 metres from all side and rear property boundaries.
	 surrounding natural landscape; (b) incorporate elements which reflect or interpret the style of, existing buildings in the area; and (c) incorporate colours and finishes that allow the buildings to blend in with the natural and rural 	AO13.2	 Buildings and structures associated with the <i>winery</i> are <i>setback</i> at least:- (a) 40 metres from a State controlled Road; and (b) 20 metres from any other type of road.
	landscape.	AO13.3	 The architectural style and materials used for any new building:- (a) comprise a mix of lightweight and textured external materials such as timber cladding and corrugated iron roofs; and (b) reflect the line, form, colour and texture found in the existing landscape and do not replicate artificial or imported themes.

9.3.16 Rural uses code

9.3.16.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Rural uses code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The acceptable outcomes in Table 9.3.16.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.16.2 Purpose and overall outcomes

- (1) The purpose of the Rural uses code is to ensure rural uses are developed in a sustainable manner which conserves the productive characteristics of rural land and protects environmental and landscape values and the amenity of surrounding premises.
- (2) The purpose of the Rural uses code will be achieved through the following overall outcomes:-
 - (a) rural uses and *intensive rural uses* in the Rural zone are undertaken on a sustainable basis;
 - (b) adverse impacts on the surrounding or downstream environments or natural environmental processes are avoided;
 - (c) agricultural land class A and class B is conserved and not alienated or encroached upon by incompatible land uses; and
 - (d) *intensive rural uses* are established on suitable sites where environmental and amenity impacts can be effectively managed.

9.3.16.3 **Performance outcomes and acceptable outcomes**

Table 9.3.16.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
Height o	f buildings		
P01	Buildings associated with the rural use have a scale compatible with the rural landscape character and do not adversely impact on the amenity of surrounding premises, having regard to:- (a) overshadowing; (b) privacy and overlooking; (c) views and vistas; (d) building appearance; and (e) building massing and scale.	A01	 Buildings associated with the rural use do not exceed a maximum <i>building height</i> of:- (a) 8.5 metres on a lot not exceeding 4 hectares in area; or (b) 12 metres on a lot exceeding 4 hectares in area.
Lot size			
PO2	The rural use is conducted on a lot that is of sufficient size to reasonably accommodate the use and mitigate potential nuisance arising from noise, dust, odour and other emissions or contaminants generated by the use.	AO2	Except where for the grazing of poultry (see Acceptable Outcome AO4 below), or horse stable not associated with another rural use (see Acceptable Outcome AO5.1 below), the rural use is conducted on a <i>site</i> at least 4,000m ² in area.
	s to Property Boundaries and Other Buil		
PO3	Buildings and structures associated with the rural use are sited and designed to:- (a) protect the amenity of surrounding premises;	AO3.1	Buildings and structures associated with the rural use are <i>setback</i> from all <i>site</i> boundaries, other than road <i>frontages</i> , a minimum of:-



Deuferme	0	A	0
Perform	ance Outcomes	Acceptable	Outcomes
	 (b) protect the rural landscape and visual character of the local area; and (a) provide adequate concretion of 		 (a) 10 metres where not exceeding a <i>building height</i> of 8.5 metres; or (b) 15 metres, where exceeding a <i>building height of 8.5 metres</i>
	(c) provide adequate separation of buildings and structures (including equipment, machinery, storage areas or waste materials) from surrounding premises.	AO3.2	 building height of 8.5 metres. Buildings and structures associated with the rural use are setback at least:- (a) 40 metres from a State controlled road; or (b) 20 metres from any other type of road.
Environ	mental Management Generally		1000.
PO4	The rural use is established and managed in accordance with relevant	AO4	No acceptable outcome provided. Editor's note—Environmental Codes of Practice
	industry guidelines, codes of practice and standards, as applicable to the particular use.		prepared under s548 of the <i>Environmental</i> <i>Protection Act</i> 1994 provide guidance for achieving Performance Outcome PO3.
Require	ments for Grazing of Poultry	I	
PO5	 Where a rural use, being animal husbandry, involves the grazing of poultry, the use it is conducted in a manner that:- (a) allows for reasonably free movement of birds; (b) minimises the potential for nuisance arising from noise, dust, odour and other emissions or contaminants generated by the use; and (c) does not adversely impact on natural waterways or wetlands, or downstream receiving environments. 	AO5	 Grazing of poultry:- (a) is conducted on a <i>site</i> not less than 4 hectares in area; (b) has a maximum stock rate of not more than 1,000 birds per hectare; and (c) provides for all stocked areas to be set back at least 100m from any <i>waterway</i> or <i>wetland</i> identified on an applicable Biodiversity, Waterways and Wetlands Overlay Map.
Require	ments for Horse Stables Where Not Asso	ciated with	Another Rural Use
PO6	The amenity of rural, rural residential or residential areas is maintained by the provision of adequate site area for horse stables not associated with	AO6.1 AO6.2	The stable is conducted on a <i>site</i> with a minimum area of 2,000m ² . The maximum number of horses kept is in
	another rural use.		accordance with Table 9.3.16.3.1A (Maximum number of horses). Table 9.3.16.3.1A Maximum number of horses Column 1 Column 2 No. of horses Site area 3 2,000 to 3,000m ²
			1 Per additional 1,000m ² . 1

Table 9.3.16.3.2 Additional performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
Require	ments for Animal Keeping, Aquaculture,	Intensive An	nimal Industry, Intensive Horticulture
Location	and Site Suitability		
PO1	The <i>intensive rural use</i> is located on a <i>site</i> which has sufficient area to accommodate the use (including buildings, pens, ponds, other structures and waste disposal areas involved in the use) and to provide for adequate	A01.1	The <i>intensive rural use</i> is located on a <i>site</i> which has a minimum site area that complies with Table 9.3.16.3.3 (Siting and setback requirements for intensive rural uses).
	setbacks to:- (a) road <i>frontages</i> ; (b) <i>site</i> boundaries; (c) residential uses on surrounding	AO1.2	The use area for the <i>intensive rural use</i> is setback to roads, residential buildings on surrounding land and <i>waterways</i> or <i>wetlands</i> in accordance with the

Perform	ance Outcomes	Acceptable	Outcomes
	land; and		requirements specified in Table 9.3.16.3.3
	(d) waterways or wetlands.		(Siting and setback requirements for intensive rural uses).
PO2	The <i>intensive rural use</i> is located on a <i>site</i> which is sufficiently separated from any existing or planned residential or rural residential area or other <i>sensitive land use</i> to avoid any adverse impacts with regard to noise, dust, odour, visual impact, traffic generation, lighting, radiation or other emissions or contaminants.	AO2	 The intensive rural use is located on a site which is not less than:- (a) 5,000 metres from land included in a residential zone; (b) 1,000 metres from land included in a Rural Residential zone; and (c) 1,000 metres from any community activity where people congregate (e.g. child care centre, community care centre, educational establishment, hospital, place of worship).
			 Note—state and national guidelines also identify measures for achieving appropriate separation between intensive rural industries and <i>sensitive land uses</i>. Compliance with a relevant State or national guideline will be considered to represent achievement of Acceptable Outcome AO2, even where a stated separation distance is not complied with. Examples of state and national guidelines include:- (a) the Queensland Guidelines for Meat Chicken Farms; (b) the Reference Manual for the Establishment and Operation of Beef Cattle Feedlots in Queensland; (c) the Interim Guideline – Sheep Feedlot Assessment in Queensland; and (d) the National Guidelines for Piggeries 2nd Edition.
PO3	The <i>intensive rural use</i> is located on land which has suitable terrain and is sufficiently elevated to facilitate ventilation and drainage.	AO3	No acceptable outcome provided.
PO4	The <i>intensive rural use</i> is located on a <i>site</i> which has appropriate access to necessary <i>infrastructure</i> including:- (a) adequate vehicle <i>access</i> ;	AO4.1	The <i>intensive rural use</i> is located on a <i>site</i> which has sealed or fully formed gravel road access.
	 (b) a reliable, good quality water supply; and (c) reticulated sewerage or on-site treatment and disposal facilities. 	AO4.2	The <i>intensive rural use</i> is provided with a reliable water supply with capacity to store a minimum of two weeks supply.
		AO4.3	Where reticulated sewerage is not available, the <i>intensive rural use</i> is provided with appropriate on-site effluent treatment and disposal facilities.
PO5	Buildings and structures associated with the <i>intensive rural use</i> are sited and designed to avoid or minimise adverse visual impacts on the rural landscape.	AO5	No acceptable outcome provided.
	mental Management		
PO6	 The intensive rural use incorporates waste disposal systems and practices which:- (a) ensure that off-site release of contaminants does not occur; (b) ensure no significant adverse impacts on surface or ground water resources; and (c) comply with any relevant State or national guidelines, codes of practice or standards applicable to a specific use or on-site waste 	AO6	No acceptable outcome provided.

Perform	ance Outcomes	Acceptable	Outcomes
	disposal.		
PO7	The <i>intensive rural use</i> provides for all animals to be effectively contained within the <i>site</i> .	A07	No acceptable outcome provided.
PO8	 The <i>intensive rural use</i> prevents or manages any discharges of stormwater runoff or wastewater from the <i>site</i> to any <i>waterway, wetland,</i> roadside gutter or stormwater drainage system such that:- (a) no unacceptable levels of sediment, nutrients, chemicals or other pollutants enter a <i>waterway</i> or <i>wetland</i>; (b) the ecological and hydraulic processes of the <i>waterway</i> or <i>wetland</i> are not adversely affected; and (c) applicable legislative requirements are met. 	AO8	No acceptable outcome provided.

Column 1 Rural Use	Column 2 Minimum site area	Column 3 Minimum boundary setbacks in metres (m)	Column 4 Minimum distance from a residential building on surrounding land	Column 5 Distance from a wetland or waterway
Animal keeping	4 hectares	50m from any road <i>frontage</i> . 15m from any side or rear boundary.	100 metres	50 metres
Aquaculture	5 hectares	50m from any road <i>frontage</i> . 15m from any side or rear boundary.	100 metres	100 metres
Intensive animal industry (piggery or feedlot)	20 hectares	200m from any road <i>frontage</i> . 15m from any side or rear boundary.	250 metres	100 metres
Intensive animal industry (poultry farm)	50 hectares	100m from any road <i>frontage</i> . 100m from any side or rear boundary.	400 metres	100 metres
Intensive animal industry (emu or ostrich hatching and brooding facility)	4 hectares	60m from any road <i>frontage</i> . 15m from any side or rear boundary.	100 metres	100 metres
Intensive horticulture	10 hectares	50m from any road <i>frontage</i> . 15m from any side or rear boundary.	100 metres	100 metres

Part 9

9.3.17 Sales office code

9.3.17.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Sales office code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The acceptable outcomes in Table 9.3.17.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.17.2 Purpose and overall outcomes

- (1) The purpose of the Sales office code is to ensure *sales offices* are temporary in nature and are developed in a manner which protects the amenity of surrounding premises.
- (2) The purpose of the Sales office code will be achieved through the following overall outcomes:-
 - (a) the siting, layout, design and operation of a *sales office* does not adversely impact upon the character and amenity of the surrounding area; and
 - (b) a *sales office* is operated for a temporary duration only.

9.3.17.3 **Performance outcomes and acceptable outcomes**

Table 9.3.17.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
Operatio	onal Characteristics		
PO1	 The duration of the use of premises for a sales office:- (a) in the case of a display dwelling, display village or estate sales office, does not extend beyond a reasonable period required to construct and complete sales within the residential development or the applicable stage of the residential development; or (b) in the case of dwelling offered as a prize, does not extend beyond a reasonable period of time to allow for promotion of the prize. 	A01	Where a display dwelling, display village or estate sales office, the use operates for a maximum period of 2 years. OR Where a dwelling offered as a prize, the use operates for a maximum period of 3 months.
102	At the cessation of a <i>sales office</i> use involving temporary buildings or structures, the <i>site</i> is left in an appropriate condition.	AU2	Any temporary building or structure associated with the operation of the <i>sales office</i> is removed from the <i>site</i> within 14 days of the end of the period of operation and the <i>site</i> is left in a clean and tidy condition.
PO3	The hours of operation of the <i>sales</i> office does not adversely affect the amenity of nearby residential premises.	AO3	The hours of operation of the <i>sales office</i> do not commence before 8.00am or extend later than 6.00pm.
PO4	The number of employees engaged in the operation of the <i>sales office</i> does not adversely affect the amenity of nearby residential premises.	AO4	Where a display dwelling or estate sales office, a maximum of 2 employees are engaged in the operation of the <i>sales</i> <i>office</i> at any one time. OR
			Where a dwelling offered as a prize, a

Perform	ance Outcomes	Acceptable	Outcomes
Landsca	P05		maximum of 3 employees per display home are engaged in the operation of the <i>sales office</i> at any one time.
		AOE 4	Drivete and nublic energy energy areas
PO5	The <i>sales office</i> incorporates site landscapes and fencing that:-	AO5.1	Private and <i>public open space</i> areas are turfed and landscaped.
	 (a) provides an attractive landscape setting for the enjoyment and appreciation of staff and visitors; (b) integrates the development into the surrounding landscape; (c) effectively defines and screens <i>private open space</i> and service areas; and (d) protects the amenity of adjoining dwellings. 	AO5.2	A 1.8 metre high solid screen fence is provided to each side and rear boundary that has residential uses adjoining.
Parking	and Access		
PO6	Sufficient on-site car parking is provided to satisfy the projected needs of the <i>sales office</i> and is appropriately designed to facilitate ease of use.	AO6	A minimum of 2 (two) on-site car parking spaces are provided for each display dwelling, estate sales office or dwelling offered as a prize.
Public C	onvenience Facilities		
PO7	The <i>sales office</i> provides appropriate public convenience facilities for users of the <i>sales office</i> .	A07	Public toilet facilities are provided for a display village comprising 4 or more display dwellings.

9.3.18 Service station code

9.3.18.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Service station code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.18.2 Purpose and overall outcomes

- (1) The purpose of the Service station code is to ensure *service stations* are developed in appropriate locations and in a manner which meets the needs of users, provides safe *access* and protects the environment and amenity of surrounding premises.
- (2) The purpose of the Service station code will be achieved through the following overall outcomes:-
 - (a) a *service station* is established at a suitable location and on a *site* that is capable of accommodating all necessary and associated activities;
 - (b) a *service station* does not adversely impact upon the amenity of the surrounding local area;
 - (c) a service station incorporates a high standard of built form and landscape design;
 - (d) a service station is provided with safe and convenient access to the road network; and
 - (e) a *service station* incorporates appropriate environmental management measures and minimises the risk of land, ground and surface water contamination.

9.3.18.3 Performance outcomes and acceptable outcomes

Table 9.3.18.3.1 Performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	e Outcomes
Location	n and Site Suitability		
PO1	The service station is located on a site having sufficient area and dimensions to accommodate required buildings and structures, vehicle access and manoeuvring areas and site landscapes and <i>buffer</i> areas.	A01	The service station is located on a site that:- (a) is at least 1,500m ² in area; and (b) has a street <i>frontage</i> of at least 40m.
PO2	The service station is located so that it does not adversely impact upon the amenity of existing or future planned residential areas.	AO2	The service station is located on land included in a centre zone, industry zone or the Specialised centre zone. OR The service station is located in the Rural zone on a major road and at least 15 kilometres from any existing or approved service station on the same trafficable route. OR The service station is located in a designated highway service area.
Siting of	f Building and Structures		
PO3	Buildings and structures associated with the <i>service station</i> are sited so as to:- (a) ensure the safe and efficient use of the <i>site</i> and operation of the facility;	AO3.1	For front boundary <i>setbacks</i> :- (a) fuel pumps and canopies are <i>setback</i> a minimum of 7.5 metres from the property boundary; and

Perform	ance Outcomes	Accentable	Outcomes
	 (b) protect streetscape character; and (c) provide adequate separation to adjoining land uses. 		 (b) all other buildings or structures are setback at least 10 metres from the property boundary.
		AO3.2	For side and rear boundary <i>setbacks</i> , all buildings or structures are <i>setback</i> at least 2 metres from the property boundary.
			OR
0.4			Where adjoining an existing residential use or land included a <i>residential zone</i> , all buildings and structures are <i>setback</i> at least 5 metres from the property boundary.
	Fuel Pumps and Bulk Fuel Storage	1011	
PO4	 Fuels pumps and bulk fuel storage tanks are located:- (a) wholly within the <i>site</i>; (b) such that vehicles, while fuelling and refuelling, are standing wholly within 	AO4.1	Fuel pumps are located in accordance with Australian Standard AS1940 – The storage and handling of flammable and combustible liquids.
	 the site and are parked away from entrances and circulation driveways; and (c) a safe distance from all site boundaries. 	AO4.2	Fuel pumps are located such that vehicles while refuelling are standing wholly within the <i>site</i> and are parked away from entrances and circulation driveways.
		AO4.3	Bulk fuel storage tanks are situated no closer than 8 metres to any road <i>frontage</i> .
Site Acc	055	AO4.4	Inlets to bulk fuel storage tanks are located to ensure that tankers, while discharging fuel, are standing wholly within the <i>site</i> and are on level ground.
PO5	The service station:-	AO5.1	Land is dedicated as road where the
100	 (a) does not impair traffic flow or road safety; and (b) facilitates, through the design and arrangement of vehicular 	A00.1	<i>Council</i> or the State government requires land for road widening, corner truncation or for acceleration or deceleration lanes.
	crossovers, safe and convenient movement to and from the <i>site</i> .	AO5.2	Separate entrances to and exits from the <i>site</i> are provided, and these are clearly marked for their intended use.
		AO5.3	Reinforced industrial crossovers are constructed to provide suitable <i>access</i> for fuel delivery vehicles.
		AO5.4	Vehicle crossovers are at least 8 metres wide.
Environ	mental Performance	AO5.5	 No part of a vehicle crossover is closer than:- (a) 14 metres from any other vehicle crossover on the same <i>site</i>; (b) 12 metres from an intersection; and (c) 3 metres from any property boundary.
		AOE 1	Socied imponsions curfages are president
PO6	The <i>service station</i> is designed and constructed so as to ensure that on-site operations:- (a) do not cause any environmental	AO6.1	Sealed impervious surfaces are provided in areas where potential spills of contaminants may occur.
	nuisance or harm;	AO6.2	Grease and oil arrestors or other

Perform	ance Outcomes	Acceptable	e Outcomes
	 (b) do not result in the release of untreated pollutants; and (c) achieve acceptable levels of stormwater run-off quality and quantity. 		<i>infrastructure</i> is provided to prevent the movement of contaminants from the site.
PO7	Automatic mechanical carwash facilities (where provided) are designed to collect, treat and recycle waste water for reuse.	A07	No acceptable outcome provided.
PO8	 The collection, treatment and disposal of solid and liquid wastes ensures that:- (a) off-site releases of contaminants do not occur; and (b) measures to minimise waste generation and to maximise recycling are implemented. 	AO8	No acceptable outcome provided.
	on of Residential Amenity		
PO9	The <i>service station</i> ensures the amenity of existing or planned residential areas is protected and noise, light or odour nuisance is avoided.	AO9	 Where the service station adjoins a residential use or land included in a residential zone:- (a) a 2 metre high solid screen fence is provided along all common property boundaries of the site; and (b) the hours of operation of the service station are limited to between 7.00am to 10.00pm.
Landsca	apes		
PO10	The service station incorporates landscapes that soften the development and contribute to the development	AO10.1	At least 10% of the <i>site</i> area is provided as landscape area.
	providing an attractive appearance.	AO10.2	A minimum 2 metre wide landscape strip is provided along each street <i>frontage</i> and common property boundary of the <i>site</i> .
On-site	Amenities		
P011	Customer air and water facilities, and any automatic mechanical car washing facilities, are located such that:- (a) vehicles using, or waiting to use, such facilities are standing wholly within the <i>site</i> ; and (b) an adequate <i>buffer</i> is provided to any adjoining residential use.	A011	No acceptable outcome provided.
	f Retail Sale of Goods	1010	The surger floor over used (
PO12	The associated sale of goods, including food stuffs, is <i>ancillary</i> to the provision of fuel and automotive repairs and service.	AO12	The <i>gross floor area</i> used for the associated retail sale of goods is limited to 150m ² .

9.3.19 Sport and recreation uses code

9.3.19.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Sport and recreation uses code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.19.2 Purpose and overall outcomes

- (1) The purpose of the Sport and recreation uses code is to ensure sport and recreation uses are developed in appropriate locations, meet the needs of users and protect the amenity of surrounding premises.
- (2) The purpose of the Sport and recreation uses code will be achieved through the following overall outcomes:-
 - (a) sport and recreation uses are established in appropriate locations that provide convenient access for users;
 - (b) sport and recreation uses are located and designed so as to be compatible with the preferred character of the local area;
 - (c) sport and recreation uses involving the establishment of major facilities provide high quality buildings, structures and facility design;
 - (d) sport and recreation uses do not have an adverse impact upon the amenity of existing or proposed future residential areas or neighbouring premises; and
 - (e) sport and recreation uses provide *access*, car parking, public transport and other services and utilities commensurate with the scale and nature of the use.

9.3.19.3 Performance outcomes and acceptable outcomes

Table 9.3.19.3.1 Performance outcomes and acceptable outcomes for assessable development

Perforn	nance Outcomes	Acceptable	e Outcomes
Locatio	n and Facility Design		
PO1	 The sport and recreation use is located and designed so as to be:- (a) convenient to users; and (b) compatible with the preferred character of the local area. 	A01	No acceptable outcome provided.
PO2	 The sport and recreation use:- (a) is effectively designed to meet the needs of users, having regard to the scale and nature of the use; (b) has buildings and structures that are fit for purpose; and (c) in the case of a major sport, recreation and entertainment facility, has buildings and structures that incorporate passive design responses that acknowledge and reflect the region's sub-tropical climate. 	AO2	No acceptable outcome provided.
PO3	The sport and recreation use ensures that mechanical plant and equipment and storage areas associated with the use are designed and screened so as to provide an attractive address to streets and adjoining properties.	AO3	No acceptable outcome provided.

Performance Outcomes		Acceptable Outcomes				
Road Sy	Road System and Public Transport					
PO4	The surrounding road system is capable of accommodating the additional traffic generated by the sport and recreation use without adverse impacts.	AO4	No acceptable outcome provided.			
PO5	The sport and recreation use provides for public transport facilities and services, where required, to accommodate the needs of users, having regard to the scale and nature of the use.	AO5	No acceptable outcome provided.			
	Additional Requirements for Outdoor Sport and Recreation and Major Sport, Recreation and Entertainment Facility					
PO6	 Any structure associated with the use does not result in a significant loss of amenity for surrounding development, having regard to:- (a) the extent and duration of lighting and overshadowing; (b) privacy and overlooking impacts; (c) impacts on views and vistas; and (d) the scale of the structure relative to its surroundings. 	AO6	No acceptable outcome provided.			

9.3.20 Telecommunications facility code

9.3.20.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Telecommunications facility code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

Editor's note-

- (a) this code deals with *telecommunication facilities* involving the erection of a telecommunication tower; and
- (b) development for a *telecommunications facility* that involves studios or offices for broadcasting should be assessed against the Business uses and centre design code as provided for in **Part 5 (Tables of** assessment).

Editor's note—the planning scheme does not apply to *telecommunications facilities* identified as low impact under the *Telecommunications (Low Impact Facilities) Determination 1997.* This includes certain co-located *telecommunications facilities.*

9.3.20.2 Purpose and overall outcomes

- (1) The purpose of the Telecommunications facility code is to ensure *telecommunication facilities* are developed in a manner which protects public health, the environment and the amenity of surrounding premises.
- (2) The purpose of the Telecommunication facility code will be achieved through the following overall outcomes:-
 - (a) a *telecommunications facility* does not adversely affect the amenity of surrounding premises;
 - (b) a *telecommunications facility* is integrated with its natural, rural or townscape setting and does not detract from the visual amenity of scenic routes;
 - (c) a *telecommunications facility* does not adversely impact upon community wellbeing; and
 - (d) a *telecommunications facility* is located with compatible uses and facilities.

9.3.20.3 **Performance outcomes and acceptable outcomes**

Table 9.3.20.3.1 Performance outcomes and acceptable outcomes for assessable development

Performance Outcomes Acceptable Outcomes					
Proximity To Residential Uses and Public Spaces					
PO1	The <i>telecommunications facility</i> is located so as to minimise any adverse impacts on the amenity of nearby residential uses and public spaces.	A01	 The <i>telecommunications facility</i> is located at least:- (a) 400 metres from any residential use, or <i>park</i>; and (b) 20 metres from any public pathway. Editor's note—where a proposal cannot achieve the above separation distances and has demonstrated that there is no suitable alternative location that can achieve these separation distances, a visual impact assessment may be undertaken to demonstrate compliance with PO1. 		
Visual Amenity and Landscape Character					
PO2	The <i>telecommunications facility</i> is integrated with its natural, rural or townscape setting and is not visually dominant or obtrusive.	AO2.1	In partial fulfilment of Performance Outcome PO2 The telecommunications facility:-		
			(a) is of a similar height to surrounding		

Deufeum		Assautable	Outcomes
Perform	ance Outcomes	Acceptable	Outcomes
			 structures or <i>vegetation</i>; (b) has a colour and finish that reduces visual recognition in the landscape; and (c) is unobtrusive when viewed from any scenic route identified on a Scenic Amenity Overlay Map.
		AO 2.2	The <i>telecommunications facility</i> is located at least 1 kilometre from any other existing or approved <i>telecommunications facility</i> .
		AO2.3	Any building associated with the <i>telecommunications facility</i> is <i>setback</i> from any street front boundary a distance at least equal to the front <i>setback</i> required for the adjoining use.
		AO2.4	A 3 metre wide landscape strip is provided between any building associated with the <i>telecommunications facility</i> and any street front boundary or adjoining use.
Health a	nd Safety		
PO3	The <i>telecommunications facility</i> does not cause human exposure to electromagnetic radiation beyond accepted precautionary limits.	AO3	The telecommunications facility is designed and operated to restrict human exposure to electromagnetic radiation in accordance with the:- (a) Radio Communications (Electromagnetic Radiation – Human Exposure) Standard 2003; and (b) Radio Protection Standard for Maximum Exposure Levels to Radiofrequency Fields.
PO4	The <i>telecommunications facility</i> is secure and potential impacts from vandalism are minimised.	A04.1	Security fencing is provided to prevent unauthorised entry to the <i>telecommunications facility</i> .
		AO4.2	Safety and warning signage is displayed where necessary.
	Co-location		
PO5	The <i>telecommunications facility</i> is designed to facilitate co-location with other <i>telecommunication facilities</i> .	AO5	The structural elements of the <i>telecommunications facility</i> are designed to support co-masting or co-siting with other carriers.

9.3.21 Utility code⁶

9.3.21.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Utility code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.3.21.2 Purpose and overall outcomes

- (1) The purpose of the Utility code is to ensure major utilities and other large scale infrastructure uses are provided in a timely, co-ordinated and efficient way and are developed in a manner which protects local communities and the environment.
- (2) The purpose of the Utility code will be achieved through the following overall outcomes:-
 - (a) major utility infrastructure and facilities are provided in a co-ordinated and efficient manner;
 - (b) major utility infrastructure and facilities minimise adverse impacts on the natural environment, important landscape elements and local communities;
 - (c) major utility infrastructure and facilities maximise the efficient use of natural resources, including water and energy; and
 - (d) major utility infrastructure and facilities does not adversely impact upon community wellbeing.

9.3.21.3 Performance outcomes and acceptable outcomes

Table 9.3.21.3.1 Performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes			
Location	Location and Site Suitability					
PO1	The utility is located and sited such that:-	AO1.1	The utility is established on a <i>site</i> that is well located such that it can efficiently			
	(a) it is well placed relative to the infrastructure network that is	4012	service the supply or distribution network.			
	services; (b) opportunities for cost efficiencies and reduction in environmental and	AO1.2	Where practicable, the utility is co-located with another utility of a similar or compatible type.			
	 social impacts are maximised; and (c) a high standard of accessibility is available for maintenance purposes 	AO1.3	The utility is located in a position where it can be easily accessed for maintenance			
Vieual A	and at times of emergency.		purposes or at times of emergency.			
PO2	Visual Amenity and Landscape Character PO2 The utility is sited and designed to:- AO2 No acceptable outcome provided.					
FUZ	The utility is sited and designed to:- (a) minimise adverse visual impacts beyond the boundaries of the <i>site</i> ; and	AUZ	No acceptable outcome provided.			
	(b) minimise adverse impacts on the amenity of nearby residential, community or other sensitive land uses.					
PO3	The utility provides an attractive street front address with unsightly elements screened from view by walls, landscapes and natural features.	AO3	No acceptable outcome provided.			

⁶ Editor's note—the *Planning Scheme Policy for the Utility code* provides guidance in relation to satisfying certain outcomes of this code, including information that may be required to support an application for a *renewable energy facility* or other major *utility installation*.

Perform	ance Outcomes	Acceptable	Outcomes	
	Water, Energy and Waste Use Efficiency			
PO4	 The utility is designed, constructed and operated in a manner that:- (a) minimises energy use and greenhouse gas emissions; (b) minimises the use of water; and (c) maximises the re-use and recycling of by-products associated with the operation of the utility. 	A04	No acceptable outcome provided.	
Building	Siting and Design			
PO5	The siting and design of any buildings or structures associated with the utility reflects the setting and character of the local area in which the facility is located.	AO5	No acceptable outcome provided.	
Health a	nd Safety			
PO6	Public access is discouraged to those parts of the utility that pose a health or safety risk.	AO6.1	Security fencing is provided to prevent unauthorised entry to the utility.	
		AO6.2	Safety and warning signage is displayed where necessary.	
	nended Flood Level for Essential Commu			
PO7	The functioning of a utility that is essential community infrastructure is maintained during and immediately after flood and storm tide inundation events. Editor's note—essential community infrastructure is defined in Schedule 1 (Definitions).	AÕ7	 A utility that is essential community infrastructure:- (a) is located, designed and constructed in accordance with the recommended flood levels specified in Table 8.2.7.3.3 (Flood levels and flood immunity requirements for development and infrastructure) of the Flood hazard overlay code; and (b) ensures that any components of the infrastructure that are likely to fail or function, or may result in contamination when inundated by floodwaters (e.g. electrical switchgear and motors, water supply pipeline air valves) are:- (i) located above the recommended flood level; or (ii) designed and constructed to exclude floodwater intrusion/infiltration. 	

9.4 Other development codes

9.4.1 Advertising devices code

9.4.1.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Advertising devices code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) The acceptable outcomes in Table 9.4.1.4.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) and the specified requirements in Table 9.4.1.4.2 (Specific requirements for types of advertising devices) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.1.2 Purpose and overall outcomes

- (1) The purpose of the Advertising devices code is to ensure that *advertising devices* are established in a manner which is consistent with the desired character and amenity of the Sunshine Coast.
- (2) The purpose of the Advertising devices code will be achieved through the following overall outcomes:-
 - (a) an *advertising device* complements, and does not detract from, the desirable characteristics of the natural and built environment in which the *advertising device* is exhibited;
 - (b) an *advertising device* is designed and integrated into the built form so as to minimise visual clutter;
 - (c) an *advertising device* does not adversely impact on the visual amenity of a scenic route, high scenic area, heritage or character area or *public open space*;
 - (d) an *advertising device* does not adversely impact on the amenity of rural, rural residential or residential areas;
 - (e) an *advertising device* does not pose a hazard for pedestrians, cyclists or drivers of motor vehicles; and
 - (f) an *advertising device* accommodates the legitimate need to provide directions and business identification in a manner that is consistent with achieving overall outcomes (a) to (e) above.

9.4.1.3 Description of advertising devices⁷

Various types of advertising device are described and illustrated below.

Table 9.4.1.3.1Wall or façade sign types

Advertising device type	Written description	Illustration	
Business name	An advertising device intended to display the name or	See Figure 9.4.1A	
plate	e occupation of the business occupant, whether painted or otherwise affixed to a building wall, fence or freestanding.		
Façade sign	An <i>advertising device</i> painted or otherwise affixed to the façade of a building.	See Figure 9.4.1A	
Flush wall sign	An <i>advertising device</i> painted on or otherwise affixed flat to the wall of a building.	See Figure 9.4.1A	
Hamper sign	An advertising device painted or otherwise affixed above the	See Figure 9.4.1A	

⁷ Editor's note—other terms used in the Advertising devices code, including the terms 'signface area' and 'third party advertising device', are defined in Schedule 1 (Definitions).

Advertising device type	Written description	Illustration
	door head and below the awning level or verandah of a building.	
Projecting sign	An <i>advertising device</i> attached and mounted at right angles to the façade of a building.	See Figure 9.4.1A
Stallboard sign	An <i>advertising device</i> painted or otherwise affixed below the ground storey window of a building.	See Figure 9.4.1A
Window sign	An <i>advertising device</i> painted or otherwise affixed to the exterior or inner surface of the glazed area of a window. The term does not include product displays or showcases.	See Figure 9.4.1A

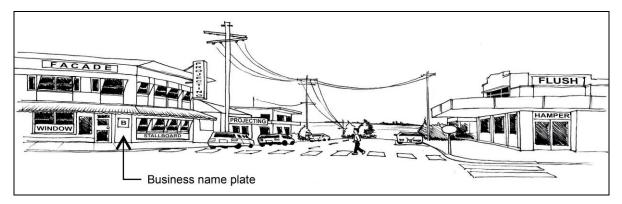


Table 9.4.1.3.2 Awning sign types

Advertising device type	Written description	Illustration
Above awning sign	An advertising device located on top of an awning or verandah.	See Figure 9.4.1B
Awning face sign	An <i>advertising device</i> painted on or otherwise attached to the front or end face of an awning or canopy structure.	See Figure 9.4.1B
Blind sign	An <i>advertising device</i> painted or otherwise affixed to a solid or flexible material suspended from the edge of an awning, verandah or wall.	See Figure 9.4.1B
Created awning line sign	An <i>advertising device</i> attached to and extending beyond the facia of an awning or the like.	See Figure 9.4.1B
Under awning sign	An <i>advertising device</i> attached from underneath or suspended from an awning, verandah or the like.	See Figure 9.4.1B

Figure 9.4.1B Awning sign types

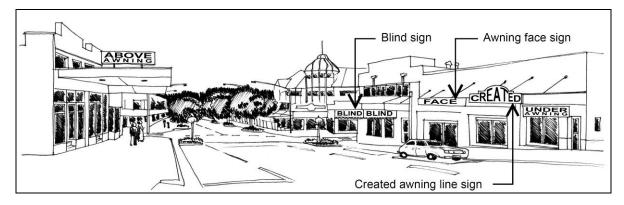


Table 9.4.1.3.3	Roof sign types
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Advertising device type	Written description	Illustration
Created roofline sign	An <i>advertising device</i> positioned on the roof, façade or wall of a building which changes the horizontal or angular lines of the roof.	See Figure 9.4.1C
High-rise building sign	An <i>advertising device</i> affixed to a building which names or otherwise identifies a high-rise building.	See Figure 9.4.1C
Rooftop sign	An <i>advertising device</i> fitted to the roof of a building with no relation to the architectural design or appearance of the building.	See Figure 9.4.1C
Sign written roof sign	An <i>advertising device</i> that is painted or otherwise affixed to the roof cladding of a building.	See Figure 9.4.1C

Figure 9.4.1C Roof sign types

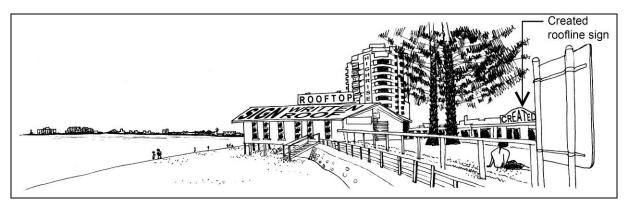
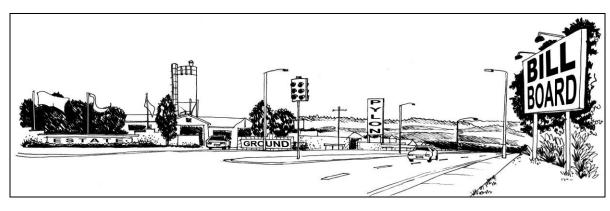


Table 9.4.1.3.4Freestanding sign types

Advertising device type	Written description	Illustration
Billboard sign	A freestanding <i>advertising device</i> , the width of which is greater than the height and which may be positioned on the ground or mounted to one or more vertical supports.	See Figure 9.4.1D
Estate entrance sign	An <i>advertising device</i> displaying the name of a residential, commercial or industrial estate at the entrance to the estate.	See Figure 9.4.1D
Ground sign	An <i>advertising device</i> on a low level wall or completely clad vertically oriented freestanding structure which sits on or rises out of the ground.	See Figure 9.4.1D
Pylon sign	A freestanding <i>advertising device</i> , the height of which is greater than the width and which may be positioned on the ground or mounted to one or more vertical supports.	See Figure 9.4.1D







Advertising device type	Written description	Illustration
Backdrop fenc sign	A freestanding <i>advertising device</i> which is designed to act as a permanent partition, screen or barrier. It includes any sign painted or attached directly upon or affixed parallel with, and confined within the limits of a fence.	See Figure 9.4.1E
Boundary fenc sign	e An <i>advertising device</i> painted or affixed flush to a fence that has been designed to permanently delineate and identify the boundary of a site.	See Figure 9.4.1E
Sporting fiel fence sign	An <i>advertising device</i> painted or otherwise affixed to a fence marking the boundaries of a sporting field.	See Figure 9.4.1E

Figure 9.4.1E Fence sign types

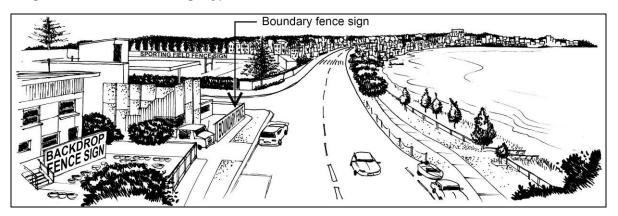
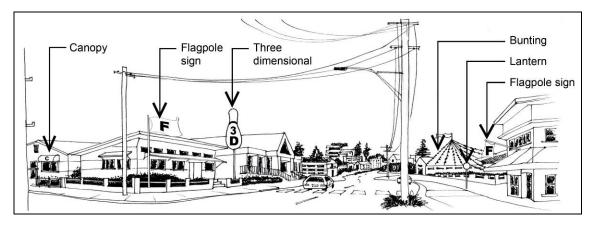


Table 9.4.1.3.6	Miscellaneous	(other) sign types
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Advertising device type	Written description	Illustration
Bunting	Any decorative flags, pennants or streamers connected by thread, rope or wire.	See Figure 9.4.1F
Canopy sign	An <i>advertising device</i> painted or otherwise affixed to a canopy.	See Figure 9.4.1F
Lantern sign	An <i>advertising device</i> which is a fabricated or moulded light shade which may have lettering affixed, and may be attached to a building or freestanding.	See Figure 9.4.1F
Three- dimensional sign	An <i>advertising device</i> which is designed to replicate or copy a real world object or shape.	See Figure 9.4.1F
Flagpole sign	An <i>advertising device</i> in the form of a flag (excluding National, State, Local government and institutional crests or flags) which is flown from a masthead or suspended from any structure or pole.	See Figure 9.4.1F

Figure 9.4.1F	Miscellaneous	(other) sign types
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9.4.1.4 Performance outcomes and acceptable outcomes

Table 9.4.1.4.1	Requirements for accepted development and performance outcomes
	and acceptable outcomes for assessable development

Performa	nce outcomes	Acceptab	le outcomes
For All Ac	dvertising Device Types		
General			
P01	 An advertising device:- (a) is compatible with the existing and future planned character of the locality in which it is erected; (b) is compatible with the scale, proportion, bulk and other characteristics of buildings, structures, landscapes and other advertising devices on the site; (c) is of a scale, proportion and form that is appropriate to the streetscape or other setting in which it is located; (d) is sited and designed to be compatible with the nature and extent of development and advertising devices on adjoining sites and not interfere with the reasonable enjoyment of those sites; (e) is sited and designed to:- (i) not unduly dominate the visual landscape; (ii) maintain views or vistas of public value; and (iii) protect the visual amenity of scenic routes; (f) is designed to achieve a high standard of architectural, urban and landscape design or at least not detract from the architectural, urban or landscape design standards of a locality (including any streetscape improvement programs implemented by the <i>Council</i>); and (g) is designed and sited so as not to contribute to the proliferation of visual clutter. 	A01	Accepted development For accepted development, the advertising device complies with the requirements specified in Column 2 of Table 9.4.1.4.2 (Specific requirements for types of advertising devices). Assessable development For assessable development, in partial fulfilment of Performance Outcome PO1— the advertising device complies with the requirements specified in in Column 2 of Table 9.4.1.4.2 (Specific requirements for types of advertising devices). Note—except in the limited circumstances provided for in Part 5 (Tables of assessment), third party advertising devices are not encouraged to establish on the Sunshine Coast. In most circumstances third party advertising devices would:- (a) be contrary to Performance Outcome PO1 and the applicable specific requirements for types of advertising device in this code; and (b) risk compromising the character, lifestyle and environment attributes of the region as defined in Part 3 (Strategic Framework). Note—a streetscape or landscape analysis prepared by a competent person may be required in support of a development application to demonstrate compliance with Performance Outcome PO1.
	Signface Area For All Signs On A Site		
	 The maximum signface area of all advertising devices on a site does not unduly detract from a building, site or local area, including by:- (a) visually dominating the appearance of a building; or 	AO2	The total <i>signface area</i> of all <i>advertising devices</i> on a <i>site</i> does not exceed the greater of that provided for, using one of the methods for calculating <i>signface area</i> provided below:-
	(b) being visually intrusive in the <i>streetscape</i> or other setting in		Method 1 (Street front boundary length)
	which it is located.		 (a) 0.75m² of signface area per linear metre of street front boundary length.
			Method 2 (Street facing building width)
			 (a) for a single storey building—0.75m² of signface area per linear metre of street facing building width; or (b) for a two or more storey building—1.0m² of signface area per linear metre

Deuferme		A	
Perform	ance outcomes	Acceptab	le outcomes
			of street facing building width. Note—Figure 9.4.1G (Methods for calculating signface area) provides further clarification regarding the calculation of <i>signface area</i> based on the methods described above. Figure 9.4.1G Methods for calculating signface area
			Street front boundary length Street facing building width
	tion, Lighting and Movement		
PO3	 An advertising device only incorporates illumination and lighting where it:- (a) is appropriate to its setting and is compatible with the amenity of the local area; (b) does not cause nuisance or distraction; 	AO3.1	 The advertising device is only illuminated where it is:- (a) located in a centre zone, industry zone or Specialised centre zone; or (b) associated with a business that operates at night.
	 (c) does not create glare, reflecting or flaring of colours; and (d) will not create a potential safety hazard, including a traffic safety hazard. 	AO3.2	 Where the <i>advertising device</i> is illuminated, it:- (a) it has a maximum luminance of 350 candelas per m²; (b) does not incorporate flashing lights or digital displays; and (c) is switched off between 11.00pm and 5am the following day or at any time the business is not operating between these hours.
PO4	An <i>advertising device</i> does not move or incorporate elements that give the impression of movement.	AO4	The <i>advertising device</i> does not revolve, contain moving parts or have a moving border.
	f Pedestrians and Vehicles		
PO5	An <i>advertising device</i> is designed so as not to create a traffic or pedestrian safety hazard.	AO5.1	The <i>advertising device</i> does not physically obstruct the passage of pedestrians or vehicles.
		AO5.2	The advertising does not mimic, and is not able to be confused with, a traffic control device.
Appropr	iate and safe construction	AO5.3	The <i>advertising device</i> does not restrict sight lines at intersections and site <i>access</i> points.
PO6	An advertising device is constructed to	AO6	No support, fixing or other system required
	an appropriate standard to ensure public safety.		for the proper installation of the <i>advertising device</i> is exposed.
	al systems	107 1	
PO7	An <i>advertising device</i> utilising electricity is safe and electrical componentry is integrated into the device.	AO7.1	All conduits, wiring, switches or other electrical apparatus installed on the <i>advertising device</i> are concealed from view.
		AO7.2	No electrical equipment is mounted on exposed surfaces of the <i>advertising device</i> .

Part 9

Table 9.4.1.4.2 Specific requirements for types of advertising device⁸

Column 1 Advertising device type	Column 2 Specific requirements
Wall or Facade Sign Types	
Business name plate	(a) is limited to one sign per business entry point;
	(b) is attached to a fence, wall or building face at street level; and
	(c) does not exceed a maximum <i>signface area</i> of 0.3m ² where in an <i>urban zone</i> or 0.6m ² where in a <i>non-urban zone</i> .
Facade sign	(a) does not obscure any window or architectural feature;
	(b) does not exceed 25% of the surface area of the wall to which it is
	attached;
	(c) does not project above or beyond the wall to which it is attached; and
	(d) is not more than 300mm thick.
Flush wall sign	(a) is erected only in a <i>centre zone</i> , the Specialised centre zone or an <i>industry zone</i> ;
	(b) does not obscure any window or architectural feature;
	(c) does not project beyond the edges of the wall to which it is attached;
	(d) does not exceed a maximum <i>signface area</i> of 18m ² ;
	(e) does not cover more than 50% of the visible area of the total surface
	area of the wall face; and (f) is not more than 300mm thick.
Hamper sign	(a) is limited to that area between the door head and the underside of the
	verandah or awning roof;
	(b) does not extend beyond the length of the building wall above the door
	head; and
Projecting sign	(c) is not more than 300mm thick.(a) is erected only in a <i>centre zone</i>, the Specialised centre zone or an
rejecting sign	industry zone;
	(b) does not exceed a maximum <i>signface area</i> of 1m ² ;
	(c) does not project beyond any awning or verandah of the building to
	which it is attached;
	(d) does not project above the roofline of the building to which it is attached; and
	(e) is limited to a maximum of one sign per premises.
Stallboard sign	(a) is limited to the area below a street front window;
Ū.	(b) is designed such that the signface is recessed inside the stallboard
	facing; and
	(c) does not protrude onto a road such that it could injure or obstruct the passage of pedestrians.
Vindow sign	(a) is erected on a ground <i>storey</i> window only;
inden eign	(b) does not cover/obscure more than 50% of a window or if obscuring
	more than 50% of a window, provides for every second window to be
	kept free of advertising.
Awning sign types Nove awning sign	(a) is erected only in a <i>centre zone</i> , the Specialised centre zone or an
above awning sign	industry zone;
	(b) is erected only where it can be demonstrated that there is no
	opportunity to make use of an alternative sign type;
	(c) is of a size and form that is appropriate to the scale and character of
	building on which it is exhibited and the development within the locality; (d) is positioned and designed in a manner that is compatible with the
	architecture of the building to which it is attached; and
	Note—a streetscape or landscape analysis prepared by a competent person may be required in support of a development application for an above awning sign.
Awning face sign	(a) has a <i>signface area</i> that is limited to the dimensions of the front or end
	awning face; and
	(b) is not more than 1000mm high.
Blind sign	(a) is contained within the outline of the blind;
	 (b) is located at the ground <i>storey</i> only; (c) if fixed to an awning above a footway, has a minimum clearance of:-
	(c) if fixed to an awning above a footway, has a minimum clearance of:-
	(i) 2.1m between the footway pavement and any flexible part of the

⁸ Note—types of advertising devices are described in Section 9.4.1.3 (Description of advertising devices).

Column 1	Column 2
Advertising device type	Specific requirements
	(ii) 2.4m between the footway pavement and any rigid part of the blind.
Created awning line sign	 (a) is integrated with the design of the building so as to complement its architectural form and style;;
	(b) does not extend more than 500mm above the fascia to which it is
	attached;
	(c) does not exceed a <i>signface area</i> equivalent to 25% of the area of the awning face; and
	(d) has a minimum clearance of 2.4m between the lowest part of the sign
	and the footway pavement.
Under awning sign	(a) is oriented at right angles to the building frontage;(b) is not more than 2.5m long or 500mm high;
	 (c) does not exceed a maximum signface area of 1.25m²;
	(d) has a minimum clearance of 2.4m between the lowest part of the sign
	and the footway pavement;(e) is centrally located along the frontage of each shop or tenancy; and
	 (e) is centrally located along the frontage of each shop or tenancy; and (f) is not closer than 3 metres to any other under awning sign or within 1.5
	metres of any side property boundary.
Roof Sign Types	
Created roofline sign	(a) is integrated with the design of the building so as to complement its architectural form and style; and
	(b) has a maximum height above the surrounding roofline of not more than
	1.2 metres.
High-rise building sign	(a) is located at least 10 metres above ground level and contained within the outline of the building to which it is attached;
	(b) is designed to appear as if it were part of the original building or
	otherwise complement the architectural style of the building;
	 (c) does not exceed a maximum signface area of 0.5m² for every metre of total building height; and
	(d) is designed to not to interfere with or detract from the appearance of the
	building at street level.
	Note—a streetscape or landscape analysis prepared by a competent person may be
	required in support of a development application for a high-rise building sign.
Rooftop sign	(a) is erected only in a <i>centre zone</i> , the Specialised centre zone or an <i>industry zone</i> ;
	(b) is erected only where it can be demonstrated that there is no
	opportunity to make use of an alternative sign type;
	(c) is of a scale and form that is appropriate to the scale and character of the building on which it is exhibited and the development within the
	locality;
	(d) is positioned and designed in a manner that is compatible with the
	architecture of the building to which it is attached; and(e) does not extend above the roofline to which it is attached.
	Note—a streetscape or landscape analysis prepared by a competent person may be required in support of a development application for a rooftop sign.
Sign-written roof sign	(a) is erected only:-
-	(i) in a <i>centre zone</i> , the Community facilities zone, <i>industry zone</i> or
	rural zone; and (ii) where the identification of a property or facility from the air is
	necessary due to the nature of the use;
	(b) displays only the name of the property, business or facility on which the
	 advertising device is erected; (c) does not exceed a maximum signface area of 10m² or 50% of the roof
	area, whichever is the lesser; and
	(d) is limited to a maximum of one sign per premises.
	Note—a streetscape or landscape analysis prepared by a competent person may be
	required in support of a development application for a sign-written roof sign.
Freestanding Sign Types All freestanding signs	(a) do not exceed the maximum height or <i>signface area</i> for the zone in
An incestationing sights	which the sign is erected as specified in Table 9.4.1.4.2A (Maximum
	height and signface area of freestanding signs);
	(b) ensure that not more than two (2) freestanding sign are erected on any

Advertising device type Specific requirements add extraction of the source of th	Column 1	Column 2		
site (including a site with multiple occupancy buildings), except for a freestanding sign witch:- (i) Identifies access to a site; (ii) is not more than 1.5 metres in height; and (iii) has a maximum signace area of 2m/3de; and (i) are consistent with the streetscape character of the area; (i) are consistent with the streetscape character of the area; (ii) are consistent with the streetscape character of the area; (ii) are presented and designed to a proportional and uniform detail; and (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signface area of freestanding signs Column 1 Column 2 Column 2 Column 4 Stand 1 (ne) sign; Column 4 Stand 1 (ne) sign; Columa 4 Stand 1 (ne) sign; (i) is studied at least 3 met for; (ii) seque and reace and reace and states from any sign for a side where the total street from any sign of the side is a sign in which case. (iii) is signed and treated in such a way that the supporting framework and the back of the signs doe and sign of the side is a sign in which case. (iii) are streetscape or flad out with; and (not street from any side boundary; (c) does not project beyond the for alignment of the side is or a probing framework and the back of the signs detection and street from any side boundary; (c) is so the project beyond the for alignment of the side is or a probing framework and the				
(ii) is not more than 1.5 metres in height: and (iii) has a maximum signaface area 0 m²/side; and (i) are of a scale and proportion consistent with the existing development and predominant land use in the area; (ii) are of a scale and proportion consistent with the existing development and predominant land use in the area; (iii) are presented and designed to a proportional and uniform detail; and (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signaface area of freestanding signs Column 1 Column 2 (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signaface area of freestanding signs Column 1 Column 2 Low impact industry zone Moder metres: Medium impact industry zone Where the total street from 1 Medium impact industry zone Where the total street from 1 Medium impact industry zone Where the total street from 1 Medium impact industry zone Where the total street from 1 Medium impact industry zone Where the total street from 1 Medium impact industry zone Moder metre 4 is presenter Medium impact industry zone Moder from any sife boundary: enereater Medium impact industry zo	Auventishing device type	site (including a site with multiple occupancy buildings), except for a		
(iii) has a maximum signface area of 2m/side: and (c) notwithstanding any other provisions of this code: (i) are consistent with the streetscape character of the area; (ii) are consistent with the streetscape character of the area; (ii) are consistent with the streetscape character of the area; (iii) are presented and designed to a proportion and uniform detail; and (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signface area of freestanding signs Column 1 Column 2 200e Column 2 Where the total street from ord street from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height in metres 200e Column 2 Where the total street from impact industry zone the impact industry zone three in the dial street from impact industry zone three dial street from impact industry zone trait accommodation zone impact industry zone three dial street from impact industry zone industry zone three dial street from impact industry zone three dial street from impact industry zone three dial street from impact industry zone trait accommodation zone impact industry zone trait accommodation zone impact industry zone three dial street from impact industry zone trait accommodation zone impact industry zone indit act (vol) street in a lon scape industry z				
(c) in notwithstanding any other provisions of this code:- (i) are on solated with the stretscape character of the area; (ii) are of a scale and proportion consistent with the existing development and proportion and uniform detail; and (iii) are presented and designed to a proportional and uniform detail; and (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signface area of freestanding signs Column 1 Column 2 Column 1 Column 3 Column 1 Column 4 Column 1 Column 5 Column 1 Column 6 Column 1 Column 7 Column 1 Column 7 Column 1 Column 7 Column 1 Column 1 Column 1				
(i) are consistent with the streetscape character of the area; (ii) are of a scale and proportion consistent with the existing development and predominant land use in the area; (iii) are presented and designed to a proportion and uniform detail; and (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signface area of freestanding signs Column 2 Maximum height in metroe Column 2 Column 2 Maximum height in metroe Column 2 Column 2 Column 2 Column 2 Column 2				
evelopment and predominant land use in the area; (iii) are presented and designed to a proportional and uniform detail; and (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signface area of freestanding signs Column 1 Column 2 Maximum height in metres Column 3 Column 1 Column 2 Maximum height in metres Column 3 District centre zone Maximum height in metres Column 3 Column 3 District centre zone Maximum height in metres As angle sign on a single sign on a		(i) are consistent with th	e streetscape character of t	
(iii) are presented and designed to a proportional and uniform detail; (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signface area of freestanding signs Column 1 Column 2 Column 1 Column 3 Column 1 Column 2 Column 1 Column 3 Column 2 Maximum height in metra Maximum and mame Maximum height in metra Specialised centre zone Towind theade Tower a		(ii) are of a scale an	d proportion consistent	with the existing
and (iv) do not detract from or obscure any important view or vista. Table 9.4.1.4.2A Maximum height and signface area of freestanding signs Column 1 Column 2 Zone Column 2 Maximum height in metree Column 3 Column 1 Column 4 Zone Maximum height in metree Column 2 Column 3 Column 3 Sign 2 District centre zone Where the total street from to find street from to sondary length of the sife is 1 Maximum main dinuesity zone Where the total street from to conserve any income streets or greater to tom to streets or greater in switch accemendation zone Tourism zone Tourism zone Tourism zone Tourism zone Tourism zone Specialised centre zone Waterfort and market Sign free streets or greater Tourism zone Tourism zone Touris accommodation zone Specialised centre conserve Waterfort and market all streets or streets. 10.00* Any otherzone Specialised centre zone Streetscape or folget beyond the from any sife boundary. 10.00* (b) is situated at least 3 metres from any sife boundary. 10.00* <td< th=""><th></th><th></th><th></th><th>-</th></td<>				-
Table 9.4.1.4.2A Maximum height and signface area of freestanding signs Column 1 Column 2 Column 3 Signs District centre zone High inpact industry zone Maximum height in metres. Column 3 Sign 7 District centre zone High inpact industry zone Where the total street front Som 14 (one) sign. or Sign 4 Medium inpact industry zone Where the total street front Som 14 (one) sign. or Sign 4 Principal centre zone (a) 5 Som 14 (one) sign. or Sign 4 Sign 4 Torrism zone (b) 5 Som 14 (one) sign. or Sign 4 Sign 4 Pylon sign / billboard sign (a) is mounted as a freestanding structure in a landscape environment; (b) is disuated at least 3 metres from any side boundary; Som 17 (one) sign. or Sign 4 (c) bas not project beyond the front alignment of the side; (a) is mounted as a freestanding structure in a landscape environment; (b) is disign 4 (c) as a maximum thickness not exceeding 75mm per metre of height above ground level. Pylon sign / billboard sign (a) is placed at the entrance of an estate and indicates only the name of the set al; (b) is set al ground level; (c) is not more than 2 metres high; (d) is not more than 2 metres high; (b) is set al ground level; (c) is not more			esigned to a proportional a	na amonn aetail,
signs Column 1 Column 2 Column 3 Column 3 Zone Maximum height in metres (m) Column 4 Column 3 Column 3 Sign 7 District centre zone High impact industry zone Low impact industry zone Medium impact industry zone Invicipat contre zone Specialised centre zone Tourist accommodation zone Waterfoort and marine Tourist accommodation zone Waterfoort and the sign of 10.0m² (a) is mounted as a freestanding structure in a landscape environment; (b) is situated at least 3 metres from any site boundary; (c) does not project beyond the front alignment of the site; (d) is designed and treated in such a way that the supporting framework and the back of the signface area blend with the surrounding streetscape or field a view; and (e) has a maximum thickness not exceeding 75mm per metre of height above ground level; (b) is set at ground level; (c) is mounted as a freestanding structure in a landscape environment; (d) is not more than 2 metres high; (e) does not exceed a maximum signface area of 10m²; and (f) is constructed of durable and low maintenance materials. Ground sign (a) is mounted as a freestanding structure in a landscape environment; (e) is set at ground level; (c) is not more than 2 metres high; (d) is not more than 2 metres high; (d) is mounted as a freestanding structure in a landscape environment; (e) does not exceed a maximum signfac		(iv) do not detract from or	obscure any important view	w or vista.
Zone Maximum height in metres (m) Maximum height in metres (m) Maximum height in metres (m) District centre zone High impact industy zone Low impact industy zone Medium impact industy zone Tourist accommodation zone Waterfront and marine Any other zone Where the total street front boundary length of the site is situ al quentes (a) 5.0m if 2 (two) signs. 10m ² except where a single sign on a single sign o				ea of freestanding
(m) face arola/site and arola/site guard in activity arola/site guard District centre zone High impact industry zone Low impact industry zone District centre zone Tours and commodation zone Waterfront Where the total street front boundary length of the site is 0.5 0m if 1 (rone) sign; or (b) 4.0 m if 2 (two) signs. 10m ² except where a site where the total site site and the back of the site; (a) 5.0m if 1 (one) sign; or (b) 5.0m if 2 (wo) signs. Pylon sign / billboard sign (a) is mounted as a freestanding structure in a landscape environment; (b) is situated at least 3 metres from any site boundary; (c) does not project beyond the front alignment of the site; (d) is designed and treated in such a way that the supporting framework and the back of the signface area blend with the suproving framework and the back of the signface area blend with the suproving framework and the back of the signface area of 10m ² ; and (b) is set at ground level; (c) is mounted as a freestanding structure in a landscape environment; (d) is not more than 2 metres high; (e) does not exceed a maximum signface area of 10m ² ; and (f) is constructed of durable and low maintenance materials. Ground sign (a) does not exceed a maximum signface area of 10m ² ; and (f) does not exceed a maximum signface area of 10m ² ;		Column 1		Column 3
Pylon sign / billboard sign (a) is mounted as a freestanding structure in a landscape environment; (b) is set at ground level; (c) is not more than 2 metres sign. (a) is not more than 2 metres high; (b) is set at ground level; (c) is not more than 2 metres high; (c) is not more than 2 metres high; (c) is not more than 2 metres high; (b) is set at ground level; (c) is not more than 2 metres high; (c) is not more than 2 metres from any site boundary; or is not more than 2 metres from any site boundary; Pylon sign / billboard sign (a) is mounted as a freestanding structure in a landscape environment; (b) is situated at least 3 metres from any site boundary; (c) is designed and treated in such a way that the supporting framework and the back of the signface area blend with the surrounding structure in a landscape environment; (b) is sit at ground level; (c) is not more than 2 metres high; (d) is not more than 2 metres high; (d) is not more than 1.5 metres high; (d) is not more than 1.5 metres high; (d) is not more than 2 metres high; (e) does not exceed a maximum signface area of 10m²; and (f) is constructed of durable and low maintenance materials. (f) is constructed of durable and low maintenance materials. (f) does not exceed a maximum signface area of 10m²; and (f) does not exceed a maximum signface area of 10m²; and (f) does not exceed a maximum signf		Zone		face area/side in square metres
Medium impact industry zone Principal centre zone Tourism zone Waterforton and marine Waterforton and marine industry zone (b) 4.0m if 2 (two) signs. Where the total streat front boundary length of the site of metres or greater in which case— (a) 7.5m if 1 (one) signs. boundary length of the site is 40 metres or greater in which case— (b) 5.0m if 2 (two) signs. Pylon sign / billboard sign (a) is mounted as a freestanding structure in a landscape environment; (b) is situated at least 3 metres from any <i>site</i> boundary; (c) does not project beyond the front alignment of the <i>site</i> ; (d) is designed and treated in such a way that the supporting framework and the back of the <i>signface area</i> blend with the surrounding <i>streetscape</i> or field a view; and (e) has a maximum thickness not exceeding 75mm per metre of height above ground level. Estate entrance sign (a) is placed at the entrance of an estate and indicates only the name of the size size size of 10m ² ; and (f) is constructed of durable and low maintenance materials. (d) is not more than 2 metres high; (e) does not exceed a maximum signface area of 10m ² ; and (f) is constructed of durable and low maintenance materials. (f) is not more than 2 metres high; (g) is not nore than 1.5 metres high; (h) is set at ground level; (c) is not nore than 1.5 metres high; (d) does not exceed a maximum signface area of 10m ² ; and (f) does not exceed a maximum height of 1.8m above ground level. Fence Sign Types (a) does not exceed a maximum height of 1.8m above ground level. (b) is set at ground level; (c) is not nore than 1.5 metres high; (d) does not exceed a maximum signface area of 10m ² ; and (f) does not exceed a maximum signface area of 10m ² ; and (f) does not exceed a maximum signface area of 10m ² per linear metre of fence length to which the sign is attached. </th <th></th> <th>High impact industry zone</th> <th>boundary length of the site is</th> <th>10m² except where a single sign on a</th>		High impact industry zone	boundary length of the site is	10m ² except where a single sign on a
Principal centre zone Specialized centre zone Tourist zone Where the total street from boundary length of the site is dumetry length of a development application for a pylon identification sign or billboard identification sign. Estate entrance sign (a) is placed at the entrance of an estate and indicates only the name of the estate; (b) is set at ground level; (c) is mounted as a freestanding structure in a landscape environment; (d) is ont more than 2 metres high; (e) does not exceed a maximum signface area of 10m²; and (f) is constructed of durable and low maintenance materials. Ground sign Ground sign (a) does not exceed a maximum signface area of 10m²; and (f) does not exceed a maximum signface area of 10m²; and (f) does not exceed a maximum height of 1.8m above ground level. (c) is not more than 1.5 metres high; (d) is mounted as a freestanding structure in a landscape environment; (e) does not exceed a maximum height of 1.8m above ground level. (f) 1 netre where within 6 metres of a street front boundary; or (ii) 1.8 metres where not within 6 metres of any street front boundary; and (b) does not exceed a maximum signface area of				
Pylon sign / billboard sign (a) is mounted as a freestanding structure in a landscape environment; (b) is situated at least 3 metres of graater: (c) is does not project beyond the front alignment of the site; (d) is designed and treated in such a way that the supporting framework and the back of the signification of a development application for a pylon identification sign. Estate entrance sign (a) is placed at the entrance of an estate; (b) is set at ground level; (c) is desting; (c) does not project beyond the front alignment of the site; (d) is designed and treated in such a way that the supporting framework and the back of the significate area blend with the surrounding streetscape or field a view; and (e) has a maximum thickness not exceeding 75mm per metre of height above ground level. Note		Principal centre zone		the <i>site</i> is 40
Waterfront and marine (a) 7.5m if 2 (two) sign: or industry zone (a) 5.0m if 2 (two) signs. Pylon sign / billboard sign (a) is mounted as a freestanding structure in a landscape environment; (b) is situated at least 3 metres from any site boundary; (c) does not project beyond the front alignment of the site; (d) is designed and treated in such a way that the supporting framework and the back of the signface area blend with the surrounding streetscape or field a view; and (e) has a maximum thickness not exceeding 75mm per metre of height above ground level. Note—a streetscape or landscape analysis prepared by a competent person may be required in support of a development application for a pylon identification sign or billboard identification sign. (a) is placed at the entrance of an estate and indicates only the name of the estate; (b) is set at ground level; (c) is mounted as a freestanding structure in a landscape environment; (f) is constructed of durable and low maintenance materials. (f) is on sone than 2 metres high; (c) is no tore than 1.5 metres high; (d) is mounted as a freestanding structure in a landscape environment; (f) is constructed of durable and low maintenance materials. (f) is constructed of durable and low maintenance materials. Ground sign (a) is integrated with the design of the building or place to which it relates; (b) is set at ground level; (c) is not more than 1.5 metres high; (d) is mounted		Tourism zone	boundary length of the site is	in which case—
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(b) does not exceed a maximum signface area of 1m ² per linear metre of fence length to which the sign is attached.		(ii) 1.8 metres where not		
		(b) does not exceed a maxin		per linear metre of
	Boundary fence sign			ary of a <i>site</i> ;

Column 1	Column 2
Advertising device type	Specific requirements
	(b) does not exceed a <i>signface area</i> of 1m ² per linear metre of fence length
	to which the sign is attached; and
	(c) does not project above or beyond the fence to which the sign is
	attached.
Sporting field fence sign	(a) does not project above or beyond the fence to which it is attached;
	(b) in any case, does not exceed 1.2 metres in height; and
	(c) is placed so as not to pose a risk or injury to spectators or participants.
Miscellaneous (Other) Sign T	ypes
Bunting	(a) is erected no higher than 6 metres above the ground level of the <i>site</i> or
	no higher than the gutter line of any building on the site, whichever is
	the lesser;
	(b) is not placed on the roof of a building;
	(c) is not affixed to trees, lighting standards or power poles;
	(d) does not extend over car parking areas; and
	(e) is constructed of durable materials that will not readily deteriorate, fade
	or tear.
Canopy sign	(a) has a <i>signface area</i> contained within the outline of the canopy;
	(b) is located at the ground <i>storey</i> only; and
	(c) has a minimum clearance of:-
	(i) 2.1m between the footway pavement and any flexible part of the
	canopy; and
	(ii) 2.4m between the footway pavement and any rigid part of the
	canopy.
Lantern sign	(a) does not exceed a <i>signface area</i> of 0.25m ² on any face;
-	(b) is not more than 5 metres in height above ground level whether fixed to
	a wall or freestanding;
	(c) is only erected upon the building or <i>site</i> to which it relates; and
	(d) provides that where more than one lantern sign is proposed, the signs
	are not arranged to collectively comprise an advertising message.
Three-dimensional sign	A three dimensional sign complies with the requirements that would be
-	applicable to the sign if it were not three-dimensional in shape (i.e. wall or
	façade sign requirements, awning sign requirements, rood sign
	requirements or freestanding sign requirements).
	Note-a streetscape analysis prepared by a competent person may be required in
	support of a development application for a three-dimensional sign.
Flagpole sign	(a) is limited to one (1) flag per 10 metres of street front boundary;
	(b) does not exceed a maximum <i>signface area</i> of 2.5m ² ; and
	(c) does not exceed a maximum height of 5 metres above ground level.
Third Party Advertising Devie	
All third party advertising	No requirements nominated.
devices	
	Note—except in the limited circumstances provided for in Part 5 (Tables of
	assessment), <i>third party advertising devices</i> are not encouraged to establish on the Sunshine Coast. In most circumstances, a <i>third party advertising device</i> would:-
	(a) be contrary to Performance Outcome PO1 and the applicable specific
	requirements for types of <i>advertising device</i> in this code; and
	(b) risk compromising the character, lifestyle and environment attributes of the
	region as defined in Part 3 (Strategic Framework) .
	Note-a planning report and streetscape or landscape analysis prepared by a
	competent person may be required in support of a development application for a <i>third</i>
	party advertising device.

9.4.2 Landscape code⁹

9.4.2.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Landscape code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.2.2 Purpose and overall outcomes

- (1) The purpose of the Landscape code is to ensure that landscapes are provided in a manner which is consistent with the desired character and amenity of the Sunshine Coast.
- (2) The purpose of the Landscape code will be achieved through the following overall outcomes:-
 - (a) development provides landscapes that retain, as far as practicable, existing *vegetation* and topographic features for their biodiversity, ecological, wildlife habitat, recreational, aesthetic and cultural values;
 - (b) development provides landscapes that create new landscape environments that coordinate and complement the natural elements of climate, *vegetation*, drainage, aspect, landform and soils;
 - (c) development provides landscapes that complement the *vegetation* mix of the original regional ecosystem of the *site*, where practicable, in order to protect and enhance native flora and fauna and encourage ecological connectivity;
 - (d) development provides landscapes that rehabilitate areas of poor environmental quality and provide mechanisms for long term protection of works;
 - (e) development provides landscapes that successfully integrate the built form with the local urban landscape character, contribute to the local *streetscape*, enhance the sub-tropical qualities of the Sunshine Coast and mitigate the impact of increased urbanisation;
 - development provides landscapes that minimise the consumption of energy and water, and encourage the use of local native plant species and landscape materials, where practicable;
 - (g) development provides landscapes that enhance personal safety and security;
 - (h) development provides landscapes that are functional, durable and provide for the efficient use of water and energy; and
 - (i) development provides landscapes that are practical and low maintenance, with ongoing management considered as an integral part of the overall landscape design.

9.4.2.3 **Performance outcomes and acceptable outcomes**

Table 9.4.2.3.1 Performance outcomes and acceptable outcomes for assessable development

Perforr	nance Outcomes	Acceptat	ole Outcomes
Retent	ion of Vegetation and Topographic Featur	es in Layo	out and Design of Landscapes
PO1	Development provides landscapes that, as far as practicable, retain and protect	AO1	No acceptable outcome provided.
	existing trees, <i>vegetation</i> and topographic features of ecological, recreational, aesthetic and cultural value.		Note—the Planning scheme policy for development works provides more specific guidance about the retention of <i>vegetation</i> and topographic features.

Editor's note—the **Planning scheme policy for development works** provides guidance and specifies standards for satisfying certain outcomes of this code, including details of how to prepare a landscape plan and preferred plant species to be used in landscape works.

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Perform	ance Outcomes	Acceptab	le Outcomes
Manage	ment of Weeds		
PO2	Development provides for all weeds to be managed within the <i>site</i> and frontages and for the implementation of effective measures to reduce weed intrusion and the risk of re-infestation on an ongoing basis.	AO2	No acceptable outcome provided. Note—the Planning scheme policy for development works provides more specific guidance about the management of weeds.
Landaa			
	ape Design		
PO3	 Development provides for landscapes that contribute to and create a high quality landscape character for the <i>site</i>, street, local area and the Sunshine Coast, by:- (a) promoting the character of the Sunshine Coast as a sub-tropical environment; (b) being sensitive to site conditions, natural landforms and landscape characteristics; (c) protecting and enhancing native <i>vegetation</i>, wildlife habitat and ecological values; (d) protecting and framing significant views, vistas and areas of high scenic quality; and (e) being of an appropriate scale to integrate successfully with 	A03	No acceptable outcome provided. Note—the publication Sub-tropical Design in South East Queensland – a handbook for Planners, Developers and Decision Makers provides guidance about the use of landscapes in a sub-tropical climate.
	development.	L	
Landsca	ape Management and Maintenance		
PO4	Development provides for landscapes that are designed, constructed, established and maintained to allow for natural vegetation communities renewal, where practicable, and to ensure minimisation of ongoing maintenance costs.	A04	No acceptable outcome provided.
PO5	Development provides for maintenance issues to be considered as an integral part of the landscape design and a sustainable maintenance regime to be implemented over time.	AO5	No acceptable outcome provided.
	nd Security		
PO6	Development provides for landscapes that enhance access points and personal safety, but which do not impede visibility at access points, pedestrian crossings, speed control devices and intersections.	AO6	 Development provides landscapes which:- (a) define territory and ownership of public, common, semi-private and private space and does not create ambiguous spaces adjacent to areas with security issues; (b) allow passive surveillance into, and visibility within, communal recreational spaces, children's play areas / playgrounds, pathways and car parks; (c) incorporate trees that will establish to provide a minimum of 1.8 metres clear trunk and understorey planting that is a maximum of 0.7 metres in height above the road pavement, where located immediately adjacent to pathways, entries, parking areas, street corners, street lighting and driveways; (d) minimise the use of dense shrubby <i>vegetation</i> over 1.5 metres in height along street <i>frontages</i> and adjacent to open space areas;

	0 1		
Performa	ance Outcomes	Acceptab	le Outcomes
P07	Development provides for public	A07	 comply with AS/NZS 4586 Slip resistance classification of new pedestrian surface materials and AS 3661 Slip resistance of pedestrian surfaces, and be stable and trafficable in all weather conditions; (f) provide universal access in accordance with Australian Standard AS 1428: Design for Access and Mobility; and (g) provide security and pathway level lighting to site entries, driveways, parking areas, building entries and pedestrian pathways. No acceptable outcome provided.
	landscape management to occur within	A01	
	a safe working environment.		Note—development of landscape is to have regard to the Manual of Uniform Traffic Control Devices and the <i>Work Health and Safety Act</i> 2011.
	Efficiency		
PO8	Development provides landscapes that assist in passive solar access, the provision of shade, microclimate management and energy conservation.	AO8.1	Landscape elements are positioned to shade walls, windows and outdoor areas from afternoon (western) sun.
		AO8.2	Landscapes facilitate winter sun access to living areas, north facing windows and public spaces.
		AO8.3	Landscapes, fences and walls allow exposure of living and public areas to prevailing summer breezes and protection against winter winds.
		AO8.4	Landscape elements do not shade solar collector devices during the middle 6 hours of the day.
		AO8.5	Existing street and park trees are retained where solar collectors are installed.
			Note— Figure 9.4.2A (Design for passive solar access) illustrates how landscapes may provide for passive solar access, the provision of shade and microclimate management.
			Figure 9.4.2A Design for passive solar access
			Summer sun Winter sun 1. 15 years diear 1. 5 year die tree 1. 5 year die tree tree tree tree tree tree tree tr
Stormur	ter Drainage and Water Conservation	I	
PO9	Development provides for landscapes that successfully integrate stormwater drainage and water sensitive urban design elements with the street tree infrastructure and surrounding landscapes.	AO9	No acceptable outcome provided.
PO10	Development provides for landscapes	AO10	Landscapes maximise the infiltration and
	that promote the efficient use of water		conservation of water by:-

Perform	ance Outcomes	Accentab	le Outcomes
Perform	layout and by maximising opportunities for water infiltration.	Acceptab	 local conditions and appropriate turf species that require minimal irrigation after establishment; (b) grouping plants and street trees (where appropriate) in mulched beds; (c) minimising impervious surfaces; (d) incorporating semi-porous pavement surfaces as an alternative to impervious surfaces; and (e) draining hard surface areas to landscaped areas and water sensitive urban design devices. Note—Figure 9.4.2B (Planting density and use of mulch) illustrates how landscapes may promote water conservation through appropriate planting density and use of mulch. Figure 9.4.2B Planting density and use of mulch.
P011	Development provides for landscapes with planting and lawn areas that do not require permanent irrigation, except in high profile and high use landscape areas.	A011	No acceptable outcome provided.
	bility and Soil Quality		
PO12	Development provides for landscapes which are designed and sited to ensure the stability of soils and minimisation of erosion.	AO12	No acceptable outcome provided.
PO13	Development provides for landscapes on steep and unstable land to be managed with slope stabilising planting rather than engineered retaining structures, as far as practicable.	AO13	Landscapes incorporate stabilising plant species at an appropriate density and establishment materials on batters, slopes and the edges of <i>waterways</i> using soils which are less prone to erosion. Note – Figure 9.4.2C (Landscape design for waterway edges) illustrates the preferred landscape treatment for <i>waterway</i> edges. Figure 9.4.2C Landscape design for waterway edges
			××

Perform	ance Outcomes	Acceptab	le Outcomes
	capable of supporting the successful establishment and sustainable growth of selected plant species.		 (a) is suitable for the successful establishment of the selected plant species; and (b) is suitably remediated to maximise the site specific vegetation performance objectives.
		AO14.2	As far as practicable, existing site soil is used for planting media.
	Technique, Plant Selection, Stock Size		
PO15	Development provides for landscapes where planting of plant stock is undertaken in accordance with best horticultural practice.	AO15	No acceptable outcome provided.
PO16	Development provides for landscapes which incorporate plant stock of an appropriate size at the time of planting to fulfil the intended function whilst ensuring long term viability.	AO16	Landscapes incorporate plant stock sizes that comply with Table 9.4.2.3.1A (Minimum plant stock sizes) Table 9.4.2.3.1A Minimum plant stock sizes <u>Column 1 Column 2 Planting Stock Minimum Pot Size</u> Feature or landmark 45 litre pot trees Street trees or park 25 litre pot trees <u>Other trees</u> 15 litre pot (300mm) Shrubs, vines and 140mm pot ground covers Macrophytes, tufting plants and revegetation stock
P017	 Development provides for landscapes which incorporate plant species that:- (a) are well matched to the required landscape function; (b) are not poisonous or dangerous; (c) have a form and structure typical of the species, free from structural or root system faults, diseases and nutritional deficits; and (d) are of appropriate hardiness for the intended location. 	A017.1 A017.2 A017.3 A017.4	In urban settings, landscapes incorporate local and 'cultivar' native plants with moderate use of suitable non-invasive exotic species where function requires. Landscape planting does not use plant species that:- (a) have large thorns or spines; (b) are capable of triggering severe allergic reactions; or (c) are poisonous. Landscape planting does not use declared or environmental weeds as specified in the Planning scheme policy for development works. Street and park tree stock meet the requirements for quality specified in the <i>NATSPEC Guidelines: Specifying Trees,</i> <i>and/or plants are true to form.</i> Note—Figure 9.4.2D (Quality of street and plant tree stock) illustrates the condition of trees to be used in landscapes. Figure 9.4.2D Quality of street and plant tree stock

Perform	ance Outcomes	Accentab	le Outcomes
		AO17.5	All plant stock is free of disease and nutritional deficiencies and has been acclimatised to conditions similar to those expected on the development <i>site</i> (i.e. full sun, wind, salt spray).
PO18	 Development ensures that where palms are used in landscapes they are:- (a) used in a manner that is consistent with their natural character and occurrence on the Sunshine Coast, where practicable; (b) used as an emergent rather than dominant landscape feature, where other species are less suitable; and (c) the appropriate species for their location, and minimise public safety risks. 	AO18	Palms included in the planting palette are planted in small naturalistic groups (clumped as they would normally occur) in coordination with other trees and foliage planting.
Reveget PO19	ation and Habitat Restoration Works Development with landscapes for	AO19	Revegetation and habitat restoration works:-
	 bevelopment with landscapes for revegetation or habitat restoration works, ensures that the works:- (a) are of a high quality; (b) replicate the topography and structure of appropriate natural habitat and corridor elements; (c) utilise plant species of local native provenance where available; and (d) are established using appropriate methods so as to maximise environmental outcomes and minimise ongoing maintenance requirements. 		 (a) are undertaken in accordance with the standards specified in the Planning scheme policy for development works; (b) employ suitable establishment and management methods and combinations of methods to encourage the most successful regeneration; (c) use local native provenance species, where available, that are planted in a matrix or naturalistic pattern to densities best suited to the species, landform, soil profile, drainage and ecosystem being recreated; (d) provide for self-sustaining ecosystems to be created through successional planting/regeneration methods that employ pioneer species to stabilise the site, before encouraging longer term species establishment; and (e) use understorey shrubs and vines to appropriately bind rehabilitation area edges (including <i>waterway</i> edges) against degradation and weed
Landsca	pe Design for Wildlife		infestation.
PO20	 Development ensures that landscapes protect habitats and corridors for native wildlife by:- (a) replicating adjacent remnant vegetation including understorey vegetation and ground surface habitat logs, rock piles and melon holes; (b) siting landscaped areas to complement and enhance existing and surrounding vegetation; (c) retaining old trees (including dead trees) with hollows for local native fauna habitat, where trees will not provide a public safety risk; (d) retaining natural leaf litter where appropriate for local native fauna; 	AO20	No acceptable outcome provided.
	 (e) creating or enhancing vegetation linkages between existing habitats; (f) selecting species that provide a range of foliage, fruit and flower 		

Performa	nce Outcomes	Acceptable Outcomes	
Landscap PO21	Development provides for <i>landscape</i> <i>buffers</i> that:- (a) effectively protect the edges of	Acceptable Outcomes ACCEPTABLE Outcomes A021 Where a landscape buffer is required applicable development code, local code or overlay code, it is des constructed, established and maintair	plan igned,
		 constructed, established and maintain accordance with the following:- (a) earth mounding is provided, necessary, to complement and ac satisfactory acoustic attenuation, screening or land use separation; (b) selected plant species are approted to the location, drainage and soil 	ned in where chieve visual opriate type, ctional inimal ge of form, to the eation strata metre tres; covers entres; native storey, bind gainst esign)

Engineered Planting PO23 Development provides for complete or partial landscape screening of built form is softened and integrated with the broader landscape by structured landscape screening occupies at least 30% of a building elevation as viewed from the street. A022.1 Built form is softened and integrated with the planting. A022.2 Landscape screening occupies at least 30% of a building elevation as viewed from the street. A022.3 Except where otherwise provided by the applicable use code, car parks and driveways are screened by (a) a planting bed of at least 1.5 metre wide where adjacent to a residentic use; or (b) a planting bed of at least 3 metres wide where adjacent to a street frontage or public open space. A022.4 Storage and utility areas are completel screened by wegetation or built screens except for access ways. Note-Figure 9.4.2F (Landscape screening of building dievations) fluxed by wegetations Note-Figure 9.4.2F (Landscape screening of building dievations) fluxed by wegetations PO23 Development provides for landscape incorporating any podium planter, green with adequate growing media, drainage and ting amenity and conditions that support to constructed and manage enflicts. A023 PO24 Areas to be included in landscape aneating contribute to the local amenity and conditions that support is not contribute to the local amenity and conditions that support is not contribute to the local amenity and conditions that support is not contribute to the local amenity and conditions that support is not contribute to the local	Perform	ance Outcomes	Acceptab	le Outcomes
PC22 Development provides for complete or structured landscape screening of cultiform elements, carparks, fences, utilities and storage areas at maturity. AO22.1 Built form is softened and integrated with the broader landscape by structured landscape planting. AO22.2 Landscape screening occupies at least 30% of a building elevation as viewed from the street. AO22.3 AO22.3 Except where otherwise provided by the applicable use code, car parks and driveways are screened by (a) a planting bed of at least 15 metre wide where adjacent to a street frontage of public open space. AO22.4 Storage and utility areas are completed screened by (b) a planting bed of at least 3 metres wide where adjacent to a street frontage of public open space. AO22.4 Storage and utility areas are completed screening or building elevations) illustrates how inadscape screening or building elevations PO23 Development provides for landscapes incorporating any podium planter, green will or other vertical landscape element to be appropriately designed, constructed and managed with adequate growing media, drainage and infigration, where required, and to ensure vigorous and sustainable plant growth with adscapes that sustainable plant growth with out structureal or drainage conflicts. PO24 Areas to be included in landscape and infigrates and contribute to the local amerity and conditions that support the local amerity and conditions that support to services and landscapes landscape and contribute to the streetscape. PO24 Areas to be included in tal support the estat stabisthement of screess and contribute to the street				
A022.2 Landscape screening occupies at least 30% of a building elevation as viewed from the street. A023.3 Except where otherwise provided by the applicable use code, car parks and driveways are screened by: (a) a planting bed of at least 3 metres widw where adjacent to a residentia use; or (b) a planting bed of at least 3 metres widw where adjacent to a street frontage o public open space. A022.4 Storage and utility areas are completel screened by:- (a) a planting bed of at least 3 metres widw where adjacent to a street frontage o public open space. A022.4 Storage and utility areas are completel screened by:- use; or (b) a planting bed of at least 3 metres widw where adjacent to a street frontage o public open space. PO23 Development provides for landscapes screening is litenade to soften and integrate with the built form. Figure 9.4.2F Landscape screening of building elevations Wall or other vertical landscape are element to be appropriately designed, constructed and managed with adequate growing media, drainage and irrigation, where required, and to ensure vigorous and sustainable plant growth whore stabilishment of succesful trees and and scape streening of building elevations PO24 Areas to be included in landscape provision contribute to the local and scapes whose growth is not compromised by services and infrastructure. A024 Landscape tree provides by services and infrastructure. A025 No acceptable outcome provided. <th></th> <th>Development provides for complete or partial landscape screening of built form elements, carparks, fences, utilities and</th> <th>AO22.1</th> <th>Built form is softened and integrated with the broader landscape by structured landscape planting.</th>		Development provides for complete or partial landscape screening of built form elements, carparks, fences, utilities and	AO22.1	Built form is softened and integrated with the broader landscape by structured landscape planting.
Engineered Planting A022.4 Forgineered Planting A022.4 Storage and utility areas are completed screening is intended to soften and integrate with the bail form. Figure 9.4.2F (Landscape screening or building elevations) illustrates how landscape screening is intended to soften and integrate with adequate growing media, drainage and irrigation, where required, and to ensure vigorous and irrigation, where required, and to ensure vigorous and utility areas the provision for startes and irrigation, where required, and to ensure vigorous and contribute to the least and the support the stablishment of successful trees and landscapes state. A024 PO24 Areas to be included in landscape provisions contribute to the stablishment of successful trees and landscapes state. A024 PO25 Development provides for streetscape landscapes and indicapes street for advances and indicapes structure and contribute to the street seat regular intervals; A024 RO25 Development provides for streetscape landscape and indicapes structure and the street seat regular intervals; A025 No acceptable outcome provided. A024		otorago aroao at matanty.	AO22.2	Landscape screening occupies at least 30% of a building elevation as viewed from the street.
Engineered Planting Note—Figure 94.2F (Landscape screening of building elevations) illustrates how landscape screening is intended to soften and integrate with the built form. Flogram Figure 9.4.2F (Landscape screening of building elevations) PO23 Development provides for landscapes incorporating any podium planter, green wall or other vertical landscape elevant to be appropriately designed, constructed and managed with adequate growing media, drainage and irrigation, where required, and to ensure vigorous and sustainable plant growth without structural or drainange conflicts. Landscape Area Provision A024 PO24 Areas to be included in landscape and landscape situations of by services and landscapes whose growth is not compromised by services and landscapes whose growth is not compromised by services and landscapes that- (a) ensures the provision of shade trees at regular intervals; A025 No acceptable outcome provided. Note—a landscape master plan may provid further guidance regarding particular streetscape			AO22.3	 (a) a planting bed of at least 1.5 metres wide where adjacent to a residential use; or (b) a planting bed of at least 3 metres wide where adjacent to a street <i>frontage</i> or
Engineered Planting Figure 9.4.2F Landscape screening of building elevations PO23 Development provides for landscapes incorporating any podium planter, green wall or other vertical landscape element to be appropriately designed, constructed and managed with adequate growing media, drainage and irrigation, where required, and to ensure vigorous and sustainable plant growth without structural or drainage conflicts. AO23 Landscape Area Provision AO24 PO24 Areas to be included in landscape regrowting the establishment of successful trees and landscapes growth is not compromised by services and landscapes AO24 PO25 Development provides for streetscape landscape structure. AO24 PO26 Areas to be included in landscape and landscape structure. AO24 PO24 Areas to be included in landscape and landscape structure. AO24 PO25 Development provides for streetscape landscapes and contribute to the local and scapes memory of successful trees and landscapes structure. AO25 PO26 Development provides for streetscape landscapes structure. AO25 PO26 Development provides for streetscape landscape master plan may provide for the est at regular intervals;			AO22.4	Storage and utility areas are completely screened by <i>vegetation</i> or built screens, except for access ways.
Engineered Planting X Image: Section Sectin Sectin Section Section Section Secting Sectin Section				Note— Figure 9.4.2F (Landscape screening of building elevations) illustrates how landscape screening is intended to soften and integrate with the built form.
PO23 Development provides for landscapes incorporating any podium planter, green wall or other vertical landscape element to be appropriately designed, constructed and managed with adequate growing media, drainage and irrigation, where required, and to ensure vigorous and sustainable plant growth without structural or drainage conflicts. AO23 No acceptable outcome provided. Landscape Area Provision A024 Landscape areas are concentrated toward development frontages and contribute to the establishment of successful trees and landscapes whose growth is not compromised by services and <i>infrastructure.</i> A024 Landscape areas are concentrated toward development frontages and contribute to the streetscape. Streetscape Landscapes A025 No acceptable outcome provided. PO25 Development provision of shade trees at regular intervals; A025				
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incorporating any podium planter, green wall or other vertical landscape element to be appropriately designed, constructed and managed with adequate growing media, drainage and irrigation, where required, and to ensure vigorous and sustainable plant growth without structural or drainage conflicts.AO24PO24Areas to be included in landscape provisions contribute to the local amenity and conditions that support the establishment of successful trees and landscapes whose growth is not compromised by services and infrastructure.AO24Landscape areas are concentrated toward development frontages and contribute to the streetscape.PO25Development provides for streetscape landscapes that:- (a) ensures the provision of shade trees at regular intervals;AO25No acceptable outcome provided.			4.000	
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vigorous and sustainable plant growth without structural or drainage conflicts. Landscape Area Provision PO24 Areas to be included in landscape provisions contribute to the local amenity and conditions that support the establishment of successful trees and landscapes whose growth is not compromised by services and <i>infrastructure</i> . AO24 Landscape areas are concentrated toward development frontages and contribute to the streetscape. Streetscape Landscapes PO25 Development provides for streetscape landscapes that:- (a) ensures the provision of shade trees at regular intervals; AO25 No acceptable outcome provided.		constructed and managed with adequate growing media, drainage and		
Landscape Area Provision PO24 Areas to be included in landscape provisions contribute to the local amenity and conditions that support the establishment of successful trees and landscapes whose growth is not compromised by services and infrastructure. AO24 Landscape areas are concentrated toward development frontages and contribute to the streetscape. Streetscape Landscapes PO25 Development provides for streetscape landscapes that:- (a) ensures the provision of shade trees at regular intervals; AO25 No acceptable outcome provided.		vigorous and sustainable plant growth		
provisions contribute to the local amenity and conditions that support the establishment of successful trees and landscapes whose growth is not compromised by services and infrastructure. development frontages and contribute to the streetscape. Streetscape Landscapes PO25 Development provides for streetscape landscapes that:- (a) ensures the provision of shade trees at regular intervals; AO25 No acceptable outcome provided. Note—a landscape master plan may provide Note—a landscape master plan may provide				
PO25 Development provides for streetscape landscapes that:- AO25 No acceptable outcome provided. (a) ensures the provision of shade trees at regular intervals; AO25 No acceptable outcome provided.		provisions contribute to the local amenity and conditions that support the establishment of successful trees and landscapes whose growth is not compromised by services and <i>infrastructure</i> .	AO24	Landscape areas are concentrated toward development frontages and contribute to the <i>streetscape</i> .
landscapes that:-Note—a landscape master plan may provide further guidance regarding particular streetscap			A025	No opportable outcome provided
trees at regular intervals; further guidance regarding particular streetscap	PU25	landscapes that:-	AU25	Note—a landscape master plan may provide
character of existing and proposed		trees at regular intervals; (b) contributes to the continuity and		
Note—streetscape materials and palettes can be		streetscapes;		Note—streetscape materials and palettes can be referenced from the <i>Council's</i> Infrastructure and

Perform	ance Outcomes	Accentab	le Outcomes
Perform: PO26	 and villages, incorporates landscape design (including planting, pavements, furniture, structures, etc.) that reflect and enhance the character of the streetscape; and (d) in new or establishing urban areas, incorporates landscape design that is consistent with and complementary to the natural landscape character of the local area. Development provides for entry statement landscapes that:- (a) consist mainly of vegetative features with minimal signage and built form; (b) have all components of the entry statement contained wholly on private land; and (c) are vandal resistant and require minimal ongoing maintenance. 	Acceptab AO26	 Bentry statements:- (a) are only provided at major estate or centre entry points; (b) incorporate feature trees and suitable understorey planting as the main elements of the entry statement; (c) incorporate restrained signage with all built form features located on private land; and (d) require minimal ongoing maintenance.
PO27	Developments are designed to ensure adequate space is provided for street trees and that the provision of shade and amenity to the <i>streetscape</i> receives high priority when locating services, footpaths, driveways, car parking and buildings.	A027.1 A027.2	Editor's note—Section 9.4.1 (Advertising devices code) sets out requirements for an entry statement sign. Street trees are centrally located between kerb and footpath. Street trees are suitable to the locality, soil type, drainage and functional requirements of a shade tree. Note—Figure 9.4.2G (Street tree planting configuration) illustrates traditional and grouped street tree planting configuration examples. Figure 9.4.2G Street tree planting configuration
Provisio	n of Natural and Built Shade	1	
PO28	Development provides for landscapes that incorporate protective shade to public and communal spaces, including car parking areas, barbeque and picnic areas, children's play areas and exercise equipment stations.	AO28.1	All pathways are designed for maximum shade opportunities, with shade trees at an average of 6 metre centres and/or awnings to achieve a shade level consistent with the subtropical climate. Note—target of 80% shade at tree maturity.
		AO28.2	 All carparking areas are shaded by either:- (a) shade trees at a maximum spacing of 1 shade tree per 4 parking bays planted in:- (i) deep natural ground where growing media has sufficient volume to facilitate vigour, sustainability and will allow for the tree to achieve mature form; or (ii) structured soil cells with growing

	ance Outcomes	Accentab	le Outcomes
		Acceptab	media volume capable of
			facilitating vigour, sustainability and allowing the tree to achieve mature form; or
			(b) a constructed shade structure, only where set back from the street and consistent with the character of the area.
		AO28.3	All public or communal barbecues, picnic table areas, children's play areas and playgrounds are shaded by a constructed shade structure and supplemented with trees.
		AO28.4	Constructed shade structures (awnings, pergolas, shelters and shade sails) are manufactured from long lasting UV stable materials that are vandal resistant and require minimal ongoing maintenance.
		AO28.5	Shade trees are selected from species suitable to the location, soil and drainage conditions and create a dense, wide spreading foliage canopy with minimal limb, leaf and fruit drop.
		AO28.6	The quantities and types of built or natural shade is provided in accordance with the <i>Creating Shade at Public Facilities: Policy and Guidelines for Local Government</i> , prepared by the Australian Institute of Environmental Health.
Dethurse			
	s and Access Points	1000	
Pathway PO29	S and Access Points Development provides for public and communal pathways and access points to be fit for purpose in terms of their location, width and extent and to be effectively integrated with the landscape design for the development.	AO29	Development complies with the standards for pathways and access points specified in the Planning scheme policy for development works .
	Development provides for public and communal pathways and access points to be fit for purpose in terms of their location, width and extent and to be effectively integrated with the landscape	AO29	for pathways and access points specified in the Planning scheme policy for
PO29	Development provides for public and communal pathways and access points to be fit for purpose in terms of their location, width and extent and to be effectively integrated with the landscape design for the development. Note—public and communal pathways and access points include, but are not limited to, beach access paths, vehicle and machinery access paths, boat ramp accesses and pedestrian and bicycle pathways. onal Equipment	AO29	for pathways and access points specified in the Planning scheme policy for development works .
PO29	Development provides for public and communal pathways and access points to be fit for purpose in terms of their location, width and extent and to be effectively integrated with the landscape design for the development. Note—public and communal pathways and access points include, but are not limited to, beach access paths, vehicle and machinery access paths, boat ramp accesses and pedestrian and bicycle pathways.	AO29 AO30	for pathways and access points specified in the Planning scheme policy for
PO29 Recreati PO30	 Development provides for public and communal pathways and access points to be fit for purpose in terms of their location, width and extent and to be effectively integrated with the landscape design for the development. Note—public and communal pathways and access points include, but are not limited to, beach access paths, vehicle and machinery access paths, boat ramp accesses and pedestrian and bicycle pathways. onal Equipment Development provides for children's play areas, recreational sports areas and exercise equipment provided in public and communal open space to:- (a) be appropriately located within open space; (b) utilise equipment and materials that are fit for purpose, durable and safe; and (c) be designed for the use of a range of age groups and physical and cognitive abilities. 		for pathways and access points specified in the Planning scheme policy for development works.
PO29 Recreati PO30	Development provides for public and communal pathways and access points to be fit for purpose in terms of their location, width and extent and to be effectively integrated with the landscape design for the development. Note—public and communal pathways and access points include, but are not limited to, beach access paths, vehicle and machinery access paths, boat ramp accesses and pedestrian and bicycle pathways. onal Equipment Development provides for children's play areas, recreational sports areas and exercise equipment provided in public and communal open space to:- (a) be appropriately located within open space; (b) utilise equipment and materials that are fit for purpose, durable and safe; and (c) be designed for the use of a range of age groups and physical and cognitive abilities. pe Structures	AO30	for pathways and access points specified in the Planning scheme policy for development works.
PO29 Recreati PO30	 Development provides for public and communal pathways and access points to be fit for purpose in terms of their location, width and extent and to be effectively integrated with the landscape design for the development. Note—public and communal pathways and access points include, but are not limited to, beach access paths, vehicle and machinery access paths, boat ramp accesses and pedestrian and bicycle pathways. onal Equipment Development provides for children's play areas, recreational sports areas and exercise equipment provided in public and communal open space to:- (a) be appropriately located within open space; (b) utilise equipment and materials that are fit for purpose, durable and safe; and (c) be designed for the use of a range of age groups and physical and cognitive abilities. 		for pathways and access points specified in the Planning scheme policy for development works.

	ance Outcomes	Acceptab	le Outcomes
	maximise rain and sun protection,		
	where intended to provide shelter;		
	(d) harvest water for re-use, where		
	appropriate; and		
	(e) comply with any relevant building,		
	engineering, plumbing or electrical		
	standards.		
	Note—landscape structures include, but are		
	not limited to, shade shelters for barbeques		
	and picnic areas, pergolas, toilet and change		
	room facilities, maintenance and storage sheds, boardwalks, bridges, raised		
	platforms, lookouts, steps and stairs.		
Furnitur	e and Fixtures		
PO32	Development provides for all furniture	AO32.1	Development complies with the standards
	and fixtures used in open space or		specified in the Planning scheme policy
	landscapes to:-		for development works.
	(a) be appropriately located within		
	open space or the landscape;	AO32.2	Landscape furniture and fixtures:-
	(b) be fit for purpose, durable and safe;		(a) comply with the furniture and fixture
	(c) be vandal resistant with parts that		range design developed for the local
	are easily replaceable;		area; or
	(d) be easy to maintain; and		(b) where no range design exists, reflect a
	(e) comply with any relevant building,		coordinated or themed design aesthetic.
	engineering, plumbing or electrical		Noto a strootecano master plan may preside
	standards.		Note—a streetscape master plan may provide further guidance regarding particular streetscape
	Nata landa and formitions and fictures		treatments in a local plan area.
	Note—landscape furniture and fixtures include, but are not limited to, seats,		
	benches, picnic tables, tree guards, bicycle		Note-streetscape materials and palettes' can be
	racks/rails, balustrades and railings, bollards,		referenced from the Council's Infrastructure and
	maintenance gates, barbeque plates, taps		Guideline Standards for each centre as required.
	and drinking fountains, beach showers, bins		
	and bin surrounds, lighting and signage.		
Pavemer		1000	
PO33	Development provides for all	N133	
1 0 3 3		AO33	Development complies with the standards
1 000	pavements used in landscapes to be:-	A033	specified in the Planning scheme policy
1 000	pavements used in landscapes to be:- (a) hard wearing;	A033	
1033	pavements used in landscapes to be:- (a) hard wearing; (b) non-slip;	A033	specified in the Planning scheme policy
	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare 	A033	specified in the Planning scheme policy
	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and 	A033	specified in the Planning scheme policy
	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments 		specified in the Planning scheme policy
	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or 		specified in the Planning scheme policy
	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. 		specified in the Planning scheme policy
	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening 	A033	specified in the Planning scheme policy for development works.
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. 		specified in the Planning scheme policy for development works.
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences,		specified in the Planning scheme policy for development works.
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:-		specified in the Planning scheme policy for development works.
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with		specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; 	A034.1	specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; 	A034.1	specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; 	A034.1 A034.2	specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable.
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; 	A034.1	specified in the Planning scheme policy for development works.Development complies with the standards specified in the Planning scheme policy for development works.Fences and screens to street frontages are a minimum of 50% visually and climatically permeable.Fences and screens do not extend further
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and 	A034.1 A034.2	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, 	A034.1 A034.2	specified in the Planning scheme policy for development works.Development complies with the standards specified in the Planning scheme policy for development works.Fences and screens to street frontages are a minimum of 50% visually and climatically permeable.Fences and screens do not extend further
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to 	AO34.1 AO34.2 AO34.3	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening.
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to blend in with the character of the 	A034.1 A034.2	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening. Fences and screens bordering public use
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to 	AO34.1 AO34.2 AO34.3	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening. Fences and screens bordering public use areas allow for casual surveillance
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to blend in with the character of the 	AO34.1 AO34.2 AO34.3	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening. Fences and screens bordering public use areas allow for casual surveillance opportunities and are designed to blend with
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to blend in with the character of the 	AO34.1 AO34.2 AO34.3	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening. Fences and screens bordering public use areas allow for casual surveillance
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to blend in with the character of the 	A034.1 A034.2 A034.3 A034.4	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening. Fences and screens bordering public use areas allow for casual surveillance opportunities and are designed to blend with adjacent landscape features.
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to blend in with the character of the 	AO34.1 AO34.2 AO34.3	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening. Fences and screens bordering public use areas allow for casual surveillance opportunities and are designed to blend with adjacent landscape features. Fences and screens bordering beachfront
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to blend in with the character of the 	A034.1 A034.2 A034.3 A034.4	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening. Fences and screens bordering public use areas allow for casual surveillance opportunities and are designed to blend with adjacent landscape features. Fences and screens bordering beachfront reserves are of commercial grade pool type
Fencing,	 pavements used in landscapes to be:- (a) hard wearing; (b) non-slip; (c) shaded or coloured to reduce glare and heat reflection; and (d) finished with surface treatments that require minimal cleaning or ongoing maintenance. Walls and Screening Development provides for all fences, walls and screening structures used in landscapes, where interfacing with public use areas, to be:- (a) appropriately located within the landscape; (b) fit for purpose, durable and safe; (c) integrated within the landscape; (d) vandal and graffiti resistant where fronting a public space; and (e) articulated, screened by planting, coloured and textured so as to blend in with the character of the 	A034.1 A034.2 A034.3 A034.4	 specified in the Planning scheme policy for development works. Development complies with the standards specified in the Planning scheme policy for development works. Fences and screens to street <i>frontages</i> are a minimum of 50% visually and climatically permeable. Fences and screens do not extend further than 6 lineal metres without articulation and vegetative screening. Fences and screens bordering public use areas allow for casual surveillance opportunities and are designed to blend with adjacent landscape features. Fences and screens bordering beachfront

Perform	ance Outcomes	Acceptab	le Outcomes
		Accoptab	
			Note—Figure 9.4.2H (Design of fences, walls and structures) illustrates the preferred treatment of fences, walls and structures used in landscapes.
			Figure 9.4.2H Design of fences, walls and structures
			Han Den Den Market
			Avoid straights fence lines with no screening and little permeability
Lighting			
PO35	Development provides for lighting of a suitable standard to be incorporated in landscapes, where required, to support the use of areas and facilities and maintain the safety and security of people and property.	AO35	Development complies with the standards specified in the Planning scheme policy for development works and <i>Australian</i> <i>Standard (AS 1158.3.1 Lighting for roads</i> <i>and public spaces).</i>
Signage			
PO36	 Development provides for signage in <i>public open space</i> and communal open space areas to be:- (a) appropriately located in open space; (b) limited to park naming signs, estate signs, way finding signs and symbols, education and interpretive signs and warning/safety signs; and (c) durable and easy to maintain. 	AO36	No acceptable outcome provided.
Roads, S	Services and Utilities		
PO37	Development provides for all landscapes to be located a safe distance from utilities and underground services.	AO37.1	Planting and landscape structures are located to enable tradespersons to access, view and inspect switchboards, substations, service meters and the like.
		AO37.2	Root barriers are installed around critical <i>infrastructure</i> where <i>infrastructure</i> is located adjoining tree planting zones.
		AO37.3	 Planting in landscapes adjacent to electricity substations or high voltage transmission line easements complies with:- (a) for Energex's assets, the Energex Vegetation Management Standard; and (b) for Powerlink's assets, Powerlink's Easement Co-use Guideline and Screening Your Home from Powerlines Guideline.



9.4.3 Nuisance code¹⁰

9.4.3.1 Application

- This code applies to assessable development identified as requiring assessment against the (1)Nuisance code by the tables of assessment in Part 5 (Tables of assessment).
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.3.2 Purpose and overall outcomes

- The purpose of the Nuisance code is to maintain community wellbeing and protect environmental (1)values by preventing or mitigating:
 - nuisance emissions from development adversely impacting on surrounding sensitive land (a) uses: and
 - the exposure of proposed sensitive land uses to nuisance emissions from surrounding (b) development.
- (2)The purpose of the Nuisance code will be achieved through the following overall outcomes:
 - development is located, designed, constructed and operated to maintain appropriate (a) levels of amenity and environmental performance by:
 - not imposing unacceptable noise, light, glare, dust or odour emissions on (i) surrounding sensitive land uses; and
 - (ii) ensuring that proposed sensitive land uses are not subject to unacceptable nuisance emissions generated from surrounding development; and
 - (b) environmental values are protected by preventing or minimising potential environmental harm or environmental nuisance resulting from the release of contaminants, particularly noise, odour, light, glare, dust and particulates.

9.4.3.3 Performance outcomes and acceptable outcomes

Table 9.4.3.3.1 Performance outcomes and acceptable outcomes for assessable development

<u>Acousti</u> PO1	<i>ic Amenity and Noise</i> ¹¹ Development, other than development involving live entertainment or amplified sound in a hospitality area or as part of a temporary event, is located, designed, constructed and operated to ensure that noise emissions do not adversely impact on surrounding <i>sensitive land</i> <i>uses</i> . Note—this performance outcome applies even if noise emissions are generated by <i>sensitive land uses</i> , from sources such as communal areas, service areas, plant and	AO1	Development does not involve activities that would cause noise related environmental harm or nuisance. OR Development ensures noise does not emanate from the <i>site</i> through site layout, design, construction, and operation.
PO2	 equipment (e.g. air conditioning units) and the like. Development that is a <i>sensitive land use</i> is located, designed, constructed and operated to achieve a satisfactory 	AO2	The <i>sensitive land use</i> is not established in an area that will be adversely impacted by noise generated by existing land uses,
the prep ¹¹ Note—(Outcom	level of acoustic amenity where there is note—the Planning scheme policy for nuisance code paration of a noise impact assessment report, odour impa <i>Council</i> will take the order of occupancy of new and exist he PO1 of this code. The intent of this performance outco onse to encroachment by new noise sensitive developme	act assessme ing noise sou me is not to re	nt report and lighting impact assessment report.

¹⁰ Editor's note—the **Planning scheme policy for nuisance code** provides guidance for achieving outcomes of this code, including the preparation of a noise impact assessment report, odour impact assessment report and lighting impact assessment report.

Note-Council will take the order of occupancy of new and existing noise sources into consideration in implementing Performance Outcome PO1 of this code. The intent of this performance outcome is not to require existing lawful uses to control noise emissions in response to encroachment by new noise sensitive development.

Perform	ance Outcomes	Accentat	ble Outcomes
	potential for noise emissions generated		the area.
	from surrounding development to		
	adversely affect the sensitive land use.		OR
	Editor's note—this performance outcome relates to a 'reverse amenity' situation where a proposed <i>sensitive land use</i> may be adversely impacted by noise emissions from surrounding development. In such cases, it is contingent upon the proposed <i>sensitive land use</i> to implement measures to ensure a satisfactory level of acoustic amenity is provided to prospective occupants and users of the development.		Where located in an area where adverse noise impacts are likely, the <i>sensitive land</i> <i>use</i> mitigates all potential impacts through site layout, design, construction, and operation.
PO3	Development involving live	AO3	No acceptable outcome provided.
	entertainment or amplified sound in a hospitality area, or as part of a temporary event, provides a satisfactory level of acoustic amenity for surrounding <i>sensitive land uses</i> , having regard to the location and setting of the development and the frequency of the event.		
	Dust and Particulates	-	
PO4	Development is located, designed, constructed and operated to ensure that odour, dust and particulate emissions do not cause environmental nuisance to <i>sensitive land uses</i> (whether existing or proposed uses) in the surroundings of the proposed development.	AO4.1	Development does not involve activities that create odorous air emissions. OR Development does not result in odour that causes environmental harm or nuisance with
	the proposed development.	AO4.2	respect to surrounding land uses.
		AU4.2	Development does not involve activities that will result in airborne particles or emissions being generated.
			OR
			Development ensures that no airborne particles or emissions cause environmental harm or nuisance through site layout, design, construction and operation.
PO5	Development that is a sensitive land	AO5	No acceptable outcome provided.
	<i>use</i> is located, designed, constructed and operated to ensure that the proposed use is not subject to odour, dust or particulate emissions from surrounding development that would cause environmental nuisance.		
	and Glare		
PO6	Development ensures that lighting and glare does not have any significant adverse amenity impacts or create nuisance to surrounding premises.	AO6.1	 Lighting devices are located, designed and installed to:- (a) minimise light spillage on surrounding premises; (b) preserve an acceptable degree of lighting amenity at surrounding premises; (c) provide covers or shading around lights; (d) direct lights downwards; (e) position lights away from possible affected areas; and (f) enable the brightness of lights to be adjusted to low levels.
		AO6.2	Streets, driveways, servicing and car parking areas are located and designed to

Performance Outcomes	Acceptat	ole Outcomes
		minimise vehicle headlight impacts on any surrounding residential premises.
	AO6.3	 Reflective glare that would cause nuisance to residents or the general public at surrounding premises and public spaces is avoided or minimised through the use of:- (a) external building materials and finishes with low-reflectivity; or (b) building design/architectural elements or landscape treatments to block or reduce excessive reflected glare.



9.4.4 Reconfiguring a lot code

9.4.4.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Reconfiguring a lot code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.4.2 Purpose and overall outcomes

- (1) The purpose of the Reconfiguring a lot code is to ensure that new lots are configured in a manner which:-
 - (a) is consistent with the desired character of the local area;
 - (b) is appropriate for their intended use;
 - (c) is responsive to site constraints;
 - (d) provides appropriate access (including access for services); and
 - (e) supports high quality urban and landscape design outcomes.
- (2) The purpose of the Reconfiguring a lot code will be achieved through the following overall outcomes:-
 - (a) development provides for lots that are of a size and have dimensions that are appropriate for their intended use and responsive to local character and site constraints;
 - (b) development provides for lots that have a suitable and safe means of *access* to a public road; and
 - (c) development provides for subdivisions that result in the creation of safe and healthy communities by:-
 - incorporating a well-designed and efficient lot layout that promotes walking, cycling and the use of public transport;
 - (ii) incorporating a road and *transport network* that is responsive to, and integrated with, the natural topography of the *site*, is integrated with existing or planned adjoining development and supports the circulation of public transport with no or only minimal route redundancy;
 - (iii) avoiding adverse impacts on native *vegetation*, *waterways*, *wetlands* and other *ecologically important areas* present on, or adjoining the *site*;
 - (iv) avoiding or mitigating the risk to people and property from natural hazards;
 - incorporating a lot layout that is responsive to natural climatic influences and allows for new dwellings to reflect the principles of sub-tropical and sustainable design; and
 - (vi) providing appropriate *infrastructure*, including reticulated water and sewerage (where available), sealed roads, pedestrian and bicycle paths, urban and nonurban open space and community facilities in urban areas.

9.4.4.3 **Performance outcomes and acceptable outcomes**

Table 9.4.4.3.1 Performance outcomes and acceptable outcomes for assessable development

Performa	ance Outcomes	Acceptable	Outcomes	
Lot Layo	Lot Layout and Site Responsive Design			
PO1	Development provides for a lot layout and configuration of roads and other transport corridors that avoids land subject to natural hazards and is responsive to:-	A01	No acceptable outcome provided. Note—the following parts of the planning scheme include elements required to be addressed by a development application for reconfiguring a lot:-	

Performa	nce Outcomes	Acceptable C	Dutcomes
enternina	(a) the setting of the <i>site</i> within an		(a) Part 7 (Local plan codes), which
	urban or non-urban context;		identifies local planning requirements for
	(b) any natural environmental values		local plan areas;
	or hazards present on, or		(b) Part 8 (Overlays), which identifies
	adjoining the site;		development constraints and valuable
			resources; and
	(c) any places of cultural heritage		(c) Part 10 (Other plans), which identifies
	significance or character areas		structure planning and other requirements
	present on, or adjoining the <i>site</i> ;		for declared master plan areas.
	(d) any important landmarks, views,		
	vistas or other areas of high		Note-the Council may require submission of a
	scenic quality present on, or able		local area structure plan for a site exceeding 10
	to be viewed from, the <i>site</i> ;		hectares in area, or a development involving
	(e) any natural economic resources		the creation of 50 or more new lots, so as to demonstrate compliance with Performance
	present on, adjoining or near the		Outcome PO1.
	<i>site</i> ; and		
	(f) sub-tropical and sustainable		
	design in terms of the orientation		
	of lots, the provision of water		
	cycle <i>infrastructure</i> and the		
	incorporation of landscapes that		
	are complementary to existing		
	native <i>vegetation</i> within the		
	subdivision.		
Lot Layou	It and Neighbourhood/Estate Design		
PO2	Development provides for a lot layout,	AO2	No acceptable outcome provided.
	land use and infrastructure		
	configuration that:-		Note-the Council may require submission of a
	(a) provides for an efficient land use		local area structure plan for a site exceeding 10
	pattern;		hectares in area, or a development involving
	(b) effectively connects and		the creation of 50 or more new lots, so as to
	integrates the <i>site</i> with existing or		demonstrate compliance with Performance
	planned development on		Outcome PO2.
	adjoining sites;		
	(c) provides for the efficient		
	movement of pedestrians,		
	cyclists, public transport and		
	private motor vehicles, in that		
	order of priority;		
	(d) provides for moderate and large		
	size developments to have		
	multiple access points;		
	(e) creates legible and		
	Interconnected movement and open space networks;		
	(f) provides defined edges to <i>public</i>		
	<i>open space</i> by the alignment of a new road and avoids direct		
	interface between freehold lots		
	and <i>public open space</i> ;		
	(g) promotes a sense of community		
	identity and belonging;		
	(h) provides for a high level of		
	amenity, having regard to		
	potential noise, dust, odour and		
	lighting nuisance sources;		
	(i) accommodates and provides for		
	the efficient and timely delivery of		
	infrastructure appropriate to the		
	site's context and setting;		
	(j) avoids the use of culs-de-sac;		
	(k) maximises the number of lots that		
	have exposure to favourable solar		
	orientation for future dwellings;		
	(I) avoids the sporadic or out-of-		

Part 9

Performa	ance Outcomes	Acceptable	Outcomes
	ecologically important areas and		
	provides for the clustering of lots		
	into cleared areas.		
Size and	Dimensions of Lots		
PO3	Development provides for the size,	AO3.1	Except where otherwise specified in a
	 dimensions and orientation of lots to:- (a) be appropriate for their intended use in accordance with the intent of the applicable zone code; (b) be consistent with the prevailing urban fabric (where applicable) and the preferred character of the local area; (c) where for residential lots, provide sufficient area for a suitable 	AO3.2	structure plan or local plan code, a lot complies with the minimum lot size and where applicable, the minimum average lot size specified in Column 2 of Table 9.4.4.3.2 (Minimum lot size and dimensions) . Except where otherwise specified in a structure plan or local plan code, a lot contains a minimum square or rectangular
	 building envelope, vehicle access and useable private open space, without the need for major earthworks and retaining walls; (d) where for commercial and industrial lots, provide sufficient area to accommodate a wide 	AO3.3	area and a minimum <i>frontage</i> that complies with Columns 3 and 4 respectively of Table 9.4.4.3.2 (Minimum lot size and dimensions) . All reconfigured lots on land subject to a constraint or valuable feature identified on
	 range of industry and commercial use types; (e) where not located in a sewered area, provide sufficient area for the safe and sustainable on-site treatment and disposal of effluent; (f) take account of and respond appropriately to natural values 		an overlay map contains a building envelope marked on a plan of development that demonstrates that there is an area sufficient to accommodate the intended purpose of the lot that is not subject to the constraint or valuable feature or that appropriately responds to the constraint or valuable feature.
	and site constraints; and (g) in the case of land included in the Rural zone, prevent the fragmentation of rural land.	AO3.4 AO3.5	 No additional lots are created on land included in:- (a) the Limited development (landscape residential) zone; or (b) the Rural residential zone (outside of the rural residential growth management boundary).
		A03.5	Lot boundaries and roads are aligned to avoid traversing <i>ecologically important areas</i> .
Small Re	sidential Lots		
PO4	Development provides for small residential lots (of less than 600m ²) to be created in limited circumstances where:- (a) consistent with the intent of the zone and compatible with the preferred character of the local area; and	AO4.1 AO4.2	Notwithstanding Acceptable Outcome AO3.1 (above), small residential lots may be created on land in one of the following zones:- (a) the Emerging community zone; or (b) the Medium density residential zone. The land on which small residential lots
	(b) on land that is fit for purpose and not subject to topographic constraints.		are created has a <i>slope</i> of not more than 10%.
PO5	Small residential lots (of less than 600m ²) are developed in accordance with a plan of development, which demonstrates that:- (a) most lots are provided with a	AO5.1	A plan of development complies with the design criteria for small residential lots specified in Table 9.4.4.3.3 (Design criteria for small residential lots).
	 north-south orientation to optimise opportunities for passive solar design and natural airflow; (b) lots have sufficient <i>frontage</i> to provide access and parking without detrimentally impacting upon desired streetscape and 	A05.2	Each small residential lot is capable of containing a rectangle suitable for building purposes where the long axis of the rectangle faces between 30° east and 20° west of true north.

Performa	ance Outcomes	Acceptable	Outcomes
	built form outcomes;		
	(c) the development is efficiently		
	configured and provides laneway		
	access that optimises the use of		
	public streets by pedestrians,		
	minimises pedestrians/vehicle		
	conflict points and provides		
	sufficient on-street parking		
	opportunities;		
	(d) an appropriate building envelope		
	can be accommodated;		
	(e) sufficient and useable private		
	open space can be provided for		
	each future <i>dwelling</i> ;		
	(f) any building contained within the		
	building envelope is unlikely to		
	impact adversely upon the		
	amenity of <i>adjoining premises</i> as		
	a result of overshadowing,		
	privacy and access to sunlight;		
	and		
	(g) landscape and tree planting can		
	be accommodated in deep soil		
	zones to soften built form		
	elements, improve micro climate		
	and contribute to the quality of the		
Poar (Ha	public realm. tchet) Lots	L	
PO6	Development provides for <i>rear lots</i> to	AO6	Rear lots are designed such that:-
FOU	be created only where:-	A00	(a) the minimum area of the lot, exclusive
	(a) forming part of a residential, rural		of any access strip, complies with
	residential or rural subdivision;		Columns 2 and 3 of Table 9.4.4.3.2
	(b) the lots are not likely to prejudice		(Minimum lot size and
	the subsequent development of		dimensions);
	adjoining land;		(b) the gradient of the access strip does
	(c) it is not desirable nor practicable		not exceed 10%;
	for the site to be reconfigured so		(c) no more than four lots directly adjoin
	that all lots have full <i>frontage</i> to a		the <i>rear lot</i> , excluding lots that adjoin
	road;		at one point;
	(d) the siting of buildings on the <i>rear</i>		(d) no more than three lots gain access
	<i>lot</i> is not likely to be detrimental to		from the same access handle;
	the use and amenity of the		(e) no more than 10% of lots within a
	surrounding area;		subdivision are accessed from an
	(e) uses on surrounding land will not		access handle;
	have a detrimental effect on the		(f) where two <i>rear lots</i> adjoin each other,
	use and amenity of the <i>rear lot</i> ;		a single common driveway and
	(f) the safety and efficiency of the		reciprocal access easements are
	road from which access is gained		provided;
	is not adversely affected; and		(g) no more than two <i>rear lots</i> and/or <i>rear</i>
	(g) vehicular access to rear lots will		lot access strips directly adjoin each
	not have a detrimental impact on		other;
	lots adjoining the access strip due		(h) rear lot access strips are located on
	to excessive noise, light, dust,		only one side of a full <i>frontage</i> lot;
	stormwater runoff and the like.		and
			(i) rear lot access strips comply with the
			requirements of Table 9.4.4.3.4
			(Access strip requirements for rear
Irrogular	Shapod Lots	l	lots).
PO7	Shaped Lots	A07	Irregular late are designed as that they
FU/	Development provides for irregular	AUI	Irregular lots are designed so that they:-
	shaped lots to be created only where:-		(a) fully contain a square or rectangle specified in Column 3 of Table
	 (a) the creation of regular lots is impractical such as at a curve in 		9.4.4.3.2 (Minimum lot size and
	initiactical stict as at a curve in	1	
	the road;		dimensions); and

Performa	nce Outcomes	Acceptable	Outcomes
	 provided, while not adversely impacting on the functionality of the surrounding road network; and (c) the irregular lot is demonstrably suitable for its intended purpose. 		irregular shaped lots).
	ement of Lot Boundaries		
PO8	Development provides that the rearrangement of lot boundaries is an improvement on the existing situation.	A08	 The rearrangement of lot boundaries results in an improvement to the existing situation whereby the size and dimensions of proposed lots comply more fully with Table 9.4.4.3.2 (Minimum lot size and dimensions), and at least one of the following is achieved:- (a) the rearrangement of lots remedies an existing boundary encroachment by a building or areas; (b) the rearranged lots will be made more regular in shape; (c) access is provided to a lot that previously had no access or an unsuitable access; (d) the rearranged lots better meet the overall outcomes for the zone and the local plan area in which the <i>site</i> is situated; (e) the rearrangement of lots remedies a significant improvement in rural productivity; or (g) the rearrangement of lots results in a significant improvement in the protection of environmental values.
PO9	Development provides that the subdivision of space above or below the surface of land facilitates efficient development in a manner that is consistent with the overall outcomes for the zone and local plan area in which the <i>site</i> is located, or is consistent with a development approval for material change of use that has not lapsed.	AO9	No acceptable outcome provided.
Subdivis	ion by Lease		
PO10	Development provides that subdivision by lease facilitates efficient development in a manner that is consistent with the overall outcomes for the zone and local plan area in which the <i>site</i> is located, or is consistent with a development approval for material change of use that has not lapsed.	AO10	No acceptable outcome provided.
	o Sensitive Land, Incompatible Uses ar		
PO11	 Development provides for lots to be created in locations that:- (a) are adequately buffered to prevent potential adverse impacts on future users of the lots and adjacent lots; (b) separate the lots from incompatible uses and 	AO11.1	No part of any lot included in a <i>residential zone</i> , the Emerging community zone or the Rural residential zone is located within the setback area of an existing <i>intensive rural use</i> as specified in Column 4 of Table 9.3.16.3.3 (Siting and setback requirements for intensive rural uses) .

Porforma	ince Outcomes	Acceptable	Outcomos
Penonna	infrastructure;	Acceptable AO11.2	Where located adjacent to rural land,
	(c) provide for protection of the	A011.2	development for residential and rural
	scenic qualities of the Sunshine		residential lots provides an agricultural
	Coast through visual screening of		<i>buffer</i> that complies with the buffer design
	development; and		criteria specified in Table 2 of the <i>State</i>
	(d) do not create "reverse amenity"		Planning Guidelines – Separating
	situations where the continued		Agricultural and Residential Land Uses.
	operation of existing uses or		Agricultural and Residential Land USes.
	infrastructure is compromised by	AO11.3	Any part of any lot included in a
	the proposed development.	A011.5	residential zone, the Emerging community
	the proposed development.		zone or the Rural residential zone:-
			(a) can accommodate a minimum square
			or rectangle as specified in Column 3
			of Table 9.4.4.3.2 (Minimum lot size
			and dimensions), clear of any
			electricity transmission line
			easement;
			(b) is not located within 500 metres of an
			existing or planned high voltage
			transmission grid substation site;
			(c) is not located within 100 metres of an
			existing bulk supply transformer;
			(d) incorporates a minimum 40 metre
			wide landscape <i>buffer</i> in accordance
			with the Landscape code, where
			adjoining a <i>major road</i> or railway
			corridor;
			(e) is not located within 60 metres of an
			existing zone transformer; and
			(f) is not located within any area subject
		AO11.4	to unacceptable noise, vibration,
			lighting or odour nuisance from the
			operation of an existing lawful,
			adjoining or nearby use.
			, , , ,
			Any reconfiguring a lot involving land in a
			residential zone, the Emerging community
			zone or the Rural residential zone
			provides for the number of lots burdened
			by electrical transmission line easements
			to be reduced to one.
Avoidand	ce of Contaminated Land		
PO12	Development ensures that lots are not	AO12	No acceptable outcome provided.
	created on contaminated land, unless		
	the land is first remediated and		
	declared to be fit for the intended		
_	purpose.		
	d Public Transport Infrastructure ¹²	4012	
PO13	Development involving the creation of	AO13	No acceptable outcome provided.
	new roads and other transport		Editor's note . Postion 0.4.0 (Torrespond
	corridors ensures that the road		Editor's note – Section 9.4.8 (Transport and
	network:-		parking code) and Section 9.4.11 (Works, services and infrastructure code) include
	(a) accords with the 2031 Functional		assessment criteria relating to the design and
	Transport Hierarchy as shown on		construction of road and public transport
	Figure 9.4.8A (2031 Functional		infrastructure.
	Transport Hierarchy);		
	(b) provides visible distinction of		
	roads, based on function and		
	design features;		
	(c) provides convenient, safe and		
	efficient movement for all modes		
	of transport between land use		
		1	

Part 9

¹² Editor's note—vehicle access points to State controlled roads require approval under the *Transport infrastructure Act 1994*. Access approvals to State controlled roads are administered by the Department of Transport and Main Roads in accordance with the Road Planning and Design Manual.

Performa	ince Outcomes	Acceptable	Outcomes
	activities with priority given to		
	pedestrian movement and bicycle		
	use over vehicle movements;		
	(d) allows for unimpeded and		
	practical <i>access</i> to each		
	proposed lot;		
	(e) accommodates or facilitates		
	access to cycle and pedestrian		
	pathways; (f) facilitatos a bigh standard of		
	(f) facilitates a high standard of urban design which reflects a grid		
	pattern to assist connectivity,		
	particularly for pedestrians and		
	cyclists;		
	(g) provides for the operation of		
	public transport and		
	accommodates public transport		
	infrastructure;		
	(h) connects to and integrates with		
	existing roads and other relevant		
	facilities within and external to the		
	land to be subdivided;		
	(i) provides for the dedication and		
	construction of roads where		
	required to allow <i>access</i> to and		
	proper development of adjoining		
	vacant land that is intended for		
	development; (j) provides for the construction and		
	(J) provides for the construction and adequate drainage of all		
	proposed roads, pathways,		
	laneways and bikeways within		
	and adjoining the land to be		
	subdivided;		
	(k) does not unreasonably adversely		
	impact on existing vehicular		
	traffic, active transport users or		
	the amenity of the surrounding		
	environment;		
	(I) provides safe passage for wildlife		
	movement and incorporates		
	wildlife movement corridors into		
	the entire design and use of the		
	road system; and (m) incorporates appropriate areas for		
	the provision of street trees and		
	landscapes.		
PO14	Development involving the creation of	AO14	No acceptable outcome provided.
	new roads ensures that a network of		
	public transport routes is provided		
	such that public transport can		
	efficiently service the		
	neighbourhood/estate with no, or only		
	minimal, route redundancy.		
PO15	Development involving the creation of	AO15	No acceptable outcome provided.
	new roads ensures that design of		
	streets and roads to be used as a	1	
	public transport route allows for the	1	
	efficient and unimpeded movement of	1	
	buses, without facilitating high traffic	1	
PO16	speeds. Development involving the creation of	AO16	In an urban area, at least 90% of lots are
	new roads ensures that most or all	AU 10	within 400 metres safe walking distance of
	urban lots are located within walking		an existing or proposed public transport
	distance of public transport.		route, or within 500 metres safe walking distance of a public transport stop.

Performa	ince Outcomes	Acceptable	Outcomes
	an and Bicycle Path Infrastructure		
PO17	Development provides for the	AO17	No acceptable outcome provided.
	establishment of a network of		Editor's note - Section 9.4.8 (Transport and
	pedestrian and bicycle paths that:- (a) provides a high level of		parking code) and Section 9.4.0 (Transport and parking code) and Section 9.4.11 (Works,
	permeability and connectivity;		services and infrastructure code) provide
	(b) maximises opportunities to link		requirements for the design and construction of pedestrian and bicycle path <i>infrastructure</i> .
	activity centres, employment		pedesthan and bicycle path initastructure.
	areas, residential areas,		
	community facilities, open space		
	and public transport stops; (c) have an alignment that		
	maximises visual interest, allows		
	for the retention of trees and		
	other significant features and		
	does not compromise the		
	operation of or access to other		
	infrastructure; (d) incorporates safe street crossings		
	with adequate sight distances,		
	pavement markings, warning		
	signs and safety rails;		
	(e) incorporates shade through the		
	provision of street trees and		
	landscapes; and (f) is well lit and located where there		
	 (f) is well lit and located where there is casual surveillance from nearby 		
	premises.		
Open spa	ace (including environmental reserves)	and drainage	e reserves
PO18	Development provides for parks,	AO18	No acceptable outcome provided.
	environmental reserves drainage		
	reserves and open space		Editor's note—Section 9.4.2 (Landscape code) includes requirements for the design and
	<i>infrastructure</i> that:- (a) provides for a range of passive		construction of landscape elements in public
	and active recreation settings and		parks and open space infrastructure.
	can accommodate adequate		
	facilities to meet the needs of the		
	community;		
	(b) is well distributed and contributes		
	to the legibility, accessibility and character of the locality;		
	(c) creates attractive settings and		
	focal points for the community;		
	(d) benefits the amenity of adjoining		
	land uses;		
	(e) incorporates appropriate		
	measures for stormwater and flood management;		
	(f) facilitates the retention and		
	enhancement of native		
	vegetation, waterways, wetlands		
	and other ecologically important		
	areas and natural and cultural		
	features; (g) is cost effective to maintain; and		
	(h) is dedicated as public land in the		
	early stages of the subdivision.		
Local Pa			
PO19	Development provides for local parks	AO19	Development contributes local parks at a
	that:-		rate of 25m ² per additional dwelling or lot,
	(a) are of a size and configuration		whichever is greater:-
	that meets the needs of the local catchment;		(a) having a minimum area of 0.5 hectares or adjoining existing or
	(b) are located central to the		proposed local parks to achieve a
	catchment they are intended to		consolidated useable area and open
	serve;		space connectivity;
			· ·

Dorform		Accontable	Outcomos
	nce Outcomes (c) provide a recreation area that is a	Acceptable	(b) located within 500 metres of the
	prominent local feature which		catchment the park is intended to
	contributes to the character and		serve; and
	identity of the local area and		(c) in accordance with the Planning
	provides visual relief from the		scheme policy for development
	built environment;		works.
	(d) are designed to accommodate		
	varying and changing recreation		Editor's note-local parks are required to be
	activities;		provided where identified in council's Environment and Liveability Strategy or a local
	(e) are co-located with other open		plan area or one or more of the following
	space and community facilities,		applies:
	where possible; (f) integrate with the natural		(a) the development creates a residential
	(f) integrate with the natural environment;		catchment generating the need for a local
	(g) are fit for purpose, low		park; or, (b) the development extends an existing
	maintenance and minimise asset		residential catchment, generating the
	life cycle costs; and		need to either extend an existing local
	(h) achieve Council's desired		park, or, provide an additional local park;
	standards of service for a local		or, (c) the development extends an existing
	park.		(c) the development extends an existing residential catchment that is not already
			serviced by a local park.
Stormwa	ter Management Infrastructure		
PO20	Development provides for the effective	AO20	No acceptable outcome provided.
	drainage of lots and roads in a		
	manner that:-		Editor's note—Section 9.4.6 (Stormwater
	(a) maintains and restores the		management code) includes requirements for the design and construction of stormwater
	natural flow regime;		management infrastructure.
	 (b) effectively manages stormwater quality and quantity; and 		
	(c) ensures no adverse impacts on		
	receiving waters and surrounding		
	land.		
			1
	cture and Services		
Infrastrue PO21	Development provides that each lot is	AO21.1	In urban areas, new lots are connected
	Development provides that each lot is provided with appropriate	AO21.1	to:-
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and	AO21.1	to:- (a) the reticulated water supply
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.1	to:- (a) the reticulated water supply <i>infrastructure</i> network;
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and	AO21.1	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i>
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.1	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks;
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.1	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks;
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.1	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.1	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed telecommunications <i>infrastructure</i>
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.1	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.1	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network.
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	A021.1	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater)
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	A021.1	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	A021.1	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	A021.1	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.1	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	A021.1	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the		 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply infrastructure network.
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	A021.1 A021.2	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the		 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply infrastructure network.
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the		 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply infrastructure network.
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.2	 to:- (a) the reticulated water supply infrastructure network; (b) the reticulated sewer infrastructure networks; (c) the reticulated electricity infrastructure network; and (d) where available, a high speed telecommunications infrastructure network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply infrastructure network.
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the		 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed telecommunications <i>infrastructure</i> network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply <i>infrastructure</i> network. In urban areas, where 5 or more new lots are created or a new road is created, electricity supply <i>infrastructure</i> is provided underground.
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.2	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed telecommunications <i>infrastructure</i> network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply <i>infrastructure</i> network. In urban areas, where 5 or more new lots are created or a new road is created, electricity supply <i>infrastructure</i> is provided underground. In non-urban areas, new lots are provided with:-
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.2	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed telecommunications <i>infrastructure</i> network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply <i>infrastructure</i> network. In urban areas, where 5 or more new lots are created or a new road is created, electricity supply <i>infrastructure</i> is provided underground. In non-urban areas, new lots are provided with:- (a) a connection to the reticulated water
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.2	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed telecommunications <i>infrastructure</i> network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply <i>infrastructure</i> network. In urban areas, where 5 or more new lots are created or a new road is created, electricity supply <i>infrastructure</i> is provided underground. In non-urban areas, new lots are provided with:- (a) a connection to the reticulated water supply <i>infrastructure</i> network, where
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.2	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed telecommunications <i>infrastructure</i> network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply <i>infrastructure</i> network. In urban areas, where 5 or more new lots are created or a new road is created, electricity supply <i>infrastructure</i> is provided underground. In non-urban areas, new lots are provided with:- (a) a connection to the reticulated water supply <i>infrastructure</i> network, where available;
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.2	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed telecommunications <i>infrastructure</i> network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply <i>infrastructure</i> network. In urban areas, where 5 or more new lots are created or a new road is created, electricity supply <i>infrastructure</i> is provided underground. In non-urban areas, new lots are provided with:- (a) a connection to the reticulated water supply <i>infrastructure</i> network, where available; (b) a connection to the reticulated sewer
	Development provides that each lot is provided with appropriate development <i>infrastructure</i> and services commensurate with the	AO21.2	 to:- (a) the reticulated water supply <i>infrastructure</i> network; (b) the reticulated sewer <i>infrastructure</i> networks; (c) the reticulated electricity <i>infrastructure</i> network; and (d) where available, a high speed telecommunications <i>infrastructure</i> network. Editor's note—Section 9.4.6 (Stormwater management code) and Section 9.4.7 (Sustainable design code) include requirements for integrated water management and dual water reticulation systems that may reduce demand upon the reticulated water supply <i>infrastructure</i> network. In urban areas, where 5 or more new lots are created or a new road is created, electricity supply <i>infrastructure</i> is provided underground. In non-urban areas, new lots are provided with:- (a) a connection to the reticulated water supply <i>infrastructure</i> network, where available;

Performa	ance Outcomes	Acceptable	Outcomes
			 suitable to accommodate an on-site effluent treatment and disposal system; (c) a connection to the reticulated electricity <i>infrastructure</i> network or a separate electricity generation source; and (d) where available, access to a high speed telecommunications network.
Waterwa	y Esplanades		
P022	Development involving subdivision including or adjacent to a major <i>waterway</i> (stream order 3 or above) provides for continuous public access along the full length of the <i>waterway</i> , in addition to any requirement for <i>park</i> and open space.	AO22	 Development provides for a public esplanade to be provided for land adjoining any <i>waterway</i> of stream order 3 or above, where identified on a Biodiversity, Waterways and Wetlands Overlay Map, which:- (a) in respect to a <i>waterway</i> of stream order 5 or above, is a minimum of 30 metres wide measured from the high bank; (b) in respect to a <i>waterway</i> of stream order 3 or 4, is a minimum of 10 metres wide measured from the high bank; (c) is dedicated as public land; and (d) has legal access from a public place for the purposes of maintenance.

Column 1		Column 2		Column 3	Column 4
Zone		Minimum lot size		Minimum	Minimum
	Column 2A Slope ≤ 15%	Column 2B Slope > 15% and ≤ 20%	Column 2C Slope > 20%	square or rectangle (metres)	frontage (metres)
Low density residential zone	600m²	1,000m²	1,500m²	15 x 20	15
Medium density residential zone	800m²	1,000m ²	1,500m²	15 x 20	15
High density residential zone	800m²	1,000m²	1,500m²	20 x 30	20
Tourist accommodation zone	1,000m²	1,000m²	1,500m²	20 x 40	20
Principal centre zone	400m ²	1,000m²	1,000m²	10 x 12	Not specified
Major centre zone	400m ²	1,000m²	1,000m²	10 x 12	Not specified
District centre zone	400m²	1,000m²	1,000m²	10 x 12	Not specified
Local centre zone	400m²	1,000m²	1,000m²	10 x 12	Not specified
Specialised centre zone	1,000m²	1,000m²	1,000m²	20 x 40	20
Sport and recreation zone	Not specified	Not specified	Not specified	Not specified	Not specified
Open space zone	Not specified	Not specified	Not specified	Not specified	Not specified
Low impact industry zone	1,000m²	1,000m²	1,000m²	20 x 40	20
Medium impact industry zone	1,500m²	1,500m²	1,500m²	30 x 40	30
High impact industry zone	4,000m²	4,000m²	4,000m²	30 x 40	40
Waterfront and marine industry zone	1,000m²	1,000m²	1,000m²	20 x 40	20
Community facilities zone	Not specified	Not specified	Not specified	Not specified	Not specified
Environmental management and conservation zone	Not specified	Not specified	Not specified	Not specified	Not specified
Limited development (landscape residential) zone	No new lots to be	created			
Rural zone	100 hectares	100 hectares	100 hectares	Not specified	250
Rural residential zone where within the rural residential growth management boundary.	6,000m² (minimum average 1 hectare)	6,000m² (minimum average 1 hectare)	6,000m² (minimum average 1 hectare)	50 x 100	60
Rural residential zone not otherwise specified.	No new lots to be	created			
Emerging community zone	10 hectares	10 hectares	10 hectares	Not specified	100
Tourism zone	Not specified	-			

Table 9.4.4.3.2Minimum lot size and dimensions ¹³ ¹⁴ ¹⁵ ¹⁶

¹³ Note—the minimum lot size requirements specified in column 2 of Table 9.4.4.3.2 (Minimum lot size and dimensions) may be varied by an applicable local plan or structure plan.

¹⁴ Note—where a local plan or structure plan varies the minimum lot size requirements specified in column 2 of **Table 9.4.4.3.2** (Minimum lot size and dimensions), it does not override the requirement for a larger lot size to be provided on sloping sites (i.e. column 2B and 2C of **Table 9.4.4.3.2** continue to apply to the extent relevant).

¹⁵ Note—for land included in the Medium density residential zone or Emerging community zone, the minimum lot size requirements specified in column 2 of **Table 9.4.4.3.2 (Minimum lot size and dimensions)** may be varied by an approved plan of development that complies with the criteria for small lot housing and, where in the Medium density residential zone, provides for a minimum lot size of 300m².

¹⁶ Note—where Table 9.4.4.3.2 (Minimum lot size and dimensions) has not specified a minimum lot size or other dimension, development must satisfy Performance Outcome PO3.

Table 9.4.4.3.3 Design criteria for small residential lots

Column 1	Column 2	Column 3	Column 4
Design element	Row lots	Narrow lots	Small lots
Lot Width	< 10 metres	10 – 15 metres	> 15 metres
Access	Via laneway with a minimum width of 6 metres except where orientation of <i>private</i> <i>open space</i> is optimised by having vehicle <i>access</i> via the primary street <i>frontage</i> .	Not specified	In accordance with the Queensland Development Code.
Garages	less than 12.5 metres where t	provided on a lot with a <i>frontage</i> he second storey extends over t frontage by a minimum of 1 0% of the garage width.	
Maximum Site Cover	60%	50%	
Minimum Private Open Space	20m ² with 4 metre dimension generally at rear of dwelling.	30m ² with 5 metre dimension generally at rear of dwelling.	
Minimum Planting	20m ² with access to deep soil and sky with 12m ² at primary street <i>frontage</i> .	30m ² with access to deep soil and sky with 15m ² at primary street <i>frontage</i> .	
Minimum Front Setback	(b) 4 metres to house wall	or and 4 metres to house wall s provided; and and 2 metres to verandah / ess provided by rear laneway.	
Minimum Rear Setback	(a) 4 metres where abutting a	nother residential lot; and y and 0.5 metre to first upper	
Minimum Side Setback	1 metre where not nominated a of development.	as built to boundary on the plan	
Minimum Parking	 spaces with at least one s or (b) for a lot not exceeding 30 car parking space. Note—car parking spaces m configuration provided that all within the <i>site</i> such that parket the road reserve. 	² —at least 2 (two) car parking space capable of being covered; 00m ² —at least 1 (one) covered asy be provided in a tandem I spaces are wholly contained d vehicles do not protrude into oble and accessible from primary	
Front Entry	street frontage.		
Street Surveillance	Minimum 1 living space ov frontage.		
Front Fence	 (a) Maximum of 1.8 metres hi (b) 50% transparent where ex (c) Articulated to allow for der 	ceeding 1.2 metres high; and	
Light and Air	Buildings that exceed 8 metres in depth must be provided with a courtyard within the building footprint that has a minimum dimension of 2 metres x 2 metres.	Not specified	

Column 1 Zone	Column 2 Minimum width of single access strip (metres)	Column 3 Minimum width of combined access strips with reciprocal easement (metres)	Column 4 Minimum driveway width (metres)	Column 5 Maximum driveway length (metres)	Column 6 Standard of construction
Residential zones	5	6 (2x3)	3.5	40	Sealed or concreted pavement
Rural Residential zone	6	6 (2x3)	3.5	80	Sealed or concreted pavement
Rural zone	10	10 (2x5)	4	100	All weather gravel pavement

Table 9.4.4.3.5 Mi	inimum width for irregular shaped	l lots
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Column 1 Zone	Column 2 Minimum width measured at site frontage (metres)	Column 3 Minimum width measured 6 metres from site frontage (metres)
Low density residential zone and Medium density residential zone	6	10
High density residential zone and Tourist accommodation zone	10	15
Principal centre zone, Major centre zone, District centre zone, Local centre zone and Specialised centre zone	6	10
Low impact industry zone and Waterfront and marine industry zone	12	20
Medium impact industry zone and High impact industry zone	15	25
Rural zone and Rural residential zone	12	20

Part 9

9.4.5 Safety and security code

9.4.5.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Safety and security code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.5.2 Purpose and overall outcomes

- (1) The purpose of the Safety and security code is to ensure development is designed in a manner which promotes public safety.
- (2) The purpose of the Safety and security code will be achieved through the following overall outcomes:-
 - (a) development is user friendly;
 - (b) development incorporates design elements that reduce vulnerability of people and property to crime;
 - (c) development increases people's awareness of their environment; and
 - (d) development is located and designed to ensure that users are not exposed to unacceptable levels of contaminants.

9.4.5.3 Performance outcomes and acceptable outcomes

Table 9.4.5.3.1Performance outcomes and acceptable outcomes for assessable
development

Perform	ance Outcomes	Acceptable	Outcomes
Site and	Boundary Identification		
PO1	Development provides for buildings, fences, landscapes and other features that are designed to clearly define territory and ownership of all public, common, semi-private and private space.	A01	The boundaries of property and space are identified by means such as:- (a) fencing; and/or (b) changes in surface materials or levels; and/or (c) landscape treatments.
PO2	Development is designed such that all premises and access routes are clearly identifiable to all persons, particularly emergency services personnel.	AO2	All premises are identified by the provision of a street number in a prominent location.
	Surveillance		
PO3	Development provides for casual surveillance to be achieved by arranging uses within buildings and on sites to enable external areas to be monitored.	AO3	Active uses (e.g. shopfronts and living areas) are arranged within buildings at ground floor level, so that they overlook publicly accessible areas.
PO4	Development is designed such that open space areas, including seating areas, are located where they can be monitored.	AO4	Open space areas, including seating areas, are situated where they are in the line of sight of windows, doors and balconies/verandahs of buildings, or can be seen from a street.
Fencing	and Walls		
PO5	 Development provides for fencing and walls to be designed and constructed so as to:- (a) protect the privacy and amenity of private open space; (b) not present a security risk by screening doors, windows and major paths; and (c) provide for casual surveillance of 	AO5	Fences and solid walls adjacent to pedestrian walkways and street <i>frontages</i> do not exceed 1.5 metres in height.

Perform	ance Outcomes	Acceptable	Outcomes
	both properties and public		
	thoroughfares.	L	
Landsca			
PO6	Development provides for landscapes that do not present a security risk by screening doors, windows and pedestrian and cyclist paths or lead to opportunities for concealment.	A06	No acceptable outcome provided. Editor's note—Section 9.4.2 (Landscape code) sets out the requirements for designing landscapes for public safety.
Lighting			
PO7	Development provides for lighting to pathways, building entries, driveways and car parking areas in a manner which:- (a) provides a sense of safety and security for residents, staff and	A07.1	Lighting of appropriate intensities is provided which satisfies the requirements of AS1158 – Lighting for Roads and Public Spaces and the Sunshine Coast Public Lighting Plan.
	 visitors; (b) does not cause adverse impact on adjacent land uses; and (c) minimises the maintenance and 	AO7.2	Lighting is focussed to illuminate concealment areas and entrances (e.g. entrances to loading docks).
	operational cost of lighting infrastructure.	AO7.3	Lighting is directed onto the <i>site</i> or building and away from neighbouring sites.
Desileting	Desim	A07.4	Lighting is consistent to reduce the contrast between shadows and well lit areas.
Building PO8		AO8.1	Windows and activities in buildings are
P08	 B Development provides for buildings which are designed to ensure a high level of safety and security for residents, staff and the community and:- (a) optimise casual surveillance; 	A08.1	Windows and activities in buildings are directed, where possible, to overlook public and semi-public areas. No blank building facade is presented to
	(b) provide unimpeded sight lines;(c) control illegitimate access and		any street frontage.
	minimise opportunities for vandalism; and (d) avoid concealment spots.	AO8.3	Toughened glass, screens and other measures are used in windows that are provided at the ground <i>storey</i> , to deter unlawful entry.
		AO8.4	Vandal proof materials and anti-graffiti paint are used.
		AO8.5	Along property boundaries adjacent to the street or in view of the street and other publicly accessible areas within sites, building facades are provided which do not incorporate recesses of sufficient size to conceal a person.
PO9	Development provides for all building entrances to be located and designed so as to be easily identifiable and accessible.	AO9.1	Building entrances (including ramps and elevator entrances) are exposed to the primary street <i>frontage</i> and are well lit and clearly legible.
		AO9.2	 For non-residential premises:- (a) building entrances provide clear sightlines from the building foyer so that occupants can see outside before leaving the building, and have lobbies visible from the exterior; and (b) staff entrances are located on the primary street <i>frontage</i> and not in side access ways.
	nt and Access	40101	
PO10	Development provides for pedestrian and cyclist pathways and facilities that	AO10.1	All barriers (including landscape features) along principal pedestrian routes are

Part 9

Perform	ance Outcomes	Acceptable	Outcomes
	are safe, useable and readily		regularly visually permeable.
	accessible.	AO10.2	 Pedestrian and cyclist facilities are designed to encourage the use of active transport modes by:- (a) minimising distances and providing safe grading paths, separated from motorised traffic; and (b) using even, non-slip pavement materials.
		AO10.3	Pedestrian and cyclist and vehicular movement systems are co-located to encourage maximum surveillance, while providing for safe travel for each mode.
		AO10.4	Legible and consistent signage, which indicates designated routes and safe places, is provided.
P011	Development provides for safe pedestrian access to and from the building's main entrance.	A011	Development is designed such that priority is given to the needs of pedestrians for direct links to a building's main entrance and to any adjoining local activities or public transport facilities.
			Editor's note—Section 9.4.8 (Transport and parking code) sets out requirements for the design of pedestrian and cycle facilities.
Car Park		A040.4	Dublis and in a
PO12	Development provides car parks which are designed, located and managed to promote public safety, security and non- discriminatory access.	AO12.1	Public parking areas:- (a) are clearly designated; (b) are well-lit; and (c) have clearly defined access points.
		AO12.2	After hours staff parking is well lit and in close proximity to staff access points.
		AO12.3	Enclosed underground car parks can only be accessed from inside the building or through a security system.
		AO12.4	 Multi-level car parks include the following:- (a) emergency telephones to security personnel; (b) mechanical surveillance; (c) alarms or poles; and (d) other similarly effective safety and security measures.
		AO12.5	Signs are strategically located to direct people to entries and exits and to parking bays within the <i>site</i> .
			Editor's note—Section 9.4.8 (Transport and parking code) sets out additional requirements for car park design.
PO13	Development provides for restricted access areas to be designed, located and managed to promote public safety and security.	AO13	Loading docks, storage areas and other restricted access areas are well lit and/or can be locked after hours.
Public F	acilities	-	
PO14	Development provides for publicly accessible facilities, including toilet facilities, to be located and designed to maximise safety.	AO14.1	Publicly accessible toilet facilities are well lit and located where they are obvious so that they can be monitored by other persons, including motorists.

Perform	ance Outcomes	Acceptable	Outcomes
		AO14.2	Bicycle parking facilities are located in view of highly trafficked areas (i.e. the street).
		AO14.3	Automatic Teller Machines are located on the outer edges of buildings, and visible from highly trafficked areas or inside buildings, where a key card is required to access the facilities.
	al Requirements for Entertainment Uses		
PO15	 Development provides for any entertainment business use that operates primarily outside of daylight hours, such as a <i>function facility</i> or <i>nightclub entertainment facility</i>, to be:- (a) located above street level; (b) designed to minimise adverse amenity impacts, including impacts associated with excessive noise; and (c) subject to a safety, security and emergency management plan developed in conjunction with the <i>Council</i> and relevant emergency services. 	AO15	No acceptable outcome provided.
Contami	inated Land		
PO16	Development is located and designed to avoid risk to human health and the environment from contaminated land.	AO16	Development for a residential, business or community activity is located on a <i>site</i> where soils are not contaminated by pollutants which represent a health or safety risk.

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9.4.6 Stormwater management code¹⁷

9.4.6.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Stormwater management code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.6.2 Purpose and overall outcomes

- (1) The purpose of the Stormwater management code is to provide for sustainable stormwater management *infrastructure* which protects water quality, environmental values and public health.
- (2) The purpose of the Stormwater management code will be achieved through the following overall outcomes:-
 - development is located, designed, constructed and operated to protect and enhance the environmental values and flow regimes of both constructed and natural *waterways*, *wetlands*, lakes, ground waters and drainage systems;
 - (b) development is provided with effective stormwater drainage systems to protect people, property and the environment from the effects of stormwater runoff;
 - (c) development avoids the provision of new constructed waterbodies, except where a demonstrated overriding need exists;
 - (d) development provides for suitable treatment, harvesting and re-use systems for urban stormwater runoff; and
 - (e) stormwater management systems are designed and constructed to enhance biodiversity, landscape and recreational values, and to achieve acceptable maintenance, renewal and adaptation costs.

9.4.6.3 Performance outcomes and acceptable outcomes

Table 9.4.6.3.1 Performance outcomes and acceptable outcomes for assessable development

Perforn	nance Outcomes	Acceptable	Outcomes
Develo	oment Design		
PO1	 Development design, including but not limited to layout, scale, intensity and staging, is based on a thorough assessment of:- (a) site characteristics; (b) potential environmental risks; and (c) the likely effectiveness and limitations of available erosion and sediment control and stormwater drainage measures to achieve protection of the environmental values of water and the functioning of stormwater <i>infrastructure</i>, both during and post construction.¹⁸ 	A01	No acceptable outcome provided.
Stormw	vater Drainage Systems		
PO2	Development is provided with a	AO2.1	Development is provided with a
	stormwater drainage system which:-		stormwater drainage system which is

¹⁷ Editor's note—the **Planning scheme policy for development works** provides guidance and specifies standards for satisfying

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certain outcomes of this code, including requirements for the preparation of a Stormwater Management Plan.
 ¹⁸ Editor's note—the **Planning scheme policy for development works** provides guidance for satisfying PO1, including requirements for the preparation of an Erosion Risk Assessment and an Erosion Hazard Evaluation Report. Section 9.4.11 (Works, services and infrastructure code) sets out additional requirements in relation to erosion and sediment control during construction activities and works.

Perform	ance Outcomes	Accentable	Outcomes
	 (a) incorporates allowance for climate change; and (b) ensures the development is adequately drained, and stormwater is managed and 		designed and constructed in accordance with the standards specified in the Planning scheme policy for development works.
	lawfully discharged without altering stormwater drainage characteristics external to the <i>site</i> .	AO2.2	The stormwater drainage system connects to a lawful point of discharge in accordance with the Planning scheme policy for development works .
		AO2.3	Stormwater flows discharged from the development are either within the capacity of the downstream drainage system such that non-worsening occurs, or are mitigated to pre-development characteristics.
		AO2.4	Development provides for the management of stormwater to incorporate appropriate allowance for climate change impacts (including rainfall intensity and sea level rise), in accordance with the Planning scheme policy for development works.
PO3	Development is provided with stormwater conveyance channels which use natural channel design principles to convey external catchment stormwater through development and support landscape, passive recreation and	AO3.1	Development is provided with stormwater conveyance channels designed in accordance with the standards specified in the Planning scheme policy for development works.
	ecological values.	AO3.2	Landscape and ecological features (e.g. plant species and habitat types) used in stormwater conveyance channels are complementary to the local context, including natural <i>waterways</i> .
		AO3.3	Bank and bed stability and planting densities result in a stable channel over the long term and minimal potential for invasive weed growth.
PO4	Stormwater <i>infrastructure</i> is designed to minimise maintenance costs and the requirement for specialised equipment or maintenance techniques.	AO4	Stormwater <i>infrastructure</i> is designed and constructed in accordance with the standards specified in the Planning scheme policy for development works.
PO5	Development avoids stormwater inflow and infiltration to the sewer <i>infrastructure</i> network.	AO5	No acceptable outcome provided.
	gy and Waterway Stability		
PO6	Development prevents increased channel bed and bank erosion in <i>waterways</i> by limiting changes in flow rate and flow duration within receiving waters.	A06	Stormwater discharges are mitigated to achieve the waterway stability objective specified in the Planning scheme policy for development works.
PO7	Development protects in-stream ecology by maintaining pre- development low flow discharge regimes.	A07	Frequent stormwater discharges are captured and managed to achieve the frequent flow management objective specified in the Planning scheme policy for development works.
PO8	Development ensures adequate surface and sub-surface water to maintain the environmental values of water dependent ecosystems, including downstream in stream and off stream aquatic, riparian, wetland and terrestrial ecosystems.	A08	Stormwater harvesting (excluding roof water harvesting) and the location and form of stormwater discharge points do not compromise the pre-development hydrology of receiving waters.

Part 9

- GHUIIII	ance Outcomes	Acceptable	Outcomes
	ater Quality		
PO9	Development protects or enhances the environmental values and water quality objectives ¹⁹ of receiving waters or buffer areas within or downstream of a <i>site</i> .	AO9.1	Stormwater discharges achieve the pollutant load reduction objectives specified in the Planning scheme policy for development works.
		AO9.2	Where a development includes or adjoins a <i>constructed waterbody</i> or a <i>buffer</i> to a <i>waterway</i> or <i>wetland</i> , the pollutant load reduction targets are met prior to the discharge entering that <i>buffer</i> or waterbody.
PO10	Treatment systems that use natural processes and materials are integrated into the development, wherever practicable, taking into account the whole of life cycle cost to enhance biodiversity and landscape benefits.	AO10	No acceptable outcome provided.
PO11	Treatment systems are designed to eliminate or minimise health, safety and aesthetic hazards.	A011	Risks associated with insect breeding, odour and public safety are minimised by designing treatment systems in accordance with the Planning scheme policy for development works .
PO12	Treatment systems are designed to minimise maintenance, renewal and adaptation costs and the requirement for specialised equipment or maintenance techniques.	AO12	Design achieves acceptable maintenance, renewal and adaptation costs for the project life ²⁰ in accordance with the Planning scheme policy for development works.
Stormwa	ater Harvesting and Re-use		
PO13	Development provides for stormwater capture, in addition to roof water capture.	AO13	Stormwater harvesting systems are designed in accordance with the standards specified in the Planning scheme policy for development works.
PO14	Stormwater capture for the purpose of substituting for potable water use does not create a health, safety or aesthetic hazard.	AO14.1	Stormwater harvesting systems are designed in accordance with the standards specified in the Planning scheme policy for development works.
		AO14.2	Water quality treatment is designed, established and monitored to human health standards appropriate for the intended use.
PO15	Stormwater harvesting systems are designed to minimise maintenance costs and the requirement for specialised equipment or maintenance techniques and are provided with an	AO15.1	For systems that are to be dedicated to <i>Council</i> as public assets, there is an overriding community benefit resulting from the stormwater harvesting system.
	ongoing funding source.	AO15.2	A detailed operations and maintenance budget is prepared for the project life and financial assurances are in place to operate and maintain the system for the project life.
	ction and Establishment of Stormwater I		
PO16	Construction methods and materials minimise environmental impacts and minimise the risk of asset failure.	AO16.1	Construction methods are undertaken in accordance with the standards specified in the Planning scheme policy for development works.
' I			
		AO16.2	Construction timing is co-ordinated with civil and other landscape works to minimise risks to stormwater <i>infrastructure</i> and the environment.

¹⁹ Editor's note—water quality objectives are prescribed in Schedule 1 of the *Environmental Protection (Water) Policy 2009*.
 ²⁰ Editor's note—project life is a minimum of 50 years, unless the asset is proposed to be decommissioned in a shorter period.

Perform	ance Outcomes	Accentable	Outcomes
	systems proposed to be dedicated as public assets are established and maintained during the maintenance period to ensure optimal <i>vegetation</i> growth and that the functional elements of the system achieve the design function at the end of the maintenance period.		stormwater management systems is undertaken in accordance with the standards specified in the Planning scheme policy for development works.
	cted Waterbodies		
PO18	Constructed waterbodies which are proposed to be dedicated as public assets are avoided, unless there is an overriding need in the public interest.	AO18	Where a <i>constructed waterbody</i> is proposed to be dedicated as a public asset, an overriding need for the waterbody is demonstrated in accordance with the requirements of the Planning scheme policy for development works.
PO19	Constructed waterbodies are designed and constructed to achieve environmental values and water quality objectives which correlate to their intended function, use and receiving waters.	AO19	Constructed waterbodies are designed and constructed in accordance with standards specified in the Planning scheme policy for development works.
PO20	Constructed waterbodies are designed, constructed and established to minimise maintenance and decommissioning costs and the requirement for specialised maintenance equipment and techniques, and are provided with an on-going funding source.	AO20	A detailed maintenance and decommissioning costing is prepared for the project life in accordance with the Planning scheme policy for development works and financial assurances are in place to provide for maintenance for the project life and, if required, decommissioning.
PO21	Constructed waterbodies are not used as stormwater quality treatment devices.	AO21	Stormwater discharges achieve the pollutant load reduction objectives specified in the Planning scheme policy for development works, prior to entering the <i>constructed waterbody</i> .
PO22	Constructed waterbodies support landscape, passive recreation and ecological values, and do not pose a health, safety or aesthetic risk.	AO22	Constructed waterbodies are designed and constructed in accordance with the standards specified in the Planning scheme policy for development works.

Part 9

9.4.7 Sustainable design code²¹

9.4.7.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Sustainable design code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

Notes-

- (a) performance outcomes PO1, PO2, PO3 and PO5 apply only to development involving the erection of a new building for a use or uses in the *residential activity group*, *business activity group*, *community activity group*, *sport and recreation activity group* or *other activity group*;
- (b) performance outcome PO4 applies only to development involving the erection of a new building exceeding 5 storeys in height for a use or uses in the residential activity group, business activity group or community activity group;
- the Sustainable design code identifies only a limited range of sustainable design criteria. Development on the Sunshine Coast is encouraged to strive to achieve the highest practicable score using an accredited sustainability rating system (i.e. Greenstar);
- (d) development that achieves a minimum 4 star score using the Greenstar rating system is deemed to have complied with the Sustainable design code; and
- (e) Council may use its discretion to determine that part or all of the Sustainable design code should not apply to a particular development where compliance with the Sustainable design code would be unreasonable because of the small scale or nature of a particular development.

9.4.7.2 Purpose and overall outcomes

- (1) The purpose of the Sustainable design code is to ensure development meets *best practice* sustainability principles.
- (2) The purpose of the Sustainable design code will be achieved through the following overall outcomes:-
 - (a) development is located, designed, constructed and operated in accordance with *best practice* subtropical and sustainable design principles in order to:-
 - (i) take advantage of local climatic and environmental conditions;
 - (ii) optimise energy efficiency;
 - (iii) minimise reliance on non-renewable energy sources; and
 - facilitate and promote alternative energy supply through the use of renewable energy sources.

9.4.7.3 Performance outcomes and acceptable outcomes

Table 9.4.7.3.1 Performance outcomes and acceptable outcomes for assessable development

Performance Outcomes		Acceptable Outcomes	
Subtrop	ical Design and Climatic Comfort		
PO1	Development provides for the siting, orientation and design of buildings to appropriately respond to the region's subtropical climate and creates an open and permeable built environment that connects indoor and outdoor spaces in an integrated design.	A01	No acceptable outcome provided. Editor's note—the publication <i>Subtropical</i> <i>Design in South East Queensland – A</i> <i>Handbook for Planners, Developers and</i> <i>Decision Makers</i> , prepared by the Centre for Subtropical Design, provides guidance about the application of subtropical design principles.
PO2	Development is located, designed, constructed and operated in a manner	AO2	No acceptable outcome provided.

relopment. Where there

²¹ Editor's note—the *Queensland Development Code* also identifies sustainability requirements for certain development. Where there is a conflict between the Sustainable design code and the *Queensland Development Code*, the *Queensland Development Code* prevails.

Porform	anco Outcomos	Accontable	Outcomes
Performa	ance Outcomes that incorporates passive design elements for cooling and heating, including:- (a) weather protection and sun shading (including eaves and overhangs that are incorporated into facades); (b) roof forms and colours that reduce direct solar heat gain;	Acceptable	Outcomes
	 (c) rain protection appropriate to each facade orientation; and (d) providing opportunities for building occupants to determine indoor climate (e.g. adjustable louvres and shading). 		
PO3	Development is located, designed, constructed and operated in a manner that minimises adverse impacts on adjoining public spaces in terms of solar access and wind-tunnelling.	AO3	No acceptable outcome provided.
PO4	Development ensures that roof top levels of higher-rise buildings make a positive visual, open space, recreational and ecological contribution to the functioning of the <i>site</i> and surrounding area.	AO4	No acceptable outcome provided.
	Efficiency and Renewable Energy		
PO5	 Development is designed and operated to minimise the production of greenhouse gas emissions by implementing a range of emission-limiting measures including, but not limited to, the following:- (a) use of solar power or other non-polluting, renewable energy sources to supply part or all of the development's energy needs; and (b) for residential development, provision of a non-mechanical (natural) clothes drying area for each dwelling. 	AO5	No acceptable outcome provided.

9.4.8 Transport and parking code²²²³

9.4.8.1 Application

- (1) This code applies to accepted development and assessable development identified as requiring assessment against the Transport and parking code by the tables of assessment in **Part 5** (Tables of assessment).
- (2) The acceptable outcomes in Table 9.4.8.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development) are requirements for applicable accepted development.
- (3) All provisions in this code are assessment benchmarks for applicable assessable development.

Note—accepted development within an existing building need only comply with Acceptable Outcome AO3.1 of **Table 9.4.8.3.1 (Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development)**.

9.4.8.2 Purpose and overall outcomes

- (1) The purpose of the Transport and parking code is to ensure that transport *infrastructure* including pathways, public transport *infrastructure*, roads, parking and service areas, are provided in a manner which meets the needs of the development, whilst promoting active and public transport use and preserving the character and amenity of the Sunshine Coast.
- (2) The purpose of the Transport and parking code will be achieved through the following overall outcomes:-
 - (a) development is consistent with the objectives of the strategic transport network, which are to:-
 - (i) provide for a highly permeable and integrated movement network;
 - (ii) improve coordination between land use and transport so as to maximise the potential for walking, cycling and public transport use and reduce reliance on private motor vehicle travel;
 - (iii) achieve acceptable levels of access, convenience, efficiency and legibility for all transport users, with the needs of pedestrians considered in the first instance, then cyclists, public transport and then motorists;
 - (iv) preserve the amenity of sensitive land uses;
 - (v) limit road construction to the minimum necessary to meet the endorsed levels of service for ultimate development of the Sunshine Coast; and
 - (vi) provide for staging of *Council's* limited trunk road construction program to maximise sustainability;
 - (b) the environmental, economic and social impacts of transport on the natural and urban environment are minimised;
 - transport *infrastructure* is designed and constructed to acceptable standards and operates in a safe and efficient manner that meets community expectations, prevents unacceptable off-site impacts and reduces whole of life cycle costs, including reduced ongoing maintenance costs;
 - (d) development provides for on-site parking, *access*, circulation and servicing areas that are safe, convenient and meet the reasonable requirements of the development;
 - (e) development provides for parking areas that are shared between many uses rather than separate parking areas attached to each building where peak parking times of the uses occur at different times and where the parking area is sufficient to meet the anticipated demands of all uses;

²² Editor's note—*Council* may require the preparation of a Traffic Impact Assessment Report and an Integrated Transport Plan to demonstrate compliance with certain outcomes of the **Transport and parking code**.

²³ Editor's note—the **Planning scheme policy for development works** provides guidance and specifies standards for satisfying certain outcomes of the Transport and parking code, including requirements for the preparation of a Traffic Impact Assessment.

- (f) development provides appropriate buffering between *sensitive receptors* and the *major road* network and rail corridors; and
- (g) development provides for major intersections and access points to be designed and constructed to reflect the natural values, character and identity of the Sunshine Coast.

9.4.8.3 **Performance outcomes and acceptable outcomes**

Table 9.4.8.3.1 Requirements for accepted development and performance outcomes and acceptable outcomes for assessable development²⁴

Performa	ance Outcomes	Acceptable	Outcomes
Layout a	nd Design of On-site Parking and Acces		
P01	Development ensures that the layout and design of vehicle <i>access</i> , on-site circulation systems and parking areas and systems is safe, convenient and legible for all users, including people with disabilities, pedestrians, cyclists and public transport services, where relevant.	A01.1	 Development provides access driveways, internal circulation and manoeuvring areas, service areas and parking areas in accordance with the standards specified in the Planning scheme policy for the transport and parking code, including ensuring:- (a) the number and type of vehicles planned for the development can be accommodated on-site; (b) on-site vehicle parking and manoeuvring areas provide for vehicles to enter and leave the <i>site</i> in a forward motion; and (c) a progressive reduction in vehicle speed between the external transport corridor and internal parking spaces such that lower speeds occur near areas of high pedestrian activity.
		AO1.2	 Development provides clearly defined pathways within and around on-site vehicle parking areas that:- (a) are located in identified pedestrian desire lines; and (b) ensure pedestrian movement through parking areas is along aisles rather than across them.
Site Acce	ess		
PO2	Development ensures that the layout, design and construction of <i>access:</i> - (a) is safe, convenient and legible for all users, including people with disabilities, pedestrians, cyclists and public transport services,	AO2.1	The location and design of any new site access is in accordance with the standards specified in the Planning scheme policy for the transport and parking code.
	 where relevant; (b) does not interfere with the planned function, safety, capacity and operation of the <i>transport network</i>; (c) minimises the impact of turning traffic from the development on external traffic systems; (d) provides sufficient sight distances to ensure safe operation; (e) is appropriate to design traffic volumes and vehicle types; and (f) includes appropriate and sufficient signage to ensure safe and convenient use. 	AO2.2	For assessable development, the number of site access driveways is minimised (usually one), with access to the lowest order transport corridor to which the site has frontage, consistent with amenity impact constraints.

²⁴ Note—for accepted development in an existing building only acceptable outcome AO3.1 of **Table 9.4.8.3.1 (Requirements for** accepted development and performance outcomes and acceptable outcomes for assessable development) applies.

Performa	ance Outcomes	Acceptable	Outcomes
On-Site 0	Car Parking		
PO3	Development provides on-site car parking for the demand anticipated to be generated by the development.	AO3.1	Development provides on-site car parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements).
			OR
			 Where located in a <i>centre zone</i> or the Tourist accommodation zone, development provides on-site car parking spaces at rates varied from those in Table 9.4.8.3.3 (Minimum on-site parking requirements) for specified development, as outlined below:- (a) <i>multiple dwelling</i> – 1 space per dwelling plus 1 visitor space per 4 dwellings; (b) <i>rooming accommodation, short-term accommodation, resort complex,</i> or <i>retirement facility</i> – visitor parking at 1 space per 10 beds (for rooming accommodation) or <i>dwellings/rooming units;</i> (c) <i>food and drink outlet, function facility, hotel, bar or club</i> – 1 space per 20m² for any outdoor dining area (excluding any footpath dining area); (d) <i>shopping centre</i> – 1 space per 25m² gross floor area for any component above 1,000m² gross floor area; (e) <i>child care centre</i> –customer parking at 1 space per 7 children; and (f) <i>indoor sport and recreation</i> or <i>theatre</i> – 1 space per 20m² gross floor area.
			rounded up to the next whole number in the circumstance of half a space. Parking requirements for other vehicles including service vehicles, motorcycles/scooters and cycles, as well as design requirements, outlined in the remainder of this code do not change.
			OR
			For accepted development, other than a call centre, located in premises that were lawfully established prior to the commencement of the planning scheme, the number of on-site car parking spaces provided is equal to the number of spaces required at the time the premises were lawfully established.
			OR
			Where development is physically unable to provide the required number of car parking spaces on-site, an Infrastructure Agreement is entered into between the developer and the <i>Council</i> which provides for contributions in lieu of on-site car

Performa	nce Outcomes	Acceptable	Outcomes
r enonna		AO3.2	parking spaces.
PO4	Development provides for a reasonable portion of the total number of on-site car parking spaces to be wheelchair accessible spaces and to be identified	AO4.1	For assessable development, car parking provided for <i>mixed-use development</i> is sufficient to meet the demand of residential and business uses, with exclusive designations for both user types. Development provides the number of parking spaces for people with disabilities, required by the <i>Building Code of</i> <i>Australia</i> .
	and reserved for such purposes.	AO4.2	Parking spaces for people with disabilities, access and signage complies with AS 1428 – General Requirements for Access: Buildings and AS 2890.6 – Parking facilities (Part 6: Off-street Parking for People with Disabilities).
	Parking and End of Trip Facilities for Bic		Development provides on site syste
PO5	Development provides on-site cycle parking facilities to encourage use of this mode of transport and support the demand anticipated to be generated by the development	AO5.1	Development provides on-site cycle parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements) .
		AO5.2	Cycle parking is designed in accordance with the Planning scheme policy for the transport and parking code .
Service	Abiclo Poquiroments	AO5.3	 End of trip facilities, including personal lockers, change rooms, showers and sanitary compartments and wash basins are provided in accordance with the Planning scheme policy for the transport and parking code, for development involving:- (a) a use in the business activity group; (b) a use in the business activity group; (c) a use in the industrial activity group, other than bulk landscape supplies and extractive industry; (d) a use in the sport and recreation activity group, other than bulk landscape supplies and extractive industry; (d) a use in the other activity group being air services.
	/ehicle Requirements	1001	
PO6	Development provides sufficient parking and <i>access</i> for service vehicles to meet the needs of the development.	AO6.1	Development provides on-site service vehicle parking bays at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements) .
		AO6.2	Service vehicle access, internal circulation and manoeuvring, loading and unloading, waste collection and fuel delivery facilities (if required) and parking areas are designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code .
PO7	Development provides for driveways, internal circulation areas and service areas to be designed to:- (a) ensure that proposed loading, unloading, waste collection and	A07.1	Driveways, internal circulation areas, and service areas are provided to accommodate the nominated design vehicles for each development type.

Performance Outcomes	Acceptable Outcomes
 fuel delivery facilities (if required) can satisfactorily accommodate the number and type of service vehicles expected on-site; and (b) the movement of service vehicles on-site and loading and unloading operations do not interfere with on- site amenity and the safe and convenient movement of other vehicles and pedestrians on the <i>site</i>. 	manoeuvring areas, loading and unloading areas and refuse collection facilities are designed and constructed in accordance with the standards specified in the Planning scheme policy for the

Table 9.4.8.3.2Additional performance outcomes and acceptable outcomes for
assessable development

Performa	ance Outcomes	Acceptable	e Outcomes
	rt Network		
PO1	 Traffic on the street and road network and public transport and active transport networks and the provision of transport infrastructure, is considered in an integrated manner and in a regional and localised context to ensure that development:- (a) is consistent with the Sunshine Coast 2031 Functional Transport Hierarchy and strategic networks of pedestrian, cycle and public transport links; and (b) includes measures to upgrade the network to meet the imposed demands. 	AO1	 Development makes provision for pedestrian, cyclist, public transport and private vehicle movement consistent with:- (a) the Sunshine Coast Functional Transport Hierarchy as shown on Figure 9.4.8A (2031 Functional Transport Hierarchy) and described in the Planning scheme policy for the transport and parking code; (b) the Sunshine Coast Strategic Network of Pedestrian and cycle Links as shown on Figures 9.4.8B(i) and (ii) (2031 Strategic Network of Public Transport Links as shown on Figure 9.4.8C (2031 Strategic Network of Public Transport Links); (c) the Sunshine Coast Strategic Network of Public Transport Links as shown on Figure 9.4.8C (2031 Strategic Network of Public Transport Links); and (d) any relevant local area plan.
P02	Development provides for a <i>transport</i> network which is designed to:- (a) achieve a high level of permeability and connectivity, particularly for pedestrians, cyclists and public transport, both within the development and to the surrounding area; and (b) maximise active and public transport access to activity centres, production of the surrounding area active and public	AO2.1 AO2.2	Development provides for a street and road network based on a modified grid pattern. Development provides for high trip generating land uses, such as higher density residential development and employment generators, to be located in and around activity centres and around major public transport hubs.
	employment areas, residential areas, community facilities and open space in the local area.	AO2.3	Development involving substantial increases in employment and residential activity are connected to the <i>principal public transport network</i> as shown on Figure 9.4.8C (2031 Strategic Network of Public Transport Links).
		AO2.4	Development provides routing, stop and interchange arrangements for public transport services.
		AO2.5	Development provides safe, convenient and direct pedestrian and cyclist access to activity centres, public transport stops and stations and other strategic redevelopment and activity generators.
PO3	Development involving high trip	AO3	Development with potential to generate

Performa	nce Outcomes	Acceptable	Outcomes
PO4	generating land uses minimises any adverse impacts on surrounding land use and the external <i>transport network</i> , including by the provision of <i>infrastructure</i> and services to increase the use of active and public transport.	A04.1	significant transport impacts is undertaken in accordance with an approved Traffic Impact Assessment Report and Integrated Transport Plan, prepared in accordance with the Planning scheme policy for the transport and parking code .
P04	Development is designed to operate in a safe and efficient manner and facilitates the orderly provision of transport <i>infrastructure</i> in accordance with the intended role, function and characteristics of the <i>transport network</i> .	AU4.1	Development and any associated transport <i>infrastructure</i> is designed and constructed in accordance with the hierarchy characteristics and standards specified in the Planning scheme policy for the transport and parking code and Planning scheme policy for development works ²⁵ .
		AO4.2	Development provides for upgrades or contributes to the construction of <i>transport network</i> improvements.
		AO4.3	The design features of streets and roads encourage driver behaviour appropriate to the role and function of the street or road in the functional <i>transport hierarchy</i> .
Dedeetri	and Quelo Notwork	AO4.4	Development design incorporates road safety auditing in accordance with the standards specified in the Planning scheme policy for development works.
PO5	 and Cycle Network Development provides a conveniently located network of footpaths, shared pathways and cycleways that:- (a) achieve a high level of safety and accessibility, particularly to public transport facilities and high trip generating land uses located internally and externally to the <i>site</i>; (b) recognise the different needs of pedestrians and cyclists; (c) provide for safe and convenient joint usage; (d) allow the retention of trees and other significant features; (e) maximise the visual interest provided by views and landmarks where they exist; (f) do not compromise the operation of or access to other <i>infrastructure</i> and services; (g) are widened at potential conflict points; (h) are well lit and located where there is casual surveillance from nearby premises; and (i) incorporate safe street and road crossings for pedestrians and cyclists with adequate sight distances, pavement markings, 	A05.1 A05.2 A05.3	 Footpaths, shared pathways and cycleways are provided in accordance with Figures 9.4.8B(i) and (ii) (2031 Strategic Network of Pedestrian and Cycle Links) and the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works. Development provides convenient and prominent pedestrian entrances that cater for universal access. Development provides cycle access, that:- (a) is located close to the building's pedestrian entrance; (b) is obvious and easily and safely accessible from outside the <i>site</i>; (c) does not adversely impact on visual amenity; and (d) does not impede the movement of pedestrians or other vehicles.
PO6	warning signs and safety rails. Development provides for cyclists on streets and roads, unless specifically prohibited (e.g. motorways).	AO6	Streets and roads provide for on-road cycling in accordance with the standards specified in the Planning scheme policy

²⁵ Editor's note—a development application triggering concurrence referral to the Queensland Department of Transport and Main Roads will be subject to State government standards, guidelines and policies.

Performa	ince Outcomes	Acceptable	Outcomes
		-	for the transport and parking code and
			the Planning scheme policy for development works.
Public Tr	ansport Facilities		
PO7	Development encourages the use of public transport through:- (a) design which maximises accessibility via existing and planned public transport facilities;	AO7.1	Development is designed and arranged to provide convenient and attractive linkages to existing and proposed public transport facilities.
	 (b) appropriate provision of on-site or off-site public transport facilities, having regard to the specific nature and scale of development, and the number of people involved in the use. 	A07.2	 On-site public transport facilities are provided in conjunction with the following development:- (a) shopping centre, where having a gross floor area of greater than 10,000m²; (b) tourist attraction, having a total use area of greater than 10,000m²; (c) educational establishment, where accommodating more than 500 students; (d) major sport, recreation and entertainment facility; (e) indoor sport and recreation, where having a gross floor area of more than 1,000m², or for spectator sports; and (f) outdoor sport and recreation, where for spectator sports.
		A07.3	 On-street public transport facilities are provided as part of the following development:- (a) shopping centre, where having a gross floor area of 10,000m² or less; (b) tourist attraction, where having a gross floor area of 10,000m² or less; (c) educational establishment, where accommodating 500 or less students; and (d) indoor sport and recreation where having a gross floor area of 500m² or less and not for spectator sports.
		A07.4	Where not otherwise specified above, on- street public transport facilities are provided where development is located on an existing or future public transport route.
		AO7.5	Public transport facilities are located and designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works.
	and On-site Parking		
<u>Car Parki</u> PO8	 ing Requirements Development provides for shared or multiple use of car parking areas, particularly large car parking areas:- (a) at times when car parking areas would otherwise not be occupied (e.g. weekends); (b) when car parking spaces service 	AO8	No acceptable outcome provided.
	two or more land uses with varying peak usage times (e.g. restaurants		

Performa	nce Outcomes	Accentable	Outcomes
	and entertainment uses which		
	generate peak parking demands in		
	periods when retail or office uses		
	are relatively inactive); and		
	(c) to reduce the amount and size of		
	the car parking area.		
PO9	Development in a <i>Regional Activity</i>	AO9	No acceptable outcome provided.
	<i>Centre</i> provides for or contributes to the	100	
	provision of public or shared car <i>parking</i>		
	stations which serve a variety of nearby		
	uses.		
PO10	Development ensures that car parking	AO10	No acceptable outcome provided.
	areas, service areas and access	Acit	
	driveways are located where they will		
	not dominate the <i>streetscape</i> and will		
	not unduly intrude upon pedestrian use		
	of pathways, through:-		
	(a) the use of rear <i>access</i> lanes;		
	(b) car parking areas and service		
	areas being situated at the rear		
	of the premises or below ground level; or		
PO11	(c) shared driveways. Development does not provide for	AO11	No accentable outcome provided
	basement car parking areas to be		No acceptable outcome provided.
	located below public streets or roads.		
PO12	Development provides for multi-level	AO12	No acceptable outcome provided.
FUIZ		AUIZ	No acceptable outcome provided.
	car parking areas to be designed, articulated and finished to make a		
	positive contribution to the local streetscape character.		
PO13	Development provides for car parking	AO13	No acceptable outcome provided.
POIS		AUIS	No acceptable outcome provided.
	areas which are located, designed and managed to promote public security		Note—Section 9.4.5 (Safety and security
	and safety.		code) sets out requirements for safety and
	and salety.		security in car parking areas.
On-site P	Parking for Motorcycles and Scooters	•	, , , ,
PO14			
	Development provides sufficient on-site	AO14.1	Development provides on-site motorcycle
	Development provides sufficient on-site parking for motorcycles and scooters to	AO14.1	Development provides on-site motorcycle and scooter parking spaces at the
		AO14.1	
	parking for motorcycles and scooters to	AO14.1	and scooter parking spaces at the
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by	AO14.1	and scooter parking spaces at the minimum rates specified in Table
	parking for motorcycles and scooters to encourage their use and support the	AO14.1	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by	A014.1 A014.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by		and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by		and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by		and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by		and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by		and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and
On-site P	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by		and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme
On-site P PO15	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development.		and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development.	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works .
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works . Development for any of the following uses provides a number of on-site bus parking
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development.	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works .
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works . Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works . Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works . Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:- (a) <i>rooming accommodation, short-term</i>
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works . Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:-(a) <i>rooming accommodation, short-term accommodation</i> or <i>resort complex</i>
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works . Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:- (a) <i>rooming accommodation, short-term</i> <i>accommodation</i> or <i>resort complex</i> where having more than 20 beds (for
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works . Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:- (a) <i>rooming accommodation, short-term</i> <i>accommodation</i> or <i>resort complex</i> where having more than 20 beds (for <i>rooming accommodation)</i> or
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works . Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:- (a) <i>rooming accommodation, short-term</i> <i>accommodation</i> or <i>resort complex</i> where having more than 20 beds (for <i>rooming accommodation)</i> or <i>dwelling/rooming units</i> ;
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	 and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works. Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:-(a) rooming accommodation, short-term accommodation or resort complex where having more than 20 beds (for rooming accommodation) or dwelling/rooming units; (b) retirement facility, where having more
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	 and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works. Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:-(a) rooming accommodation, short-term accommodation or resort complex where having more than 20 beds (for rooming accommodation) or dwelling/rooming units; (b) retirement facility, where having more than 20 dwellings;
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	 and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works. Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:-(a) rooming accommodation, short-term accommodation or resort complex where having more than 20 beds (for rooming accommodation) or dwelling/rooming units; (b) retirement facility, where having more than 20 dwellings; (c) function facility, where having a gross
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	 and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works. Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:-(a) rooming accommodation, short-term accommodation or resort complex where having more than 20 beds (for rooming accommodation) or dwelling/rooming units; (b) retirement facility, where having more than 20 dwellings; (c) function facility, where having a gross floor area plus any outdoor dining
	parking for motorcycles and scooters to encourage their use and support the demand anticipated to be generated by the development. Parking for Buses Development provides for sufficient access, internal circulation and on-site parking for buses to meet the needs of	AO14.2	 and scooter parking spaces at the minimum rates specified in Table 9.4.8.3.3 (Minimum on-site parking requirements). Motorcycle and scooter parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works. Development for any of the following uses provides a number of on-site bus parking spaces commensurate with the scale of the use and in any case, does not provide less than one on-site bus parking space:-(a) rooming accommodation, short-term accommodation or resort complex where having more than 20 beds (for rooming accommodation) or dwelling/rooming units; (b) retirement facility, where having more than 20 dwellings; (c) function facility, where having a gross

Porforme	nce Outcomes	Accontable	Outcomes
		A015.2	 (d) hotel, where having a gross floor area plus any outdoor dining area (excluding any footpath dining area) exceeding 500m²; (e) tourist attraction; (f) community care centre, where having a gross floor area exceeding 200m²; (g) community use, where having a gross floor area exceeding 200m²; (h) educational establishment; (i) major sport, recreation and entertainment facility; (j) theatre, where having a gross floor area exceeding 500m²; (k) indoor sport and recreation, where having a gross floor area exceeding 500m²; (k) indoor sport and recreation. Bus parking is designed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for
PO16	Development provides for site access driveways to incorporate queuing provisions sufficient to ensure safe and convenient access without impacting on external traffic systems.	AO16.1	development works. Development provides for vehicle queuing in accordance with the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works.
		AO16.2	 Development provides on-site queuing for a minimum of four cars where <i>drive-</i> <i>through facilities</i> or drop-off/pick-up services are proposed as part of the use, including the following development:- (a) <i>child care centre</i>; (b) <i>educational establishment</i>, where for a school; (c) <i>food and drink outlet</i>, where including a <i>drive-through facility</i>; (d) <i>hardware and trade supplies</i>, where including a <i>drive-through facility</i>; (e) <i>hotel</i>, where including a <i>drive-</i> <i>through facility</i>; and (f) <i>service station</i>.
Amenity	and Environmental Impacts of Transpor	t Infrastructu	
PO17	Development ensures that access, manoeuvring and parking facilities do not have adverse impacts on people, properties or activities, with regard to light, noise, emissions or stormwater run-off.	A017	No acceptable outcome provided.
PO18	 Development provides for access and parking areas that incorporate appropriate landscapes so as to:- (a) provide shade; (b) maximise infiltration of stormwater runoff; (c) define parking areas; (d) soften views of hardstand areas. 	AO18	No acceptable outcome provided. Note—Section 9.4.2 (Landscape code) sets out requirements for landscapes.
PO19	The environmental impacts of transport infrastructure are minimised by appropriate design and the use of low impact construction techniques.	AO19	Development ensures that the environmental impacts of transport <i>infrastructure</i> are minimised by the use of low impact construction techniques, including:-

Dorformo		Accontable	Outcomos
	ince Outcomes	Acceptable	Outcomes
			 (a) co-location of transport corridors within an existing or planned <i>infrastructure</i> corridor; (b) location of transport corridors within an area clear of <i>vegetation</i>, or consisting of disturbed <i>vegetation</i>; (c) avoidance of clearing of native <i>vegetation</i> and provision of fauna underpasses and associated fencing, where appropriate; (d) minimisation of changes to the hydrological regime, including drainage patterns, run-off and water quality; (e) avoidance of crossing <i>waterways</i>, drainage lines and <i>wetlands</i>. Where such crossings are unavoidable, disturbed areas are reinstated and revegetated on completion of works; and/or (f) minimisation of changes to the
			natural landform and extensive
			earthworks.
	t Corridor Widths, Pavement, Surfacing		
PO20	 Development provides external road works along the full extent of the site <i>frontage</i> appropriate to the function and amenity of the transport corridor, including, where applicable:- (a) paved roadway; (b) kerb and channel; (c) safe vehicular access; (d) safe footpaths, shared pathways and cycleways; (e) safe on-road cycle lanes or verges for cycling; (f) stormwater drainage; (g) conduits to facilitate the provision of street lighting systems and traffic signals; and (h) public transport priority measures, indented bays, bus shelters and associated <i>infrastructure</i>. 	AO20	External street and road works are designed and constructed in accordance with the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works.
PO21	Development provides for the reserve width, pavement, edging and streetscape and landscape treatments of a transport corridor to support the intended role, function and amenity of the transport corridor.	AO21	Transport corridor design and construction is undertaken in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works.
PO22	 Development provides for street and road pavement and surfacing that:- (a) is sufficiently durable to carry wheel loads for design traffic; (b) provides adequate area for parked vehicles; (c) ensures the safe passage of vehicles, pedestrians and cyclists; (d) ensures appropriate management of stormwater and maintenance of all-weather access; and (e) allows for reasonable travel 	AO22.1 AO22.2	Street and road pavement is designed and constructed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme policy for development works. Street and road drainage is designed and constructed in accordance with the standards specified in the Planning scheme policy for the transport and parking code and the Planning scheme
-	comfort.		policy for development works.
PO23	Development provides pavement edging that controls:- (a) vehicle movements by delineating	AO23	Pavement edging is designed and constructed in accordance with the standards specified in the Planning

Performa	nce Outcomes	Acceptable	Outcomes
	the extent of the carriageway; and		scheme policy for the transport and
	(b) stormwater runoff.		parking code and the Planning scheme
	(-)		policy for development works.
PO24	Development provides verges that:-	AO24	Verges are designed and constructed in
_	(a) allow access for vehicles onto	-	accordance with the standards specified
	properties;		in the Planning scheme policy for the
	(b) include an area for public utility		transport and parking code and the
	services:		Planning scheme policy for
	(c) allow signage and line marking;		development works.
	and		•
	(d) contribute to the amenity of		
	transport corridors.		
Intersect	ions and Traffic Controls		
PO25	Development provides for traffic speeds	AO25.1	Intersections are designed and
	and volumes to be catered for through		constructed in accordance with the
	the design and location of intersections		Planning scheme policy for the
	and traffic controls so as to:-		transport and parking code and the
	(a) reduce stop-start conditions;		Planning scheme policy for
	(b) provide for appropriate sight		development works.
	distances;		
	(c) reduce increased vehicle	AO25.2	Speed management is achieved in
	emissions;		accordance with the Planning scheme
	(d) minimise unacceptable traffic noise		policy for the transport and parking
	to adjoining land uses;		code and the Planning scheme policy
	(e) maintain convenience and safety		for development works.
	levels for pedestrians, cyclists and		
	public transport; and		
	(f) integrate traffic controls with		
Davalan	landscape and streetscape design.		
PO26	nent Staging	A026	No coontoble outcome maxidad
PU20	Staged development is planned, designed and constructed to ensure	AO26	No acceptable outcome provided.
	that:-		
	(a) each stage of the development can		
	be constructed without interruption		
	to services and utilities provided to		
	the previous stages;		
	(b) transport <i>infrastructure</i> provided is		
	capable of servicing the entire		
	development;		
	(c) early bus access and circulation is		
	achieved through the connection of		
	collector roads; and		
	(d) materials used are consistent		
	throughout the development.		

Part 9

Table 9.4.8.3.3 Minimum on-site parking requirements²⁶

Column 1 Land Use	Column 2 Car spaces	Column 3 Service vehicle spaces	Column 4 Motorcycle/scooter spaces	Column 5 Cycle spaces
Residential activities				
Dwelling unit	1 covered space minimum	Not required	Not required	Not required
Multiple dwelling	1 space / 1 bedroom <i>dwelling</i> 1.25 spaces / 2 bedroom <i>dwelling</i> 1.5 spaces / 3 bedroom <i>dwelling</i> 2 spaces / 4 bedroom or more <i>dwelling</i> + 1 visitor space / 4 <i>dwellings</i>	 Where ≤ 10 <i>dwellings</i> and requiring access via a street – MRV (Type B Access) + VAN Where > 10 <i>dwellings</i> or requiring access via a road – MRV (Type A Access) + VAN + WCV 	1 space / 10 <i>dwellings</i> (min. 1 space)	1 resident space / <i>dwelling</i> + 1 visitor space / 4 <i>dwellings</i>
Nature-based tourism	1 space / site/cabin/ <i>rooming unit</i> + 1 visitor space / 10 sites + 1 manager space (covered)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required	Not required
Rooming accommodation	1 space / 4 beds (min. 1 space) + 1 space / staff 1 space / 2 beds (min. 1 space) + 1 space / staff for student accommodation	via a street – MRV (Type B Access) + VAN	1 space / 10 <i>beds</i> (min. 1 space)	1 resident / employee space / 5 <i>beds</i> + 1 visitor space / 20 <i>beds</i>
Relocatable home park	1 space / relocatable home (covered) + 1 visitor space / 4 relocatable homes + 1 manager space (covered) + boat / trailer storage	 Where ≤ 10 relocatable homes and requiring access via a street – MRV (Type B Access) + VAN Where > 10 relocatable homes or requiring access via a road – MRV (Type A Access) + VAN + WCV 	1 space / 10 relocatable homes (min. 1 space)	1 resident space / relocatable home + 1 visitor space / 4 relocatable homes
Residential care facility	1 space / 4 beds	MRV (Type A Access) + VAN + WCV + ambulance	1 space / 10 beds (min. 1 space)	1 employee space / 10 beds + 1 visitor space / 10 beds

²⁶ Note—for those uses which are typically accepted development (i.e. caretaker's accommodation, dual occupancy and dwelling house), the minimum on-site parking requirements are specified in the applicable use code.

Column 1 Land Use	Column 2 Car spaces	Column 3 Service vehicle spaces	Column 4 Motorcycle/scooter spaces	Column 5 Cycle spaces
Resort complex	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Retirement facility 1 space / unit (covered) + 1 visitor space / 5 units		 Where ≤ 20 <i>dwellings</i> and requiring <i>access</i> via a street – MRV (Type B Access) + VAN + ambulance Where > 20 <i>dwellings</i> or requiring <i>access</i> via a road – MRV (Type A Access) + VAN + WCV + ambulance 	1 space / 10 unit (min. 1 space)	1 resident space / unit + 1 visitor space / 10 units
Short-term accommodation Note - where the short- term accommodation is in the form of a multiple dwelling, the parking rates specified for multiple dwelling apply.	1 space / rooming unit (covered) + 1 visitor space / 10 rooming units 1 space / site + 1 visitor space / 10 sites + 1 manager space (covered) + boat / trailer storage	 access via a street - MRV (Type B Access) + VAN Where > 20 rooming units or requiring access via a road - MRV (Type A Access) + VAN + WCV Where > 50 rooming units - sufficient spaces to accommodate number of vehicles likely to be parked at any one time (based on an approved Parking Needs Assessment, with min. MRV (Type A Access) + VAN + WCV) Where ≤ 20 sites and requiring access via a street - HRV (Type B Access) + VAN + WCV Where > 20 sites or requiring access via a road - HRV (Type A Access) + VAN + 	1 space / 10 <i>rooming units</i> (min. 1 space)	1 resident / employee space / 10 rooming units + 1 visitor space / 20 rooming units 1 resident / employee space / 10 sites + 1 visitor space / 20 sites
Business activities		WCV		
Adult store	1 space / 20m ² GFA	Refer to Table 9.4.8.3.4	1 space / 100m ² <i>GFA</i>	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>
Agricultural supplies store	1 space / $20m^2$ total <i>use area</i> (where \leq 100m ² total <i>use area</i>) + 1 space / $50m^2$ total <i>use area</i> (for component > $100m^2$ total <i>use area</i>)	Refer to Table 9.4.8.3.4	1 space / 100m ² total <i>use area</i>	1 employee space / 100m ² total <i>use</i> area + 1 customer space / 100m ² total <i>use area</i>
Bar 1 space / 15m² GFA + 1 space / 15m² for any outdoor dining area (excluding any footpath dining area)		WCV + occasional access for SRV	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>
Car wash	Queuing space clear of the road reserve	SRV	Not required	Not required

Column 1	Column 2	Column 3	Column 4	Column 5
Land Use	Car spaces	Service vehicle spaces	Motorcycle/scooter spaces	Cycle spaces
	for 4 vehicles			
Food and drink outlet	1 space / $15m^2$ <i>GFA</i> + 1 space / $15m^2$ for any outdoor dining area (excluding any footpath dining area)	Refer to Table 9.4.8.3.4	1 space / 100m ² GFA	1 employee space / 100m ² GFA + 1 customer space / 100m ² GFA
Function facility	1 space / $15m^2$ <i>GFA</i> + 1 space / $15m^2$ for any outdoor dining area (excluding any footpath dining area)	Refer to Table 9.4.8.3.4	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>
Funeral parlour	1 space / 30m ² GFA	WCV	1 space / 100m ² GFA	1 employee space / 400m ² <i>GFA</i>
Garden centre	1 space / $20m^2$ total <i>use area</i> (where \leq $100m^2$ total <i>use area</i>) + 1 space / $50m^2$ total <i>use area</i> (for component > $100m^2$ total <i>use area</i>)	 Where requiring access via a road – HRV (Type A Access) Where requiring access via a street – HRV (Type B Access) 	1 space / 100m ² total <i>use area</i>	1 employee space / 100m ² total <i>use</i> area + 1 customer space / 100m ² total <i>use area</i>
Hardware and trade supplies	1 space / $20m^2$ total <i>use area</i> (where $\leq 100m^2$ total <i>use area</i>) + 1 space / $50m^2$ total <i>use area</i> (for component > $100m^2$ total <i>use area</i>)	Refer to Table 9.4.8.3.4	1 space / 100m ² total <i>use area</i>	1 employee space / 100m ² total <i>use</i> <i>area</i> + 1 customer space / 100m ² total <i>use area</i>
Health care services	1 space / 20m ² <i>GFA</i>	 Where requiring access via a road – SRV (Type A Access) + occasional access for MRV Where requiring access via a street – SRV (Type B Access) + occasional access for MRV 	1 space / 100m ² <i>GFA</i>	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>
Hotel 1 space / 15m ² GFA + 1 space / 15m ² for any outdoor dining area (excluding any footpath dining area)		 Where ≤ 20 rooming units and requiring access via a street – MRV (Type B Access) + VAN Where > 20 rooming units or requiring access via a road – MRV (Type A Access) + VAN + WCV Where > 50 rooming units – sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. MRV (Type A Access) + VAN + WCV) 	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>
Market 1 space / 20m ² total use area		WCV	1 space / 100m ² total <i>use area</i>	1 employee space / 100m ² total <i>use</i> <i>area</i> + 1 customer space / 100m ² total <i>use area</i>
Nightclub entertainment facility	1 space / 15m ² GFA	WCV + occasional access for SRV	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>

Column 1 Land Use	Column 2 Car spaces	Column 3 Service vehicle spaces	Column 4 Motorcycle/scooter spaces	Column 5 Cycle spaces		
Office	1 space / $30m^2$ <i>GFA</i> or 1 space / $40m^2$ <i>GFA</i> where in the Major centre zone or Principal centre zone.	Refer to Table 9.4.8.3.5 + WCV	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>		
Office where a call centre	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Refer to Table 9.4.8.3.5 + WCV	Refer to Table 9.4.8.3.5 + WCV Sufficient spaces to accommodate number of vehicles likely to be parked at any one time Sufficient spaces to accommodate at any one time			
Outdoor sales	1 space / 20m ² total <i>use area</i> (where ≤ 200m ² total <i>use area</i>) + 1 space / 100m ² total <i>use area</i> (for component > 200m ² total <i>use area</i>)	Refer to Table 9.4.8.3.4	1 space / 100m ² total <i>use area</i>	1 employee space / 100m ² total <i>use</i> <i>area</i> + 1 customer space / 100m ² total <i>use area</i>		
Sales office	2 spaces	Not required	Not required	Not required		
Service station	1 space / 20m ² <i>GFA</i> (when involving sale of goods) + 2 spaces / service bay (min. 4 spaces)	AV	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>		
Shop	1 space / 20m ² GFA	Refer to Table 9.4.8.3.4	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>		
Shopping centre	1 space / 20m ² GFA	Refer to Table 9.4.8.3.4	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>		
Showroom	1 space / $20m^2$ <i>GFA</i> (where $\leq 100m^2$ <i>GFA</i>) + 1 space / $50m^2$ <i>GFA</i> (for component >100m ² <i>GFA</i>)	Refer to Table 9.4.8.3.4	1 space / 100m ² GFA	1 employee space / 100m ² GFA + 1 customer space / 100m ² GFA		
Theatre	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / 15m ² <i>GFA</i>)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / 100m ² <i>GFA</i>)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / $50m^2 GFA$)		
Tourist attraction	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time		
Veterinary services	1 space / 20m ² GFA	 Where requiring access via a road – SRV (Type A Access) + occasional access for MRV Where requiring access via a street – SRV (Type B Access) + occasional 	1 space / 100m ² GFA	1 employee space / 100m ² <i>GFA</i> + 1 customer space / 100m ² <i>GFA</i>		
access for MRV						
Industrial activities						
Bulk landscape supplies	1 space / 100m ² GFA	Where requiring <i>access</i> via a road – HRV (Type A Access) + occasional	Not required	Not required		

Column 1 Land Use	Column 2 Car spaces	Column 3 Service vehicle spaces	Column 4 Motorcycle/scooter spaces	Column 5 Cycle spaces
		access for AV	Motorcycle/scooler spaces	Cycle spaces
		 Where requiring access via a street – HRV (Type B Access) + occasional access for AV 		
Extractive industry	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required	Not required
All other uses in the industrial activity group	1 space / $50m^2$ <i>GFA</i> (where $\leq 500m^2$ <i>GFA</i>) + 1 space / $100m^2$ <i>GFA</i> (for component > $500m^2$ <i>GFA</i>)	 Where requiring access via a road – AV (Type A Access) Where requiring access via a street – 	1 space / 200m ² <i>GFA</i>	1 employee space / 500m ² GFA
•		AV (Type B Access)		
Community activities	I	1		
Cemetery	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Child care centre	1 employee space / employee + 1 customer space / 5 children	VAN + WCV (where >200m ² GFA)	VAN + WCV (where >200m ² GFA) 1 space / 100m ² GFA	
Club	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / $15m^2$ <i>GFA</i> + 1 space / $15m^2$ for any outdoor dining area (excluding any footpath dining area))	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / 100m ² <i>GFA</i>)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / 50m ² <i>GFA</i>)
Community care centre	1 space / 20m ² GFA	VAN + WCV (where >200m ² <i>GFA</i>)	1 space / 100m ² GFA	1 employee space / 50m ² <i>GFA</i> + 1 visitor space / 50m ² <i>GFA</i>
Community use	1 space / 20m ² GFA	VAN + WCV (where >200m ² GFA)	1 space / 100m ² GFA	1 employee space / 50m ² GFA + 1 visitor space / 50m ² GFA
Crematorium	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time, including 1 space / 15m ² <i>GFA</i> for chapel component	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Educational establishment	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)	1 space / 100m ² GFA	1 student / employee space / 100m ² GFA
Emergency services	services Sufficient spaces to accommodate number of vehicles likely to be parked at any one time Sufficient spaces to accommodate number of vehicles likely to be parked at any on time		Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time

Column 1 Land Use	Column 2 Car spaces	Column 3 Service vehicle spaces	Column 4 Motorcycle/scooter spaces	Column 5 Cycle spaces
Hospital	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)	1 space / 100m ² <i>GFA</i>	1 employee space / 50m ² <i>GFA</i> + 1 visitor space / 50m ² <i>GFA</i>
Place of worship	1 space / 15m ² <i>GFA</i>	 Where requiring access via a road – SRV (Type A Access) + occasional access for MRV Where requiring access via a street – 	1 space / 100m ² <i>GFA</i>	1 space / 50m ² <i>GFA</i>
		 Where requiring access via a street – SRV (Type B Access) + occasional access for MRV 		
Sport & recreation activitie	S			
Indoor sport and recreation	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Major sport, recreation and entertainment facility	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / 1,500m ² total <i>use area</i> for spectator sports OR 1 space / 100m ² total <i>use area</i> for other uses)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / 1,500m ² total <i>use area</i> for spectator sports OR 1 space / 100m ² total <i>use area</i> for other uses)
Motor sport facility	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / 1,500m ² total <i>use area</i>)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 space / 1,500m ² total <i>use area</i>)
Outdoor sport and recreation	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	 Where requiring access via a road – MRV (Type A Access) + WCV where requiring access via a street – MRV (Type B Access) + WCV 	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
Park Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (in accordance with Desired Standards of Service for open space)		Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (in accordance with Desired Standards of Service for open space)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (in accordance with Desired Standards of Service for open space)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (in accordance with Desired Standards of Service for open space)
Rural activities				
Roadside stall	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (min. 1 space)	Not required	Not required	Not required

Column 1 Land Use	Column 2 Car spaces	Column 3 Service vehicle spaces	Column 4 Motorcycle/scooter spaces	Column 5 Cycle spaces
Rural industry	1 space / 50m ² total <i>use area</i> (where ≤ 500m ² total <i>use area</i>) + 1 space / 100m ² total <i>use area</i> (for component > 500m ² total <i>use area</i>)	 Where requiring <i>access</i> via a road – AV (Type A Access) Where requiring <i>access</i> via a street – AV (Type B Access) 	1 space / 200m ² <i>GFA</i>	1 employee space / 500m ² <i>GFA</i>
Wholesale nursery	 Where ≤ 100m² total use area – 1 space / 20m² total use area Where >100m² total use area – 1 space / 50m² total use area 	(Type A Access)	Not required	Not required
All other uses in the rural activity group	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	 Where requiring access via a road – AV (Type A Access) Where requiring access via a street – AV (Type B Access) 	Not required	Not required
Other activities		·		
Air services	 Where for office / educational activity - 1 space / 30m² GFA Where for workshop - 1 space / 50m² GFA Where for hangar - 1 space / 100m² GFA 	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	1 space / 100m ² <i>GFA</i> (min. 1 space)	 Where for office / educational activity - 1 space / 50m² GFA Where for workshop - 1 space / 100m² GFA Where for hangar - 1 space / 500m² GFA
Parking station	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required	Not required	Not required
Telecommunications facility	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (min. 1 space)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required	Not required
Utility installation (Local utility)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required	Not required
Utility installation (Major utility)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
All other uses in the other activity group	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time

Notes-

- (1) The Transport and parking code identifies specific circumstances in which the number of car parking spaces required may be varied from the rates specified.
- (2) Where the calculated number of spaces is not a whole number, the required number of parking spaces is the nearest whole number.
- (3) Unless specifically stated, covered parking is not required.
- (4) Design service vehicles are defined in the **Planning scheme policy for the transport and parking code**.
- (5) Type A Access where the design vehicle access must:-
 - (i) enable entering and exiting the *site* in a forward motion;
 - (ii) enable travel though the site on circulation roads / aisles to access service areas, without significant impact on external or internal traffic operations; and
 - (iii) enable on-site manoeuvring to park and load / unload in a designated service area.
- (6) Type B Access where the design vehicle access must:-
 - (i) enable standing wholly within the site without occupying any designated queue areas, or blocking access to more than 50% of car parking spaces; and
 - (ii) limit any on-street manoeuvring to reversing on or off the site in one movement only.

The swept path of the vehicle may cover the overall width of a two-way undivided driveway.

- (7) Where a development is for a residential activity or community activity use, and waste collection will occur not more than twice per week, a WCV parking space provided on site may be considered to satisfy the requirement to provide on-site parking for another service vehicle type that is not larger than the WCV.
- (8) Occasional access (for the maximum size of service vehicle expected less than 20 times per year) is to be provided for vehicles that occasionally service a *site* as part of its normal operation. Examples of this type of servicing are a furniture removal van at a *multiple dwelling* or office development and a refuse collection vehicle at a community activity facility. Vehicle *access* must:-
 - (i) enable standing wholly within the site;
 - (ii) enable reverse manoeuvres limited to one only, either to or from the *site*; and
 - (iii) enable the swept path of the vehicle to be not greater than the width of the access driveway.

Table 9.4.8.3.4Minimum service vehicle parking requirements for Adult store,
Agricultural supplies store, Food and drink outlet, Function facility,
Hardware and trade supplies, Hotel, Outdoor sales, Shop, Shopping
centre and Showroom

Column 1 GFA (m²)	Column 2 Service Bays Required					
	VAN	SRV	MRV	HRV	AV	WCV
0-199		1				
200-599	1		1			1
600-999	1	1	1			1
1,000-1,499	2	1	1			1
1,500-1,999	2	2	1			1
2,000-2,799	2	2	2			1
2,800-3,599	2	2	2	1		1
3,600-4,399	3	2	2	1		1
4,400-6,499	3	2	2	1	1	1
6,500-8,499	4	2	2	1	1	1
8,500-11,499	4	3	2	1	1	1
11,500-14,749	5	3	2	1	1	1
14,750-17,999	5	3	3	1	1	1
18,000-20,999	6	3	3	1	1	1
21,000-2,3999	6	3	3	2	1	1
24,000-26,999	6	3	3	2	2	1
27,000-29,999	6	3	3	3	2	1
30,000-32,999	7	3	3	3	2	1
33,000-35,999	7	3	4	3	2	1
36,000-38,999	8	3	4	3	2	1
39,000-41,999	9	3	4	3	2	1
42,000+	10	3	4	3	2	1

Notes--

- (1) Design service vehicles are defined in the **Planning scheme policy for the transport and parking code**.
- (2) Where gross floor area exceeds 200m², provision is to be to be made for on-site refuse collection.
- (3) Where a development has a gross floor area of less than 1,500m², and waste collection will occur not more than twice per week, a WCV parking space provided on site may be considered to satisfy the requirement to provide on-site parking for another service vehicle type that is not larger than the WCV.
- (4) The following requirements apply to shopping centres:-
 - except as provided for in (ii) below, service bay requirements are to be applied to each individual retail component of the development, with service bays located immediately adjacent to the component;
 - specialty shops in a *shopping centre* with a gross floor area of less than 200m² are to be grouped together and treated as a single retail component;
 - specialty shops for this purpose, MRV class vehicles are to be provided for in lieu of HRV and AV class vehicles.

Table 9.4.8.3.5 Minimum service vehicle parking requirements for office

Column 1 GFA (m²)	Column 2 Service Bays Required			
	VAN	SRV	MRV	HRV
0-999		1		
1,000-2,499	1		1	
2,500-3,999	2	1	1	
4,000-5,999	3	1	1	
6,000-7,999	4	1	1	
8,000-9,999	4	2	1	
10,000-14,999	4	2	1	
15,000-19,999	5	2	1	
20,000-34,999	5	2	2	
35,000-49,999	5	2	2	1
50,000-64,999	6	2	2	1
65,000+	6	2	3	1

Notes-

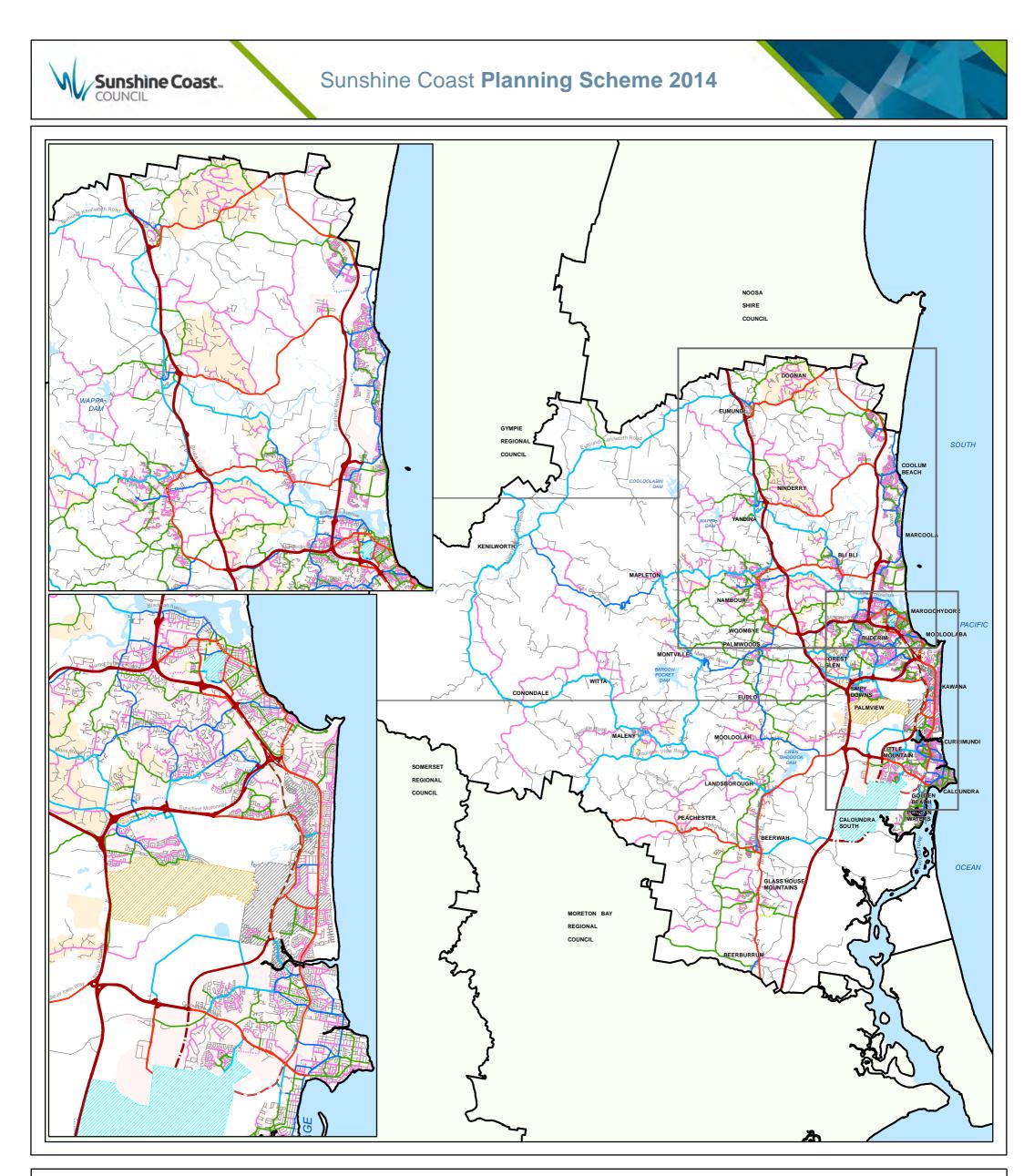
(1) Design service vehicles are defined in the **Planning scheme policy for the transport and parking code**.

(2) Provision for courier vehicles and taxis must be positioned near main building entrances and clearly visible from access driveways and/or *frontage* roads and may be in the form of a short-stay lay-by area.

(3) Where emergency power generating facilities are to be installed, provision for fuel delivery is required.

(4) Developments exceeding 1,000m² *GFA* must provide for *access* and on-site standing of an HRV (e.g. furniture removal van).

Part 9



2031 Functional Transport Hierarchy

Transport Hierarchy and Status (Note 1) -

Arterial Roads

- Highway/Motorway, Current ----- Highway/Motorway, Future
- Arterial, Current
- Arterial, Future
- Arterial Main Street, Current

Sub-arterial Roads

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- Distributor, Current
- Distributor, Future
- Controlled Distributor, Current
- Controlled Distributor, Future

Sub-arterial Main Street, Current

- Sub-arterial Main Street, Future

District Streets

- District Collector Street, Current
- District Collector Street, Future District Main Street, Future

Neighbourhood Streets

Neighbourhood Collector Street, Current Neighbourhood Collector Street, Future

Local Streets (Access Streets, Places and Laneways)

- Local, Current
- Local. Future

Corridors Subject to Further Investigation

- Highway/Motorway, Subject to Investigation
- ----- Arterial, Subject to Investigation
- ----- Distributor, Subject to Investigation
- ----- Controlled Distributor, Subject to Investigation
- ----- District Collector, Subject to Investigation

Land Use Categories

- Urban Area
- Rural Residential Area

Other Elements

Note 1 : Certain corridors on this map are subject to further investigation and potential change. Note 2 : Where corridors are located within Declared Master Planned Areas, Part 10 (Other Plans) applies. Note 3 : Where corridors are located within Land within Development Control Plan 1 - Kawana Waters, Kawana Waters Development Agreement applies.

- Local Government Area Boundary
- Declared Master Planned Area (see Part 10 - Other Plans) (Note 2)
- Land within Development Control Plan 1 Kawana © Crown and Council Copyright Reserved 2019 Waters which is the subject of the Kawana Waters Development Agreement (see Section 1.2 -Planning Scheme Components) (Note 3)
- Priority Development Area (subject to the *Economic Development Act* 2012)
- Waterways and Waterbodies

Disclaimer

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Geocentric Datum of Australia 1994 (GDA94)



Approx Scale @ A3 1:330,425

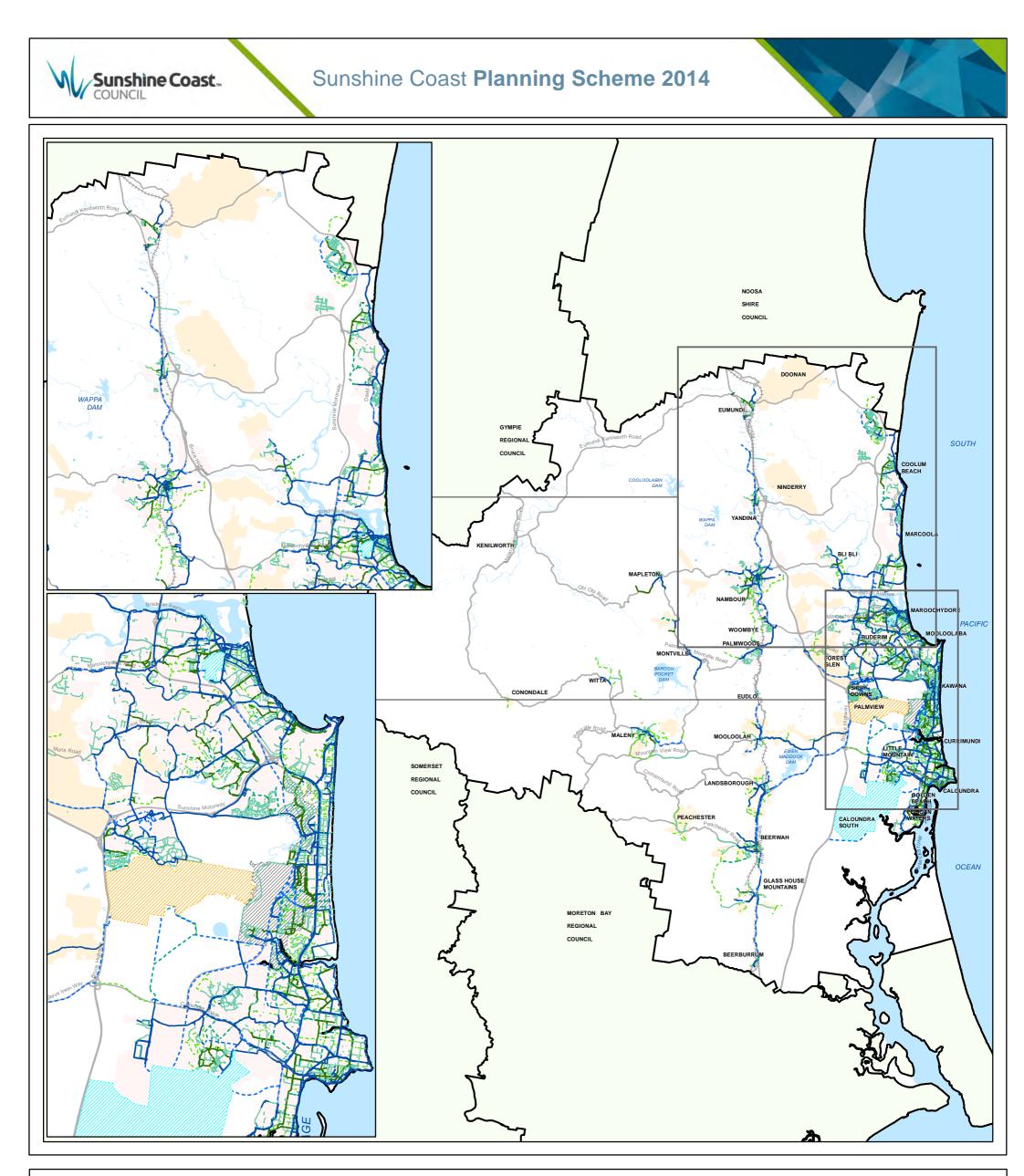
0 1.5 3 6 9 12 Kilometres

Figure 9.4.8A

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Amended 11 November 2019 Sunshine Coast Planning Scheme 2014





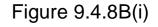
2031 Strategic Network of Pedestrian and Cycle Links (Pathways)

Existing Pathways	Other Elements	
Regional	Local Government Area Boundary	
District Local	Declared Master Planned Area (see Part 10 - Other Plans) (Note 2)	
Future Pathways (Note 1)	Land within Development Control Plan 1 - Kawana Waters which is the subject of the Kawana Waters Development Agreement	
Regional	(see Section 1.2 - Planning Scheme Components) (Note 3)	
District	Priority Development Area	
Local	(subject to the Economic Development Act 2012)	
Land Use Categories	Waterways and Waterbodies	
Urban Area	—— Major Road	
Rural Residential Area	HIII Railway	
	Note 1 : Certain corridors on this map are subject to further investigation and potential change. Note 2 : Where corridors are located within Declared Master Planned Areas, Part 10 (Other Plans) applies. Note 3 : Where corridors are located within Land within Development Control Plan 1 - Kawana Waters, Kawana Waters Development Agreement app	plies.

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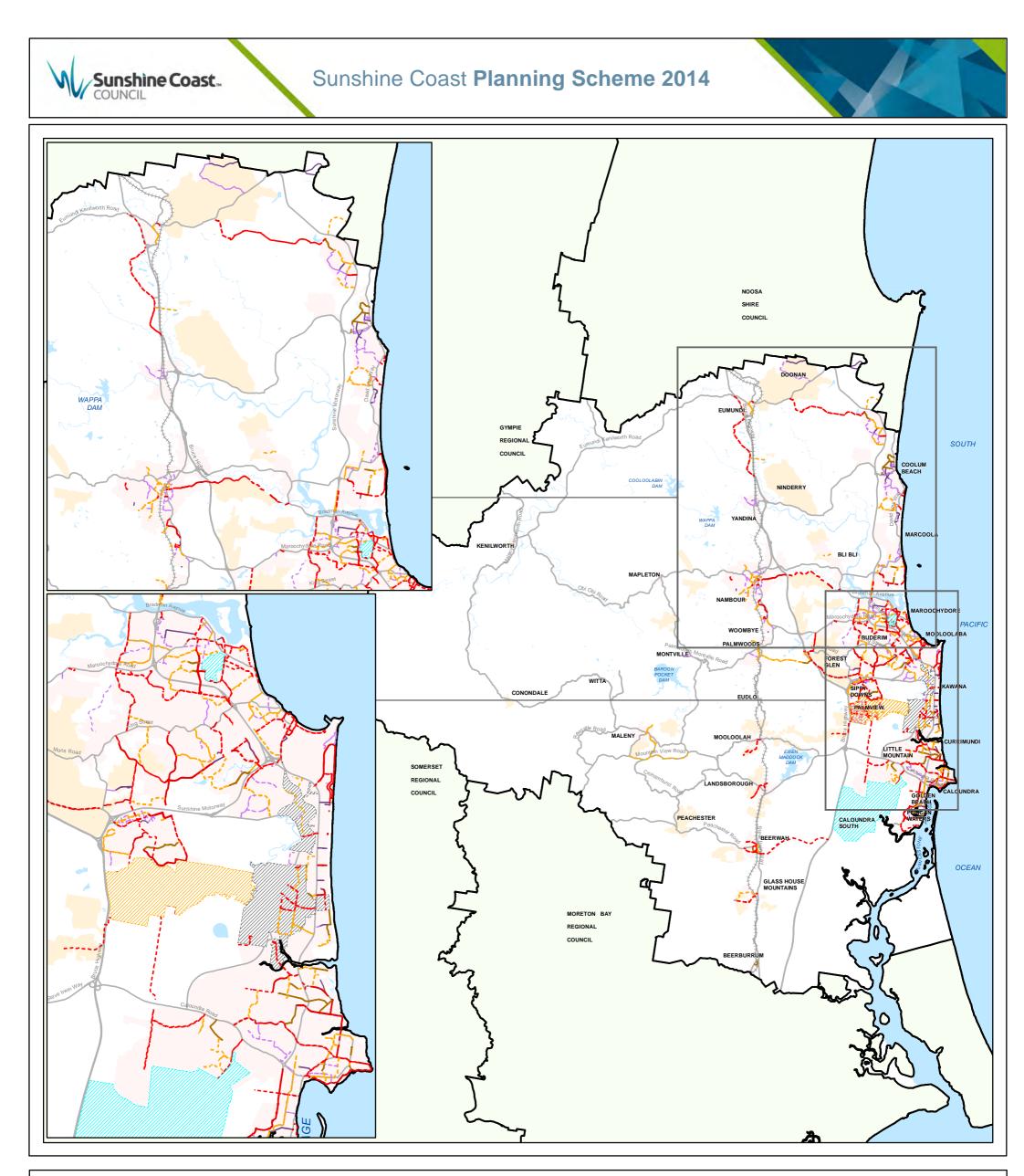
© Crown and Council Copyright Reserved 2019 Geocentric Datum of Australia 1994 (GDA94)

Approx Scale @ A3 1:330,400 0 1.5 3 6 9 12 Kilometres



Page 9-166 Path: W:(CommonlGeolProjects1130101_SunshinecoastPlanningScheme2014/Queue_VersionISCPS2014_A20R3MapsPart91TransportandParkingCodeFigures/Fig9_4_881_2031_PednBike_20160526.mxd

> Amended 11 November 2019 Sunshine Coast Planning Scheme 2014



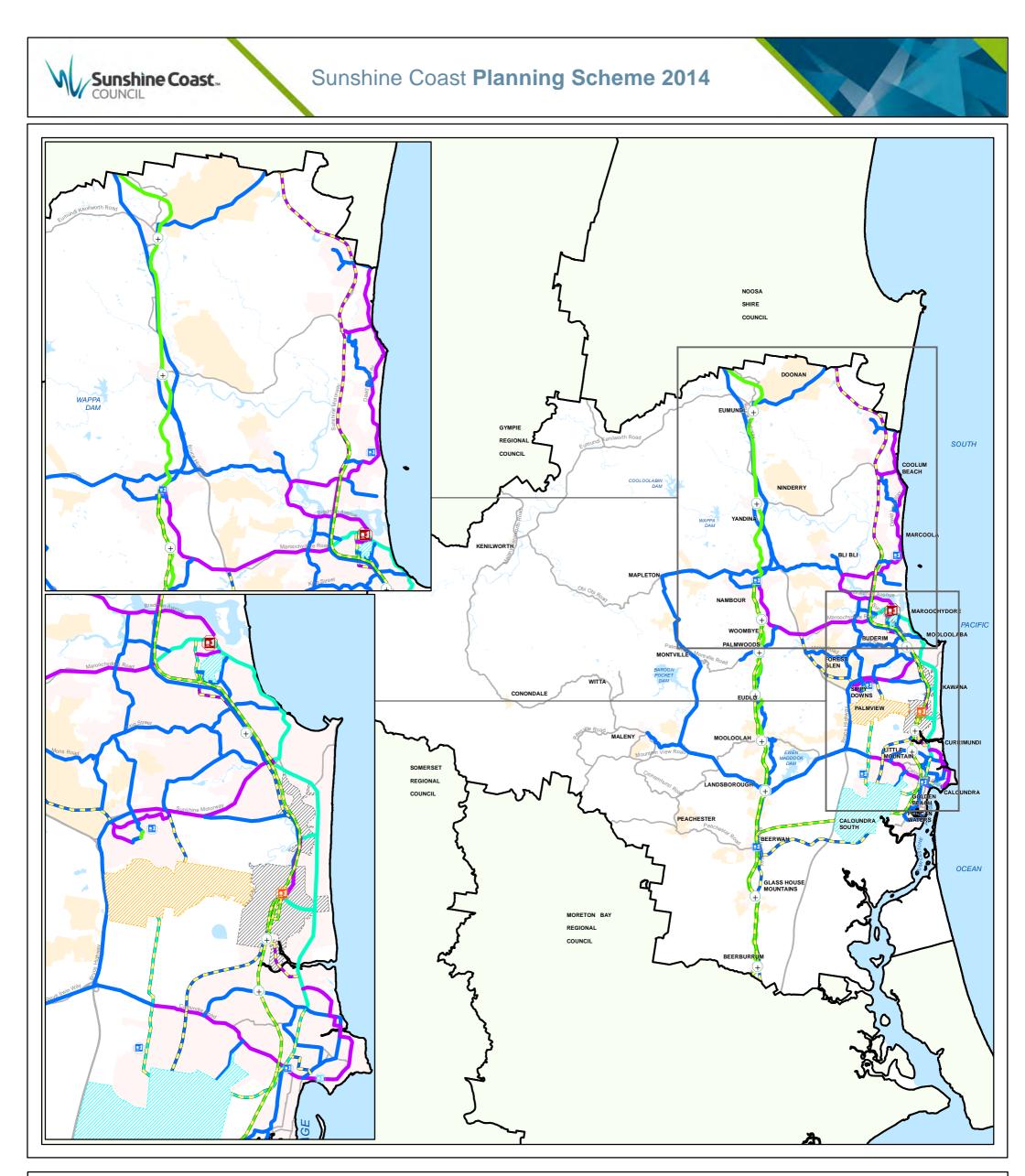
2031 Strategic Network of Pedestrian and Cycle Links (On Road Cycleways)

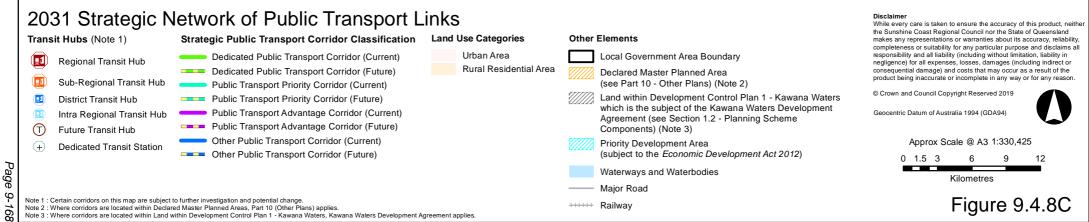
		While every care is taken to ensure the accuracy of this product, neither
Existing On Road Cycleways	G Other Elements	the Sunshine Coast Regional Council nor the State of Queensland makes any representations or warranties about its accuracy, reliability,
Regional	Local Government Area Boundary	completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in
District	Declared Master Planned Area	negligence) for all expenses, losses, damages (including indirect or
—— Local	(see Part 10 - Other Plans) (Note 2)	consequential damage) and costs that may occur as a result of the product being inaccurate or incomplete in any way or for any reason.
Future On Road Cycleways (N	Note 1) Land within Development Control Plan 1 - Kawana Waters which is the subject of the Kawana Waters Development Agreement	© Crown and Council Copyright Reserved 2019
Regional	(see Section 1.2 - Planning Scheme Components) (Note 3)	Geocentric Datum of Australia 1994 (GDA94)
District	Priority Development Area	
Local	(subject to the <i>Economic Development Act 2012</i>)	Approx Scale @ A3 1:330,425
Land Use Categories	Waterways and Waterbodies	Applex 66ale @ A6 1.666, 126
Land Use Categories		0 1.5 3 6 9 12
Urban Area	—— Major Road	
Rural Residential Area	+++++ Railway	Kilometres
	Note 1 : Certain corridors on this map are subject to further investigation and potential change. Note 2 : Where corridors are located within Declared Master Planned Areas, Part 10 (Other Plans) applies. Note 3 : Where corridors are located within Land within Development Control Plan 1 - Kawana Waters, Kawana Waters	Figure 9.4.8B(ii)

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9.4.9 Vegetation management code²⁷

9.4.9.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Vegetation management code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.9.2 Purpose and overall outcomes

- (1) The purpose of the Vegetation management code is to provide for the management of vegetation in a manner which protects and enhances the biodiversity and landscape values of the Sunshine Coast.
- (2) The purpose of the Vegetation management code will be achieved through the following overall outcomes:-
 - (a) development provides for the protection and enhancement of the Sunshine Coast's ecosystems, biodiversity and ecological values, natural physical processes, landscape character and amenity;
 - (b) development ensures that *vegetation* within *ecologically important areas* is conserved;
 - (c) development ensures that *vegetation* which is of cultural, heritage, character, ecological, horticultural, scientific, educational, recreation or aesthetic (including *streetscape*, townscape or landscape) significance or value is conserved;
 - (d) development avoids or minimises adverse impacts on koalas and provides for a net increase in koala habitat, where applicable;
 - (e) development provides appropriate biodiversity offsets where *vegetation clearing* cannot practicably be avoided; and
 - (f) development involving vegetation clearing is undertaken in an environmentally responsible manner and does not cause adverse amenity impacts, public health and safety concerns or land degradation, and is humane where impacts upon fauna are unavoidable.

9.4.9.3 Performance outcomes and acceptable outcomes

Table 9.4.9.3.1 Performance outcomes and acceptable outcomes for assessable development

Perforn	nance Outcomes	Acceptable Outcomes
Vegeta	tion Protection	
PO1	(a) habitats are provided and maintained for rare and threatened	AO1 Vegetation clearing, other than exempt vegetation clearing, does not occur.
	flora and fauna identified by a nature conservation law including	OR
	the Nature Conservation Act 1992 and the Environmental Protection and Biodiversity Conservation Act	Otherwise, no acceptable outcome provided.
	 1999; (b) ecological processes, biodiversity and the habitat values of native flora and fauna are protected and enhanced: 	Note—in assessing and deciding a development application for <i>vegetation clearing</i> , matters that will be taken into account by <i>Council</i> will include, but not necessarily be limited to:-
	 (c) ecosystems are protected from weed invasion and edge effects; (d) the functioning and connectivity of biodiversity corridors and fauna 	 (a) whether the vegetation clearing is reasonably necessary; (b) any current development approval attached to the land which may include

²⁷ Editor's note—the Planning scheme policy for development works provides guidance and specifies standards for satisfying certain outcomes of this code, including the preparation of a Fauna Management Plan.

Porform	anco Outcomos	Accontable	Outcomes
renomi		Acceptable	
Perform	 ance Outcomes movement networks is maintained; (e) the ecological health and integrity of riparian corridors, <i>waterways</i> and <i>wetlands</i> are maintained; (f) soil resources are protected against the loss of chemical and physical fertility through processes such as erosion, mass movement, salinity and water logging; (g) <i>vegetation</i> of historical, cultural or visual significance or identified in a local area study as being of priority for conservation is retained; and (h) the character and visual amenity of individual communities and local areas and the Sunshine Coast generally is maintained. 	Acceptable	 Outcomes conditions or measures relating to vegetation retention or protection; (c) whether the vegetation is specifically protected by a vegetation protection order, registrable covenant, easement or similar legally binding mechanism that seeks to protect the values and functions of recognised significant vegetation; (d) whether the vegetation proposed to be cleared is identified as having significant values in a report adopted by <i>Council</i>; (e) whether the vegetation is located on land subject to the Heritage and Character Areas Overlay, or is otherwise identified as character vegetation in a local plan code; (f) whether the vegetation is identified or referred to in State or Federal legislation; (g) whether the vegetation is located on a prominent hillside, slope or ridgeline; (i) whether the vegetation is located on a prominent hillside, slope or ridgeline; (j) whether the vegetation is, or forms part of, a riparian area or other habitat network and is valuable to the functioning of that network; (k) whether the vegetation clearing may have an adverse impact on the hydrology of the area, or upon hydrologically-sensitive plant communities, such as wetland, heathland, sedgeland, melaleuca forest or mangrove forest; (I) whether the vegetation is, or is capable of forming or contributing to, a visual buffer, agricultural buffer or a buffer against pollution, light spillage or noise; and
			(n) whether the vegetation contributes to
14/			visual amenity or landscape quality.
	ys and Wetlands	402	Vegetation clearing dass not essue within
PO2	 Development protects, enhances and rehabilitates:- (a) vegetation within a waterway and a wetland; (b) the ecological functions of a waterway and wetland; and (c) aquatic fauna habitat. 	AO2	Vegetation clearing does not occur within a waterway or wetland as identified on a Biodiversity, Waterways and Wetlands Overlay Map.
PO3	Vegetation adjacent to a waterway or wetland is protected to assist in the maintenance of water quality, existing hydrological characteristics, habitat and visual amenity values.	AO3	 Clearing of vegetation does not occur within:- (a) a riparian protection area identified on a Biodiversity, Waterway and Wetlands Overlay Map; or (b) 10 metres of each high bank of a waterway with a stream order 1 or 2 identified on a Biodiversity, Waterway and Wetlands Overlay Map.
	upply Catchments		
PO4 Steep La	Vegetation clearing within a water supply catchment area, as identified on a Water Supply Catchments Overlay Map, is avoided or minimised so as to reduce the potential for erosion and soil runoff and maintain water quality.	AO4	No acceptable outcome provided.
PO5	Vegetation clearing in a landslide	A05	No acceptable outcome provided.

Part 9

Perform	ance Outcomes	Accentable	Outcomes
	hazard area or on <i>steep land</i> , as	Accoptable	
	identified on a Landslide Hazard and		
	Steep Land Overlay Map, is avoided or		
	minimised to maintain slope stability		
	and prevent erosion and slippage.		
Koala Ha			I.
PO6	Vegetation clearing:-	AO6.1	Vegetation clearing avoids clearing of
	(a) provides a net gain in mature and		non-juvenile koala habitat trees.
	actively regenerating koala habitat;		
	and		OR
	(b) mitigates any potential threats or		
	risks to koalas.		Where clearing of non-juvenile koala
			habitat trees is unavoidable, such clearing
			is minimised, and an offset is provided in
			accordance with:-
			(a) the requirements specified in Table
			9.4.9.3.2 (Biodiversity offset
			requirements); and
			(b) the Planning scheme policy for biodiversity offsets.
			biodiversity offsets.
		AO6.2	Where clearing of <i>koala habitat trees</i> is
		A00.2	unavoidable, clearing is undertaken in a
			sequential manner.
Biodiver	rsity offsets		
PO7	Where the clearing of native vegetation	AO7	Where the clearing of native vegetation
-	cannot practicably be avoided, an	_	cannot practicably be avoided, a
	appropriate biodiversity offset for the		biodiversity offset is provided in
	area that is adversely affected by the		accordance with:-
	vegetation clearing is provided, that:-		(a) the minimum standards specified in
	(a) results in a net environmental		Table 9.4.9.3.2 (Biodiversity offset
	benefit;		requirements); and
	(b) is located on the development site,		(b) the Planning scheme policy for
	another <i>site</i> that has a nexus with		biodiversity offsets.
	the development <i>site</i> or a <i>site</i> that		
	is within a rehabilitation focus area;		
	(c) is supported by appropriate management and funding		
	management and funding arrangements to ensure the		
	ongoing viability of the offset; and		
	(d) is not used for material or		
	commercial gain.		
Manage	ment of Vegetation Clearing Works		
PO8	Vegetation clearing works are	AO8	No acceptable outcome provided.
	conducted in a manner that:-		···· ····· · · · · · · · · · · · · · ·
	(a) protects natural landforms,		Editor's note - Section 9.4.11 (Works,
	including steep land, waterways		services and infrastructure code) sets out
	and gullies; and		requirements for sediment and erosion control.
	(b) prevents soil degradation and		requirements for sediment and erosion control.
	(b) prevents soil degradation and controls erosion, slippage and		requirements for sediment and erosion control.
201	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. 		
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are 	AO9.1	The health and stability of retained
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- 	AO9.1	The health and stability of retained vegetation is maintained or enhanced
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and 	AO9.1	The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:-
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained 	AO9.1	The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained vegetation; and 	AO9.1	The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained 	AO9.1	The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape;
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained vegetation; and 	AO9.1	The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape; (b) installing secure, barrier fencing
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained vegetation; and 	AO9.1	 The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape; (b) installing secure, barrier fencing around the outer drip line and critical
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained vegetation; and 	AO9.1	 The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape; (b) installing secure, barrier fencing around the outer drip line and critical root zone of the vegetation;
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained vegetation; and 	AO9.1	 The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape; (b) installing secure, barrier fencing around the outer drip line and critical root zone of the vegetation; (c) preventing any filling, excavation,
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained vegetation; and 	AO9.1	 The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape; (b) installing secure, barrier fencing around the outer drip line and critical root zone of the vegetation; (c) preventing any filling, excavation, stockpiling, storage of chemicals, fuel
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained vegetation; and 	AO9.1	 The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape; (b) installing secure, barrier fencing around the outer drip line and critical root zone of the vegetation; (c) preventing any filling, excavation, stockpiling, storage of chemicals, fuel or machinery within the fenced
PO9	 (b) prevents soil degradation and controls erosion, slippage and sedimentation. Vegetation clearing works are conducted in a manner that:- (a) protects the aesthetic and ecological values of retained vegetation; and 	AO9.1	 The health and stability of retained vegetation is maintained or enhanced during vegetation clearing work by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape; (b) installing secure, barrier fencing around the outer drip line and critical root zone of the vegetation; (c) preventing any filling, excavation, stockpiling, storage of chemicals, fuel

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Perform	ance Outcomes	Acceptable	Outcomes
		A09.2	techniques in the vicinity of vegetation to minimise interference with the vegetation; and (e) removing all species listed in the current version of the Sunshine Coast Local Government Area Pest Management Plan. All clearing works carried out in the vicinity of the retained vegetation are to be
			undertaken in accordance with AS4970 Protection of Trees on Development Sites and AS4687 Temporary Fencing and Hoarding.
		AO9.3	 Where construction activities will result in adverse impacts upon fauna and/or the clearing and/or removal of fauna habitat:- (a) a suitably qualified professional fauna spotter and catcher undertakes preclearing inspections and is present for all clearing activities; (b) all vacant hollows and nests are rendered unusable to prohibit fauna return during clearing works; (c) all fauna is suitably relocated during the pre-clearing inspections or during clearing, where permitted by legislation; (d) nesting boxes are provided in retained or adjacent bushland, at a rate of 1:2 for the nesting hollows removed; (e) nesting boxes are designed to target species identified on the <i>site</i>, including native bee species; (f) an inspection program is implemented for the nesting boxes; and (g) ground habitat such as rocks and hollow logs and other structural elements are provided at a similar density and diversity to the area of
PO10	Vegetation clearing is undertaken in a manner that minimises environmental harm and environmental nuisance to surrounding areas as a result of air,	AO10.1 AO10.2	the vegetation cleared. No dust emissions extend beyond the boundaries of the <i>site</i> . No other air emissions, including odours,
	dust or noise emissions.	AO10.3	are detectable at the boundary of the <i>site</i> . Works are only carried out between the hours of 7.00am to 6.00pm Monday to Saturday inclusive.
		AO10.4	Noise generating equipment is shielded or acoustically treated in a manner that ensures the equipment does not create environmental nuisance.
	on Disposal		
PO11	 Vegetation cleared from a site is disposed of in a manner that:- (a) maximises reuse and/or recycling; (b) minimises impacts on public health and safety; and (c) minimises the release of carbon dioxide. 	A011	 Where vegetation is cleared, vegetation waste is appropriately disposed of in the following order of preference:- (a) milling for commercial timber products, landscaping or firewood; (b) on-site chipping or mulching, unless it causes spreading of non-indigenous

Performance Outcomes	Acceptable Outcomes
	species; and (c) transportation off-site and disposal in an approved green waste disposal facility.

Table 9.4.9.3.2 Biodiversity offset requirements

Column 1 Environmental value impacted	Column 2 Biodiversity offset outcome sought	Column 3 Biodiversity offset location	Column 4 Offset ratio
Mapped Ecologically Import			
Native <i>vegetation</i> area	Conserve vegetation, prevent loss of biodiversity, reduce land degradation and maintain ecological processes.	In accordance with the standards specified in the Planning scheme policy for biodiversity offsets.	 1:1 where involving development in a centre zone or industry zone 1.5:1 where not otherwise specified
Riparian area, <i>waterway</i> or <i>wetland</i>	Improve the integrity and viability of <i>wetlands</i> , <i>waterways</i> and riparian areas. Improve water quality, flows and aquatic habitat.	In accordance with the standards specified in the Planning scheme policy for biodiversity offsets.	2:1
Habitat for Rare and Threate	ened Species		
Koala habitat	Improve the population viability of relevant species in the wild.	In accordance with the standards specified in the	5:1 where for Koala habitat2:1 where for other habitat
Habitat for other endangered species, vulnerable species and rare species	ווי נופ שוום.	Planning scheme policy for biodiversity offsets.	

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 ²⁸ Native vegetation area, riparian areas (riparian protection areas and urban riparian areas), *waterways* and *wetlands* are identified on Biodiversity, Waterways and Wetlands Overlay Maps.

9.4.10 Waste management code²⁹

9.4.10.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Waste management code by the tables of assessment in **Part 5 (Tables of assessment)**.
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.10.2 Purpose and overall outcomes

- (1) The purpose of the Waste management code is to ensure development provides for the sustainable management of waste in a manner which is environmentally acceptable, safe and efficient.
- (2) The purpose of the Waste management code will be achieved through the following overall outcomes:-
 - (a) development provides opportunities to minimise waste generation and increase re-use and recycling;
 - (b) development provides for waste management facilities which are conducive to the storage of waste in an environmentally acceptable, nuisance free and aesthetically pleasing manner;
 - (c) waste storage facilities are functionally appropriate for users of the facilities; and
 - (d) waste collection services are undertaken in a safe, efficient and unobstructed manner.

9.4.10.3 Performance outcomes and acceptable outcomes

Table 9.4.10.3.1 Performance outcomes and acceptable outcomes for assessable development

Perform	ance Outcomes	Acceptable	Outcomes
	linimisation	-	
PO1	Development minimises waste generation (including construction, demolition and operational waste) and provides opportunities for re-use and recycling, where appropriate.	A01	Development with the potential to generate significant amounts of waste is undertaken in accordance with an approved waste management plan, prepared in accordance with the Planning scheme policy for the waste management code.
Waste S	torage		
PO2	Development provides adequate facilities on-site for the storage of waste and recyclable material, in a manner which minimises the potential for environmental harm and environmental nuisance.	AO2	A waste container storage area(s) is provided that is sited, screened and designed in accordance with the standards specified in the Planning scheme policy for the waste management code.
PO3	Development provides for source separation and segregation of wastes, by providing convenient access to recycling containers, green waste containers and other specialised waste storage containers, as required, which are easily recognised and appropriate to the type and volume of wastes generated.	AO3	No acceptable outcome provided.
	ervicing		
PO4	Development is designed to facilitate	AO4.1	Where on-site waste collection services

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²⁹ Editor's note—the Planning scheme policy for the waste management code provides standards, guidelines and advice for achieving certain outcomes of this code, including guidance for the preparation of a waste management plan.

Performance Outcomes	Acceptable	Outcomes
and allow for safe, unobstructed and		are proposed:-
efficient servicing of waste containers.		 (a) the layout and internal trafficable areas of the development is designed to facilitate direct servicing of waste containers by the refuse collection vehicle in a safe, efficient and unobstructed manner; (b) refuse collection vehicle entry and exit from the <i>site</i> is carried out in a forward gear; and (c) the proposed point of servicing is designed to minimise the potential for nuisances to be caused by way of noise and odour.
	AO4.2	 Where on-street (kerbside) waste collection is proposed for standard domestic waste containers, sufficient kerbside space is provided adjacent to the <i>frontage</i> of the premises for the required number of bins, and such space is;- (a) clearly separated from car parking bays, loading bays and other similar no-standing areas; (b) clear of overhanging branches, awnings and other such hindrances to servicing by a lifter arm; (c) clear of footpaths and pedestrian access connections to the road; (d) not in front of shop entrances or private residential premises; (e) not blocking the vision of vehicles using the roadway or entering and exiting the property; (f) capable of being serviced safely without the collection vehicle impeding traffic flow during servicing; and (g) capable of being serviced while the collection vehicle travels forward (i.e. without the vehicle needing to being the propertion of the provide the provide
	AO4.3	 reverse). Where on-street waste collection is proposed for standard bulk bins:- (a) a storage embayment is provided just inside the property boundary alignment of the <i>site</i>, preferably next to the site access point, and adjacent to the likely point on the street where the bulk bin will be serviced by the contractor; (b) a reasonably level, smooth and nonslip access path is provided, from the temporary embayment continuous to the likely point on the street where a refuse collection vehicle will service the bin; (c) a lawful point exists on the street for the refuse collection vehicle to stand, at the likely point for bin servicing, such that the refuse collection vehicle to stand, at the likely point for bin servicing, such that the refuse collection vehicle is not required to "double park" and/or is not impeding traffic flow during servicing and is not blocking the

Perform	ance Outcomes	Acceptable	Outcomes
			 or entering and exiting the property; and (d) at the point of collection, there is clear volumetric space available that is:- (i) clear of overhanging branches, awnings and other such hindrances to servicing by a lifter arm; (ii) clear of footpaths and pedestrian access connections to the road; (iii) not in front of shop entrances or private residential premises; and (iv) capable of being serviced while the collection vehicle travels forward (i.e. without the vehicle needing to reverse).
			Note—the Planning scheme policy for the waste management code contains guidance in relation to the achievement of AO4.1, AO4.2 and AO4.3. Editor's note—Section 9.4.8 (Transport and parking code) sets out additional requirements
			for service vehicle access and parking.
PO5	Development is designed to allow for safe and unobstructed manual handling and manoeuvring of standard domestic waste containers and standard bulk bins.	AO5	No acceptable outcome provided.

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9.4.11 Works, services and infrastructure code

9.4.11.1 Application

- (1) This code applies to assessable development identified as requiring assessment against the Works, services and infrastructure code by the tables of assessment in Part 5 (Tables of assessment).
- (2) All provisions in this code are assessment benchmarks for applicable assessable development.

9.4.11.2 Purpose and overall outcomes

- (1) The purpose of the Works, services and infrastructure code is to ensure that development works and the provision of *infrastructure* and services meets the needs of the development, and is undertaken in a sustainable manner in accordance with *best practice*.
- (2) The purpose of the Works, services and infrastructure code will be achieved through the following overall outcomes:-
 - (a) works are undertaken such that environmental harm and nuisance resulting from construction activities is avoided or minimised and the environmental values of water and retained *vegetation* are protected;
 - (b) development is designed and constructed to a standard that meets community expectations, prevents unacceptable off-site impacts and minimises whole of life cycle costs;
 - (c) physical and human *infrastructure* networks that provide basic and essential services and facilities to local communities are able to meet the planned increase in demand resulting from a planned increase in development density;
 - (d) development is provided with an appropriate level of water, wastewater treatment and disposal, drainage, energy and communications *infrastructure* and other services;
 - (e) *infrastructure* is designed, constructed and provided in a manner which maximises resource efficiency and achieves acceptable maintenance, renewal and adaptation costs;
 - (f) *infrastructure* is integrated with surrounding networks;
 - (g) development over or near *infrastructure* does not compromise or interfere with the integrity of the *infrastructure*; and
 - (h) filling or excavation does not adversely or unreasonably impact on the natural environment or adjacent properties and provides for sites to be suitably remediated to maximise landscape outcomes.

9.4.11.3 Performance outcomes and acceptable outcomes

Table 9.4.11.3.1 Performance outcomes and acceptable outcomes for assessable development

Perform	Performance Outcomes		e Outcomes
Constr	uction Management		
PO1	Air emissions, noise or lighting arising from construction activities and works do not adversely impact on	AO1.1	Dust emissions do not extend beyond the boundary of the <i>site</i> .
	surrounding areas.	AO1.2	Air emissions, including odours, are not detectable at the boundary of the <i>site</i> .
		AO1.3	Works are only carried out between 7:00am to 6:00pm Monday to Saturday inclusive.
		AO1.4	Noise generating equipment is enclosed, shielded or acoustically treated in a manner

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Perform	ance Outcomes	Acceptable	e Outcomes
			which ensures the equipment does not create environmental harm.
		AO1.5	Outdoor lighting complies with AS4282-1997 Control of the Obtrusive Effects of Outdoor Lighting.
PO2	Construction activities and works provide for:- (a) the protection of the aesthetic and ecological values of retained <i>vegetation</i> ; and (b) impacts on fauna to be minimised.	AO2.1	 The health and stability of retained vegetation is maintained or enhanced during construction activities by:- (a) clearly marking vegetation to be retained with temporary fencing and flagging tape; (b) installing temporary barrier fencing around the outer drip line and critical root zone of the vegetation; (c) preventing any filling, excavation, stockpiling, storage of chemicals, fuel or machinery within the fenced protection area; (d) using low impact construction techniques in the vicinity of vegetation to minimise interference with the vegetation; and (e) removing all declared noxious weeds and environmental weeds from the <i>site</i>.
		AO2.2	All works carried out in the vicinity of retained vegetation comply with AS4970 Protection of Trees on Development Sites and AS4687 Temporary Fencing and Hoarding.
		AO2.3	 Where construction activities will result in adverse impacts upon fauna and/or the clearing and/or removal of fauna habitat:- (a) a suitably qualified professional fauna spotter and catcher undertakes a fauna management report, pre-clearing inspections and is present for all clearing activities; (b) all vacant hollows and nests are relocated or rendered unusable to prohibit fauna return during clearing works; (c) all fauna is suitably relocated or humanely dealt with during the pre-clearing inspections or during clearing; and (d) 'offset' nesting hollows/nest boxes are provided in adjoining <i>vegetation</i> at least 1 month prior to the clearing,
PO3	 Vegetation cleared from a site is disposed of in a manner that:- (a) maximises reuse and/or recycling; and (b) minimises impacts on public health and safety. 	AO3	 Where vegetation is cleared, vegetation waste is appropriately disposed of in the following order of preference:- (a) milling for commercial timber products, landscaping or firewood; (b) on-site chipping or mulching; (c) transportation off-site and disposal in an approved green waste disposal facility; and (d) use for forest floor habitat in adjoining
PO4	Construction activities and works are managed such that all reasonable and practicable measures are taken to protect the environmental values of	AO4	bushland and revegetation areas. Development is located, designed and constructed in accordance with an erosion and sediment control plan, prepared in accordance with the requirements specified

Perform	ance Outcomes	Acceptable	e Outcomes
	water and the functionality of stormwater <i>infrastructure</i> from the impacts of erosion, turbidity and sedimentation, both on and downstream of the development <i>site</i> .		in the Planning scheme policy for development works.
PO5	Construction activities and works are undertaken such that existing utilities, road and drainage <i>infrastructure:-</i> (a) continue to function efficiently; and (b) can be accessed by the relevant	A05.1	Existing utilities, road and drainage infrastructure are protected or relocated in accordance with the standards specified in the Planning scheme policy for development works .
	authority for maintenance purposes.	AO5.2	The costs of any alterations or repairs to utilities, road and drainage <i>infrastructure</i> are met by the applicant.
PO6	Traffic and parking generated during construction activities and works is managed to minimise impacts on the amenity of the surrounding area.	AO6	No acceptable outcome provided.
P07	 Construction activities and works provide for:- (a) minimisation of waste material; (b) separation of recyclable material; (c) storage of waste and recyclable material; and (d) collection of waste and recyclable material; in a manner that minimises adverse impacts on the amenity and safety of surrounding areas. 	A07	No acceptable outcome provided. Editor's note—Section 9.4.10 (Waste management code) sets out requirements for waste management.
	Icture, Services and Utilities	409.4	Where development is leasted in an urban
PO8	Development is provided with infrastructure, services and utilities appropriate to its setting and commensurate with its needs.	A08.1	Where development is located in an <i>urban</i> <i>zone</i> , appropriate connection is provided to reticulated sewerage, water supply, stormwater drainage, electricity, gas (where available in the street) and telecommunications services at no cost to the <i>Council</i> , including provision by way of dedicated road, public reserve or as a minimum by way of easements to ensure continued access is available to these services in accordance with the standards specified in the Planning scheme policy for development works , or where applicable, the requirements of the service provider.
		AO8.2	Where development is located in a <i>non-urban zone</i> and reticulated sewerage is not available, an on-site treatment and disposal system is provided that complies with the requirements of the <i>Plumbing and Drainage Act 2003.</i>
		AO8.3	Where development is located in a <i>non-urban zone</i> and reticulated water supply is not available, development is provided with appropriate on-site rainwater collection in accordance with the relevant use code. Editor's note—Section 9.4.6 (Stormwater
			Editor's note—Section 9.4.6 (Stormwater management code) sets out requirements for stormwater management.
	-		Editor's note—the provision of telecommunications infrastructure is regulated in accordance with Federal Government legislation.
PO9	Development provides for	AO9.1	Infrastructure is planned, and appropriate

Performance Outcomes	Acceptable	e Outcomes
<i>infrastructure</i> , services and utilities that are planned, designed and constructed in a manner which:- (a) ensures appropriate capacity to meet the current and planned		contributions made, in accordance with the Local Government Infrastructure Plan or any other applicable infrastructure charging instrument.
 future needs of the development; (b) is integrated with and efficiently extends existing networks; (c) minimises risk to life and property; (d) avoids, or where avoidance is not practicable minimises and 	AO9.2	<i>Infrastructure</i> is planned, designed and constructed in accordance with <i>Council's</i> Local Government Infrastructure Plan, and the Planning scheme policy for development works, or where applicable, the requirements of the service provider.
 mitigates, adverse impacts on ecologically important areas; (e) minimises risk of environmental harm; (f) achieves acceptable maintenance, renewal and 	AO9.3	Compatible public utility services are co- located in common trenching in order to minimise the land required and the costs for underground services.
adaptation costs; (g) can be easily and efficiently maintained;	AO9.4	Stormwater drainage, sewerage and sullage systems are designed so that overflows do not enter residences.
 (h) minimises potable water demand and wastewater production; (i) ensures the ongoing construction or operation of the development is not disrupted; (j) where development is staged, each stage is fully serviced before 	AO9.5	 Infrastructure, services and utilities are located and aligned so as to:- (a) avoid disturbance of ecologically important areas; (b) minimise earthworks; and (c) avoid crossing waterways or wetlands.
a new stage is released; (k) ensures adequate clearance zones are maintained between utilities and dwellings to protect		OR Where the provision of <i>infrastructure</i> has
residential amenity and health; (I) preserves visual amenity in key areas (i.e. in centres or along scenic routes); and (m) minimises interference with the passage of pedestrians in areas of high pedestrian traffic.		adverse impacts upon an <i>ecologically</i> <i>important area</i> which cannot reasonably be avoided, development provides for a biodiversity offset for the area of an <i>ecologically important area</i> , in accordance with the following:- (a) the biodiversity offset requirements specified in Table 9.4.9.3.2 (Biodiversity offset requirements) of Section 9.4.9 (Vegetation management code); and (b) the standards specified in the Planning scheme policy for biodiversity offsets.
	AO9.6	Where the crossing of a <i>waterway</i> or <i>wetland</i> cannot be avoided, tunnel boring techniques are used to minimise disturbance and disturbed areas are reinstated and revegetated on completion of works.
	AO9.7	The selection of materials used in the construction of <i>infrastructure</i> is suitable, durable, easy to maintain and cost effective, taking into account the whole of life cycle cost, and achieves <i>best practice</i> environmental management and energy savings.
	AO9.8	Except where in the Rural zone, electrical and telecommunications reticulation <i>infrastructure</i> is provided underground in:- (a) greenfield developments; (b) development involving the creation of more than 5 lots;

Perform	ance Outcomes	Accentable	e Outcomes
		Acceptabl	(c) development in <i>centre zones</i> ; and
			(d) development in areas of high scenic
			amenity.
Works (Over or Near Sewerage, Water and Stor	mwater Drai	
PO10	Building or operational work near or over the <i>Council's</i> stormwater <i>infrastructure</i> and/or sewerage and water <i>infrastructure</i> :- (a) protects the <i>infrastructure</i> from physical damage; and (b) allows ongoing necessary access for maintenance purposes. <i>r Excavation</i> <i>Filling or excavation:</i> - (a) does not cause environmental harm;	AO10 AO11	Building or operational work near or over the <i>Council's</i> stormwater <i>infrastructure</i> and/or sewerage and water <i>infrastructure</i> complies with the Planning scheme policy for development works and the requirements of the water and sewerage service provider. Development provides that:- (a) on sites:- (i) with a <i>slope</i> of 15% or more, or as
	 (b) does not impact adversely on visual amenity or privacy; (c) maintains natural landforms as far as possible; (d) provides for remediated soil conditions to support the successful establishment of landscapes; and (e) is stable in both the short and long term. 		 identified in the Planning scheme policy for development works, the extent of excavation (cut) and fill does not involve a total change of more than 1.5 metres relative to the natural ground level at any point; or (ii) in other areas, the extent of excavation (cut) and fill does not involve a total change of more than 1.0m relative to the natural ground level at any point; (b) no part of any cut or fill batter is within 1.5 metres of any property boundary, except cut and fill involving a change in ground level of less than 200mm that does not necessitate the removal of any vegetation; (c) retaining walls are no greater than 1.0 metre high; (d) retaining walls are constructed a minimum 150mm from property boundaries; (e) all stored material is:- (i) contained wholly within the site; (ii) located in a single manageable area that does not exceed 50m²; and (iii) located at least 10 metres from any property boundary; (f) topsoil is harvested, stockpiled, remediated and reused in a manner that supports achievement of site specific vegetation performance objectives; and (g) any batter or retaining wall is structurally
PO12	<i>Filling or excavation</i> does not result in any contamination of land or water, or	AO12	adequate. Development provides that:- (a) no contaminated material is used as fill;
	pose a health or safety risk to users and neighbours of the <i>site</i> .		 (b) for excavation, no contaminated material is excavated or contaminant disturbed; and (c) waste materials are not used as fill, including:- (i) commercial waste; (ii) construction/demolition waste; (iii) domestic waste; (iv) garden/vegetation waste; and (v) industrial waste.
PO13	The location and extent of filling or	AO13	The extent of <i>filling or excavation</i> is in
	excavation is consistent with the		accordance with an existing development

Perform	ance Outcomes	Acceptable	Outcomes	
	intended use of the <i>site</i> .		approval for a material change of use, reconfiguring a lot or building work (which has not lapsed).	
PO14	<i>Filling or excavation</i> does not prevent or create difficult access to the property.	AO14	Driveways are able to be constructed and maintained in accordance with the requirements of the Planning scheme policy for development works .	
PO15	<i>Filling or excavation</i> does not cause significant impacts through truck movements, dust or noise, on the amenity of the locality in which the works are undertaken or along routes taken to transport the material.	AO15	<i>Filling or excavation</i> is undertaken in accordance with the requirements of the Planning scheme policy for development works .	
PO16	The transportation of materials in association with <i>filling or excavation</i> activities minimises adverse impacts on the road system.	AO16	Material is transported in accordance with the requirements of the Planning scheme policy for development works .	



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	Sport and recreation activity group	
	Rural activity group	
	Other activity group	

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SC1.2 Administrative definitions

- (1) Administrative definitions assist with the interpretation of the planning scheme but do not have a specific land use meaning.
- (2) A term listed in column 1 of **Table SC1.2.2 (Administrative definitions)** has the meaning set out beside that term in column 2.
- (3) The administrative definitions listed here are the definitions for the purpose of the planning scheme.

 Table SC1.2.1
 Index of administrative definitions

Access	Frontage	Property maintenance
 Acid sulfate soils (ASS) 	 Full line supermarket 	activities
Active transport	 Gross floor area 	 Protected estate
Active use	 Gross leasable floor area 	 Public open space
Adjoining premises	Ground level	 Public safety area
Adult store sensitive use	 High impact home based 	Rear lot
area	business activities	 Reasonably necessary
Advertising device	 High volume convenience 	Recommended flood level
Affordable living	restaurant	(RFL)
Ancillary	Home office	 Regional activity centre
Annual exceedance	Household	 Residential activity group
probability (AEP)	 Industrial activity group 	 Residential density or
Art and craft centre	 Industry zone 	density of residential uses
Australian noise exposure	 Infrastructure 	Residential zone
forecast (ANEF)	Intensive rural use	Resource/processing area
Average recurrence	Kawana Waters	Rooming unit
interval (ARI)	Development Agreement	Rural activity group
Aviation facilities	Koala habitat tree	Safe refuge
Aviation facility sensitive	Local area structure plan	Secondary active street
area	Local heritage place	frontage
Base date	Local utility	 Secondary dwelling
Basement	Major road	 Sensitive land use
 Bed and breakfast 	Major utility	Service catchment
Best practice	Maritime development	Setback
Buffer or landscape buffer	Mezzanine	Signface area
Building height	Minor building work	• Site
 Business activity group 	Minor electricity	Site cover
Camping ground	infrastructure	Slope
Caravan park	 Mixed use building 	Slope analysis
Caravan and boat storage	Mixed use development	Sport and recreation activity
Centre zone	Net developable area	group
Character building	Netserv Plan	State heritage place
Coastal dependent	 Non-juvenile koala habitat 	Steep land
development	tree	Storey
Community activity group	Non-urban zone	Storm tide inundation area
Constructed water body	Not-for-profit organisation	Streetscape
Corner store	Obstacle limitation surface	Sunshine Coast activity
Council	(OLS)	centre network
• Defined flood event (DFE)	Other activity group	Supermarket
Defined storm tide event	Operational airspace	Temporary use
(DSTE)	Outermost projection	Third party advertising
Demand unit	Planning assumptions	device
Department store	Plot ratio	Tidal waters
Development Control Plan	Prescribed other	Transport hierarchy
1 Kawana Waters	development codes	Transport network
Development footprint	Prescribed rooftop use	Transport route
Discount department store	Primary active street	Ultimate development
Distributor-retailer	frontage	Urban purposes
Domestic outbuilding	Principal public transport	Urban zone
Drive-through facility	network	Use area
	network	

•	Dwelling Ecologically important area Equivalent dwelling Erosion prone area Essential community infrastructure Exempt vegetation clearing Extractive resources Filling or excavation Floodplain	•	Private open space Probable maximum flood (PMF) Probable maximum storm tide (PMST)	•	Vegetation Vegetation clearing Water resource catchment area Water supply storage Waterway Wetland
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Table SC1.2.2	Administrative	definitions
	Additionative	

Column 1 Term	Column 2 Definition
Access	The entry of persons and vehicles onto a lot, either existing or proposed, from a road which abuts the <i>frontage</i> of that lot.
Acid sulfate soils (ASS)	Soil or sediment containing highly acidic horizons or layers affected by the oxidation of iron sulfides, known as actual <i>ASS</i> , and/or soil or sediment containing iron sulfides or other sulfidic material that has not been exposed to air and oxidised, known as potential <i>ASS</i> .
Active transport	Non-motorised forms of transport involving physical activity, such as walking and cycling.
Active use	 Any use that by its nature creates activity on adjoining land. The term includes but is not necessarily limited to the following uses as defined in Table SC1.1.2 (Use definitions):- (a) community use; (b) food and drink outlet; (c) hotel; (d) office (where a bank or real estate agent); (e) shop; and (f) shopping centre.
Adjoining premises	Premises that share all or part of a measurable common boundary.
Adult store sensitive use area	 Means the area from the boundary of land occupied by a <i>child care centre</i>, <i>educational establishment</i> or <i>place of worship</i> (Sensitive Use) which is within the greater of the following:- (a) 200 metres of a Sensitive Use according to the shortest route a person may lawfully take, by vehicle or on foot; or (b) 100 metres of a Sensitive Use measured in a straight line.
Advertising device	Any permanent structure, device, sign or the like intended for advertising purposes. It includes any framework, supporting structure or building feature that is provided exclusively or mainly as part of the advertisement. Note—an <i>advertising device</i> that is not visible from a public place or premises other than premises on which the <i>advertising device</i> is placed is not an <i>advertising device</i> for the purposes of the planning scheme. Note—an <i>advertising device</i> required to be placed on premises by legislation (including subordinate legislation) is not an <i>advertising device</i> for the purposes of the planning scheme.
Affordable living	 Housing and neighbourhoods that are designed to minimise the cost of living through a range of measures including the following:- (a) provision of appropriate employment, community <i>infrastructure</i> and open space; (b) provision of high quality public transport and bicycle and pedestrian <i>infrastructure</i> networks; and (c) design for water and energy efficiency.
Ancillary	Associated with, but incidental and subordinate to.
Annual exceedance	The likelihood of occurrence of a flood of a given size or larger in any one year,

Column 1 Term	Column 2 Definition
probability (AEP)	usually expressed as a percentage (e.g. 5% AEP).
Art and craft centre	 The use of premises being <i>shop</i> for the display and sale of a work of art or craft, such as handicrafts, pottery, paintings and sculptures. The term includes:- (a) the manufacture of art or craft on the premises; and (b) associated individual or small group instruction on the making of a work of art or craft.
Australian noise exposure forecast (ANEF)	A single number index (shown as a series of contours on an Airport Environs Overlay Map) that predicts for a particular future year the cumulative exposure to aircraft noise likely to be experienced by communities near airports during a specified time period.
Average recurrence interval (ARI)	The average period between the recurrence of a storm event of a given rainfall intensity.
	The <i>ARI</i> represents a statistical probability. For example, a 10 year <i>ARI</i> indicates an average of 10 years between exceedance of a given storm magnitude.
Aviation facilities	Navigation, communication or surveillance installations provided to assist the safe and efficient movement of aircraft. Such facilities may be located either on or off airport premises.
Aviation facility sensitive area	The area around an <i>aviation facility</i> that is sensitive to development including physical obstructions, competing radio transmissions or significant electromagnetic emissions.
Base date	The date from which a local government has estimated its projected <i>infrastructure</i> demands and costs.
Basement	A space that is situated between one floor level and the floor level next below where no part of the space projects more than one metre above ground level.
Bed and breakfast	The use of a premises being a <i>dwelling house</i> for short term accommodation to the travelling public.
Best practice	The application of measures that are comparable with the acknowledged best measures applied nationally and internationally.
Buffer (or landscape buffer)	 An area required for ecological, acoustic or scenic amenity protection purposes that incorporates a separation distance and associated landscape, structures and works:- (a) between different land uses; (b) from a major noise source; (c) from a conservation area or a public recreation area; or (d) from a <i>wetland</i>, <i>waterway</i> or waterbody.
Building height	 Means:- (a) if specified in metres—the vertical distance between the <i>ground level</i> and the highest point of the building roof (apex) or parapet at any point, but not including any load bearing antenna, aerial, chimney, flagpole or the like; (b) if specified in <i>storeys</i>—the number of <i>storeys</i> above <i>ground level</i>; or (c) if specified in both metres and <i>storeys</i>, both (a) and (b) apply. Note—Notwithstanding the definition of <i>ground level</i>, for the purpose of determining <i>building height</i> in Precinct CAL LPP-4 (Moffat Beach/Shelly Beach/Dicky Beach), ground level is the
	level of the land at the time the original estate was subdivided and roads created as determined by a cadastral surveyor, or if this level is not known, the natural level of the ground or probable natural level of the ground as determined by a cadastral surveyor.
Business activity group	The uses identified in Figure SC1.1.2B (Business activity group) as forming part of the <i>business activity group</i> .
Camping ground	The use of premises being <i>tourist park</i> for pitching a tent for the purpose of providing short term accommodation to the travelling public. The use may include toilet and shower facilities for the convenience of visitors.
Caravan and boat storage	The use of premises being a <i>warehouse</i> primarily for the storage of caravans, boats, recreation vehicles and the like, where the use is conducted wholly or predominantly outdoors.

Column 1 Term	Column 2 Definition
Caravan park	 The use of premises being <i>tourist park</i> for the parking of caravans, motor homes, campervans, camper trailers and the like for the purpose of providing accommodation. The use may include:- (a) communal facilities for the exclusive use of occupants; (b) the use of camping areas and cabins for short term accommodation where they are <i>ancillary</i> to the provision of caravan sites; (c) any associated manager's residence and office; and (d) any amenity buildings, recreation and entertainment facilities that cater exclusively for the occupants of the <i>caravan park</i>.
Centre zone	 Means each of the following zones:- (a) Principal centre zone; (b) Major centre zone; (c) District centre zone; and (d) Local centre zone.
Character building	A building within a character area that contributes to and reinforces the identified and predominant character of the area.
	The term includes those buildings identified as <i>character buildings</i> in the significance statements for neighbourhood character areas in the Planning scheme policy for the Heritage and character areas overlay code.
Coastal-dependent development	 Development that requires land adjoining the foreshore and access to tidal water to function, including:- (a) industrial and commercial facilities such as ports, harbours and navigation channels and facilities, erosion control structures and beach nourishment; and (b) tourism facilities for marine (boating) purposes or that are part of an integrated development proposal incorporating a marina.
Community activity group	The uses identified in Figure SC1.1.2D (Community activity group) as forming part of the <i>community activity group</i> .
Constructed water body	Any artificial <i>waterway</i> , including any artificial channel, lake or other body of water. The term includes a canal (being an artificial <i>waterway</i> connected, or intended to be connected to tidal water and from which boating access to the tidal water is not hindered by a lock, weir or similar structure) but does not include a sedimentation basin, stormwater drain (including of natural channel design), treatment wetland, water supply <i>infrastructure</i> or agricultural water body.
Corner store	The use of premises being <i>shop</i> for the display and retail sale of convenience goods to members of the public where the <i>gross leasable floor area</i> of the use is not more than 100m ² . The use may be combined with the use of the same premises for a <i>dwelling unit</i> .
Council	The Sunshine Coast Regional Council.
Defined flood event (DFE)	The event, measured in terms of the likelihood of occurrence, adopted by the <i>Council</i> to manage development as identified in Column 2 of Table 8.2.7.3.3 (Flood levels and flood immunity requirements for development infrastructure) of the Flood hazard overlay code. The <i>DFE</i> incorporates an allowance for future climate change over the design life of the development, through increased rainfall intensities and mean sea level rise.
Defined storm tide event (DSTE)	The event, measured in terms of the likelihood of occurrence, and associated inundation level adopted by the <i>Council</i> to manage development as identified in Column 2 of Table 8.2.7.3.3 (Flood levels and flood immunity requirements for development infrastructure) of the Flood hazard overlay code. The <i>DSTE</i> incorporates an allowance for future climate change over the design life of the development, through increased rainfall intensities, mean sea level rise and a greater frequency of extreme weather events.
Demand unit	A standard of unit measurement to express demand on a trunk <i>infrastructure</i> network.
Department store	A single self-contained retailing outlet in a department based structure and with department based service facilities offering a wide variety of goods and services generally of a non-food nature for sale.

Column 1	Column 2
Term	Definition
	Note—examples - David Jones, Myer.
Development Control Plan 1 Kawana Waters	Development Control Plan 1 Kawana Waters made under the repealed Planning and Environment Act 1997 and which was in existence prior to the commencement of the planning scheme and includes all amendments to the Development Control Plan 1 Kawana Waters made pursuant to Section 857 (Development Control Plans under repealed LGP&E Act) of the Sustainable Planning Act 2009.
Development footprint	The location and extent of all development proposed on a <i>site</i> . This includes all buildings and structures, open space, all associated facilities, landscaping, on-site stormwater drainage, on-site wastewater treatment, all areas of disturbance, on-site parking, <i>access</i> and manoeuvring areas.
Discount department store	A single self-contained retailing outlet with fast service checkout facilities offering a wide variety of goods and services generally of a non-food nature for sale.
	Note—examples - Big W, K Mart, Target.
Distributor-retailer	The Northern South East Queensland Distributor-Retailer Authority (trading as Unitywater).
Domestic outbuilding	A Class 10a building, as defined in the Building Code of Australia, that is <i>ancillary</i> to a residential use on the same premises and is limited to non-habitable buildings for the purpose of a shed, garage or carport.
Drive-through facility	The use of land buildings or structures to provide or dispense products or services, through an attendant or window or automated machine, to persons remaining in a motor vehicle.
Dwelling	 A building or part of a building used or capable of being used as a self-contained residence that must include the following:- (a) food preparation facilities; (b) a bath or shower; (c) a toilet and wash basin; (d) clothes washing facilities. The term includes outbuildings, structures and works normally associated with a <i>dwelling</i>.
Ecologically important area	 Except where separately defined in a structure plan, means:- (a) a natural <i>waterway</i> or <i>wetland</i>; (b) an area of remnant or non-remnant native <i>vegetation</i> identified on a Biodiversity, Waterways and Wetlands Overlay Map; or (c) an area which otherwise:- (i) contains or is likely habitat for scheduled species under the <i>Nature Conservation (Wildlife) Regulation (Qld) 2006</i>; (ii) contains or is likely to contain listed threatened species and/or ecological communities, protected critical habitat or listed migratory species as defined by the <i>Environmental Protection and Biodiversity Conservation (Cth) Act 1999</i>; (iii) contains a spring as defined under the <i>Water Act (Qld) 2000</i>; or (iv) contains habitat for flora and/or fauna species of local ecological significance.
Equivalent dwelling	 The equivalence factor used to calculate <i>residential density</i> where:- (a) a <i>rooming unit</i> equals 0.35 <i>equivalent dwellings</i>; (b) a one bedroom dwelling equals 0.7 <i>equivalent dwellings</i>; (c) a two bedroom <i>dwelling</i> equals 1 <i>equivalent dwelling</i>; (d) a three bedroom <i>dwelling</i> equals 1.35 <i>equivalent dwellings</i>; and (e) a <i>dwelling</i> with four or more bedrooms equals 1.7 <i>equivalent dwellings</i>.
Erosion prone area	An area subject to coastal erosion and declared to be an <i>erosion prone area</i> under section 70(1) of the <i>Coastal Protection and Management Act</i> 1995.
Essential community	Any one or more of the following:- (a) <i>emergency services</i> infrastructure;

Column 1 Term	Column 2 Definition
infrastructure	 (b) emergency shelters; (c) police facilities; (d) <i>hospitals</i> and associated facilities; (e) stores of valuable records or heritage items; (f) power stations and <i>substations</i>; (g) major switch yards; (h) communication facilities; (i) sewage treatment plants; and (j) water treatment plants.
Exempt vegetation clearing	 Vegetation clearing under the following circumstances:- (a) vegetation clearing undertaken by a statutory authority on land other than freehold land; (b) vegetation clearing undertaken by the <i>Council</i> in the exercise of its power under the <i>Local</i> Government <i>Act</i> 2009; (c) vegetation clearing undertaken by or on behalf of the <i>Council</i> on <i>Council</i> owned or controlled land included within the Community facilities zone, Sport and recreation zone or Open space zone; (d) clearing of:- (i) a plant declared as a pest pursuant to the <i>Land Protection (Pest and</i> Stock Route Management) <i>Act</i> 2002; (ii) a plant identified as a locally significant pest species in the Sunshine Coast Local Government Area Pest Management Plan; or (iii) a plant which is otherwise an exotic species; provided that the clearing; (i) is consistent with any current development approval that attaches to the land; (ii) does not involve the removal of vegetation on a heritage place identified on a Heritage and Character Areas Overlay Map; (iii) does not involve the removal of vegetation identified as character vegetation in local plan; and (iv) does not result in the total clearing of an area of vegetation greater than 250m²; (e) vegetation clearing that is reasonably necessary for carrying out work that is:-(i) authorised or required under legislation or a local law; or (ii) specified in a notice served by <i>Council</i> or onther operational work; or (iii) for building work associated with a dwelling house; (iv) vegetation clearing that is reasonably necessary for carrying out work that is:-(i) a person honestly and reasonably available to the person to avoid the immediate threat to life or property; (v) no cheriarg required for emergency works, where:-(iii) a person honestly and reasonably available to the person to avoid the immediate threat to life or property; (v) no reas

Column 1 Term	Column 2 Definition
	 registrable covenant, easement or similar legally binding mechanism that seeks to protect the values and functions of recognised significant <i>vegetation</i>; (iii) is not located on land adjacent to land included within the Environmental management and conservation zone; (iv) does not involve the removal of <i>vegetation</i> on a heritage place identified on a Heritage and Character Areas Overlay Map; (v) does not involve the removal of <i>vegetation</i> identified as character <i>vegetation</i> in a local plan; and (vi) does not exceed a total area of 600m²; and (m) <i>vegetation clearing</i> on a lot exceeding 1,000m² in area provided that such <i>vegetation clearing</i>. (i) is not located in a native <i>vegetation</i> area, <i>waterway</i> or <i>wetland</i> on a Biodiversity, Waterways and Wetlands Overlay Map; (ii) is consistent with any current development approval that attaches to the land; (iii) is not located in an area subject to a vegetation protection order, registrable covenant, easement or similar legally binding mechanism that seeks to protect the values and functions of recognised significant <i>vegetation</i>; (iv) is not located in or within 10 metres of the high bank of a natural <i>waterway</i> or <i>wetland</i>, other than a <i>waterway</i> with a revetment wall; (v) is not located on land identified as a landslide hazard area on a Landslide Hazard and Steep Land Overlay Map; (vi) does not involve the removal of <i>vegetation</i> identified as character vegetation in a local plan.
Extractive resources	Natural deposits of sand, gravel, quarry rock, clay, and soil extracted from the earth's crust and processed for use in construction. The term does not include minerals under the <i>Mineral Resources Act 1989</i> such as metal ores, coal, clay for ceramic purposes, foundry sand, limestone and silica sand mined and used for their chemical properties, and rock mined in block or slab form for building or monumental purposes.
Filling or excavation	The removal or importation of material to or from a lot or the relocation of material within a lot that will change the ground level of the land.
Floodplain	An area of land adjacent to a creek, river, estuary, lake, dam or artificial channel, which is subject to inundation by the <i>Probable Maximum Flood</i> (<i>PMF</i>).
Frontage	Any boundary line, or part thereof, of a lot which coincides with the alignment of a road.
Full line supermarket	A <i>supermarket</i> offering all or most major lines of groceries for sale and having a <i>gross leasable floor area</i> generally in excess of 2,500m ² .
	Examples—larger types of the examples cited for the term supermarket.
Gross floor area (GFA)	 The total floor area of all <i>storeys</i> of a building (measured from the outside of the external walls or the centre of a common wall), other than areas used for the following:- (a) building services, plant and equipment; (b) access between levels; (c) ground floor public lobby; (d) a mall; (e) the parking, loading and manoeuvring of motor vehicles; (f) unenclosed private balconies whether roofed or not.
Ground level	The level of the natural ground, or, where the level of the natural ground has been changed, the level as lawfully changed.
	Note—lawfully changed ground level is:

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Column 1 Term	Column 2 Definition
	 (a) the as constructed level of the ground in accordance with an operational works development permit; OR
	 (b) where a site has been filled to manage a flood hazard, a level no higher than: (i) the level of the defined flood event (DFE) or the defined storm tide event (DSTE) for the site; or
	 (ii) if the DFE or DSTE have not been modelled for the area, the highest recorded flood level or storm tide inundation level for the <i>site</i>; or (iii) the level determined by the Council, in all other circumstances.
Gross leasable floor area (GLFA)	That part of the <i>gross floor area</i> of a building accommodating non-residential activities available to be rented by a tenant for exclusive use.
High impact home based business activities	A type of <i>home based business</i> that involves one or more of the following activities:- (a) any form of vehicle repairs, services, detailing; (b) panel beating; (c) spray painting; (d) engine reconditioning, repairs; (e) wood working/manufacturing involving the use of power tools; (f) furniture manufacturing; (g) metal work; (h) welding.
High volume convenience restaurant	The use of premises being fast food outlet for the preparation of take-away meals and foods for sale as a nationally or internationally franchised business, where provision is made for high customer turn over, facilities are provided for eating on the premises, and which may or may not include a <i>drive-through facility</i> .
Home office	 The use of premises being <i>home based business</i> for office activities which:- (a) are subordinate to the residential component of the <i>dwelling</i>; (b) are conducted only by residents of the <i>dwelling</i>; (c) involve no client visits to the premises; (d) are located in the <i>dwelling</i> or an associated building, with no outside activity; and (e) do not exceed a <i>gross floor area</i> of 20m².
Household	An individual or a group of two or more related or unrelated people who reside in the <i>dwelling</i> , with the common intention to live together on a long-term basis and who make common provision for food or other essentials for living.
Industrial activity group	The uses identified in Figure SC1.1.2C (Industrial activity group) as forming part of the <i>industrial activity group</i> .
Industry zone	Means each of the following zones:- (a) Low impact industry zone; (b) Medium impact industry zone; (c) High impact industry zone; and (d) Waterfront and marine industry zone.
Infrastructure	The transport, water cycle management, energy generation, waste management, information and telecommunications, environmental management, open space and social systems and facilities required to support the sustainable growth of the region.
Intensive rural use	Means each of the following uses as defined in Table SC1.1.2 (Use definitions) :- (a) animal keeping; (b) aquaculture; (c) intensive animal industry; and (d) intensive horticulture.
Kawana Waters Development Agreement	The development agreement dated 6 September 1996 between Kawana Estates Pty Ltd (ACN 009 693 556), Buddina Estates Pty Ltd (ACN 009 682 384), the Caloundra City Council and the Minister for Natural Resources and includes all amendments to the development agreement.
Koala habitat tree	Means:- (a) a food tree of the Corymbia, Melaleuca, Lophostemon or Eucalyptus genera; and

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 (b) a preferred shelter species such as Angophora. An integrated plan setting out the environmental, land use, and <i>infrastructure</i> parameters intended to guide development on a <i>site</i> or in an area. A place of local heritage significance as shown on a Heritage and Character Areas Overlay Map. The use of premises being <i>utility installation</i> for:- (a) any undertaking by the <i>Council</i> or other public sector entity (including a <i>distributor-retailer</i> entity) for:-
parameters intended to guide development on a <i>site</i> or in an area. A place of local heritage significance as shown on a Heritage and Character Areas Overlay Map. The use of premises being <i>utility installation</i> for:- (a) any undertaking by the <i>Council</i> or other public sector entity (including a
Overlay Map. The use of premises being <i>utility installation</i> for:- (a) any undertaking by the <i>Council</i> or other public sector entity (including a
(a) any undertaking by the Council or other public sector entity (including a
 (i) the reticulation or conveyance of water, sewerage and stormwater drainage; (ii) the provision or maintenance of roads and traffic controls; or (iii) a public purpose carried out by the <i>Council</i> pursuant to the <i>Local Government Act 2009</i>; (b) the reticulation of power (including electricity and gas); (c) activities and associated facilities that support the effective functioning of public transport services, including bus, rail, road and water transport; (d) activities and associated facilities that support the effective management of a State Forest, National Park or Conservation Park; (e) the provision of postal services; or (f) the provision of telecommunication services not involving the erection of a <i>telecommunications facility</i>.
The term includes <i>ancillary</i> maintenance and storage depots and other facilities for the operation of the use.
A road classified as one of the following on Figure 9.4.8A (2031 Functional Transport Hierarchy) :- (a) highway/motorway; (b) arterial; (c) sub-arterial; (d) controlled distributor; (e) distributor; or (f) district collector.
 The use of premises being <i>utility installation</i> for:- (a) the generation of power (including electricity or gas) from a power plant; (b) the storage or treatment of water, sewage or refuse; or (c) any other Local Government, State or Federal Government purpose which is not a defined use. The term includes <i>ancillary</i> maintenance and storage depots and other facilities for the operation of the use.
Development that requires a location in, or adjacent to, <i>tidal waters</i> to function.
An intermediate floor with a room.
 An alteration, addition or extension to an existing building(s):- (a) which results in an increase in the gross floor area, of the building(s) of less than five per cent of the gross floor area of the existing building(s) or 50m², whichever is the lesser; and (b) where the building work does not intrude into any boundary <i>setback</i> specified as an acceptable solution in an applicable use code.
 All aspects for development for an electricity supply network as defined under the <i>Electricity Act 1994</i>, (or for private electricity works that form an extension of, or provide service connections to properties from the network), if the network operates at standard voltages up to and including 66kV. This includes:- (a) augmentations/upgrades to existing powerlines where the voltage of the <i>infrastructure</i> does not increase; and

Column 1 Term	Column 2 Definition
	controlling works as defined under the <i>Electricity Act 1994</i>) where the voltage of the <i>infrastructure</i> does not increase, and where they are located at an existing <i>substation</i> lot.
Mixed use building	A use of premises that integrates residential uses with non-residential uses such as business uses or <i>community uses</i> .
Mixed use development	Development which comprises a mix of residential and non-residential uses such as business uses or <i>community uses</i> , either within a single building (horizontally or vertically) or multiple buildings of different use.
Net developable area	The area of land available for development. It does not include land that cannot be developed due to constraints such as acid sulphate soils, conservation land, flood affected land or steep slope.
	Note—for the purpose of a local government infrastructure plan, <i>net developable area</i> is usually measured in hectares, net developable hectares (net dev ha).
Netserv Plan	A <i>distributor-retailer</i> 's plan about its water and wastewater networks and provision of water service and wastewater service pursuant to section 99BJ of the <i>South East Queensland Water (Distribution and Retail Restructuring) Act 2009.</i>
Non-juvenile koala habitat tree	A <i>koala habitat tree</i> that has a height of more than four (4) metres, or a trunk with a circumference of more than 31.5 centimetres at 1.3 metres above the ground, or both.
Non-urban zone	 Means each of the following zones:- (a) Community facilities zone if located outside the urban growth management boundary; (b) Sport and recreation zone if located outside the urban growth management boundary; (c) Open space zone; (d) Environmental management and conservation zone; (e) Limited development (landscape residential) zone; (f) Rural zone; (g) Rural residential zone; and (h) Tourism zone if located outside the urban growth management boundary.
Not-for-profit organisation	A bona fide non-profit, volunteer, charitable, community, sporting or religious organisation which is registered with the Australian Tax Office as a charitable/non-profit organisation or with the Office of Fair Trading under either the Associations Incorporation Act 1981 or Collections Act 1966.
Obstacle limitation surface (OLS)	The surface that establishes the limit to which objects may project into the airspace associated with an airport or aerodrome to maintain safe aeronautical operations. The <i>OLS</i> consists of an outer surface, a take-off/approach surface and a transitional surface.
Other activity group	The uses identified in Figure SC1.1.2G (Other activity group) as forming part of the <i>other activity group</i> .
Operational airspace	The areas and vertical dimensions of the <i>OLS</i> of the Sunshine Coast Airport and Caloundra Aerodrome.
Outermost projection	The <i>outermost projection</i> of any part of a building or structure including, in the case of a roof, the outside face of the fascia, or the roof structure where there is no fascia, or attached sunhoods or the like, but does not include retractable blinds, fixed screens, rainwater fittings, or ornamental attachments.
Planning assumptions	Assumptions about the type, scale, location and timing of future growth.
Plot ratio	The ratio of gross floor area to the area of the site.
Prescribed other development codes	The following other development codes contained in Part 9 (Development codes) of the planning scheme:- (a) Landscape code; (b) Nuisance code; (c) Safety and security code; (d) Stormwater management code;

(e) Sustainable		
(f) Transport an (g) Waste mana	d parking code;	
use accommodation or recreation or other residential activity (a) located on a height spec Structures O (i) the build height s Structure not exce the appl (ii) the buil perimete (iii) lift overn setback new buil on the s (iv) having element (v) providin use are and (vi) includin walls (c 25% of (b) accessible t building occu (c) located in a z (i) Maroocl the Tou Tree Pa Street); (ii) Moolool Tourism	rooftop and exceeding (whether fully or partially) the maximum fied for the site on the applicable Height of Buildings and verlay Map under the following circumstances:- ding or structure does not exceed 3 metres above the maximum specified for the site on the applicable Height of Buildings and es Overlay Map, with the exception of a lift overrun which does bed 5 metres above the maximum height specified for the site on icable Height of Buildings and Structures Overlay Map; ding or structure is not located within 2 metres of the rooftop er, other than roof elements and clear glass balustrading; un and building plant associated with any part of the building are a minimum of 3 metres from the rooftop perimeter (applicable to lding work only), other than where facing another tower element ame site; a maximum combined roofed area (including fixed shade s) equivalent to 50% of the floor area of the <i>storey</i> directly below; g for a minimum of 30% of the total rooftop use area as outdoor a (may include fixed shade elements that are not fixed to walls); g visually transparent material to a minimum of 75% of external ther than walls to fire egress stairs), windows and doors, and roof or fixed shade elements. o the general public (i.e. not solely for the exclusive use of upants and their guests); and cone nominated in the following local plan areas:- nydore/Kuluin local plan area (Principal centre zone, that part of rist accommodation zone adjacent to The Esplanade and Cotton arade or that part of the Local centre zone adjacent to King	
Primary active street frontageAny frontage of public place.	a building that creates activity on the adjacent street or other	
street frontage:- (a) contains act for a minimu (b) is built to the (c) has windows	specified in a local plan code, development on a <i>primary active</i> <i>ive uses</i> such as retail and entertainment/catering business uses m of 90% of the street front boundary, e street front boundary at ground level; s and door openings to the adjacent street or public place; and riveway and servicing <i>access</i> across the active street frontage.	
transport network Public Transpor	The public transport corridors identified on Figure 9.4.8C (Strategic Network of Public Transport Links) as a dedicated public transport corridor, public transport priority corridor and public transport advantage corridor.	
Private open space An outdoor space	An outdoor space for the exclusive use of occupants of a building.	
flood (PMF) from the probabl	I that could reasonably occur at a particular location, resulting e maximum precipitation. The <i>PMF</i> defines the extent of flood- erally, it is not physically or financially possible to provide general	
prone land. Gene protection agains		

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Column 1 Term	Column 2 Definition
storm tide (PMST)	meteorological and hydrological conditions that are reasonably possible in a particular locality, including the predicted impacts of climate change.
Property maintenance activities	Vegetation clearing that is reasonably necessary for property maintenance including construction and maintenance of farm tracks, fences, farm structures (e.g. sheds, bores, windmills, tank stands, and stock yards), maintenance of crops, slashing grass, harvesting of crops, maintenance of pasture and cleared land areas and the pruning, felling and clearing of orchard vegetation species.
Protected estate	 Means:- (a) any protected area to which the <i>Nature Conservation Act 1992</i> applies, including any national park, conservation park, resource reserve, nature refuge, coordinated conservation area, wilderness area, World heritage management area and international agreement area; (b) any area protected under other legislation primarily for its conservation significance: and (c) any <i>park</i> owned or controlled by <i>Council</i> and managed primarily for its conservation significance.
Public open space	Outdoor spaces that are generally accessible to the community and provide for a range of sport, recreation, cultural, entertainment or leisure pursuits.
Public safety area	An area immediately beyond the end of a runway and having a relatively high risk from an aircraft incident. The <i>public safety area</i> for the Sunshine Coast Airport is shown on the relevant Airport Environs Overlay Map.
Rear lot	A lot which has <i>access</i> to a road via an access strip which forms part of the lot or via an easement over adjoining land.
Reasonably necessary	Means, in the context of <i>vegetation clearing</i> for a particular purpose, there is no alternative way of achieving the purpose that is prudent and feasible and would avoid <i>vegetation clearing</i> or significantly reduce the extent of <i>vegetation clearing</i> .
Recommended flood level (RFL)	The minimum recommended level for community <i>infrastructure</i> , defined by particular flood and storm tide events, to provide additional immunity from flood and storm tide hazards.
Regional activity centre	An activity centre identified as a <i>regional activity centre</i> in the South-East Queensland Regional Plan 2009 – 2031.
Residential activity group	The uses identified in Figure SC1.1.2A (Residential activity group) as forming part of the <i>residential activity group</i> .
Residential density or density of residential uses	Housing density expressed as <i>equivalent dwellings</i> or lots per hectare of the <i>site</i> .
Residential zone	 Means each of the following zones:- (a) Low density residential zone; (b) Medium density residential zone; (c) High density residential zone; and (d) Tourist accommodation zone.
Resource/ processing area	The extent of an extractive resource and any existing or potential future processing operations. The term includes an area identified as a <i>resource/processing area</i> on an Extractive Resource Areas Overlay Map.
Rooming unit	That part of a building used for accommodation which may include ensuite facilities but which is not a <i>dwelling</i> .
Rural activity group	The uses identified in Figure SC1.1.2F (Rural activity group) as forming part of the <i>rural activity group</i> .
Safe refuge	An area specifically designed and constructed to provide protection for people during a flood or storm tide inundation event.
Secondary active street frontage	Means any frontage of a building that creates activity on the adjacent street or other public place.
	Unless otherwise specified in a local plan, development on a secondary active

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Column 1	Column 2
Term	Definition
	 street frontage:- (a) contains active uses such as retail and entertainment/catering business uses for a minimum of 50% of the street front boundary, (b) is built to the street front boundary, or setback a maximum of 3 metres at ground level; (c) has windows and door openings to the adjacent street or public place; and (d) minimises driveway and servicing access across the active street frontage.
Secondary dwelling	A <i>dwelling</i> used in conjunction with, and subordinate to, a <i>dwelling house</i> on the same lot.
	A <i>secondary dwelling</i> may be constructed under a <i>dwelling house</i> , be attached to a <i>dwelling house</i> or be freestanding.
Sensitive land use (or sensitive receptor)	Each of the following defined uses:- (a) child care centre; (b) community care centre; (c) community residence; (d) dual occupancy; (e) dwelling house; (f) educational establishment; (g) health care services; (h) hospital; (i) multiple dwelling; (j) nature-based tourism; (k) office; (l) relocatable home park; (m) residential care facility; (n) resort complex; (o) retirement facility; (p) rooming accommodation; (q) short-term accommodation; and (r) tourist park.
Service catchment	 An area serviced by an <i>infrastructure</i> network. An <i>infrastructure</i> network is made up of one or more <i>service catchments</i>. Service catchments are determined by the network type and how it has been designed to operate and provide service to the urban areas. Note—for example stormwater network <i>service catchments</i> can be delineated to align with watershed boundaries; open space network <i>service catchments</i> can be determined using local government accessibility standards; water network <i>service catchments</i> can be established as the area serviced by a particular reservoir.
Setback	For a building or structure, the shortest distance measured horizontally from the <i>outermost projection</i> of a building or structure to the vertical projection of the boundary of the lot.
Signface area	 Means:- (a) in the case of a purpose built <i>advertising device</i> which is free standing, the area of the smallest rectangle that can wholly contain the <i>advertising device</i>, measured from the outside of the <i>advertising devices</i> frame; and (b) in the case of an <i>advertising device</i> that is painted on or otherwise affixed to a building or other structure, the area of the smallest rectangle that can wholly contain the <i>advertising device</i>, inclusive of any decorative lines, stripes, borders and architectural trims that immediately surround the device.

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Column 1 Term	Column 2 Definition
	\mathbf{SIGN}_{+}^{+}
Site	Any land on which development is carried out or is proposed to be carried out whether such land comprises the whole or part of one lot or more than one lot if each of such lots is contiguous.
Site cover	 The proportion of the <i>site</i> covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outer most projections of the building(s) and is expressed as a percentage. The term does not include:- (a) any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure; (b) <i>basement</i> car parking areas located wholly below ground level; (c) eaves and sun shading devices.
Slope	 Means:- (a) for the purpose of reconfiguring a lot:- (iv) where the proposed lot is contained wholly within a single <i>slope</i> category shown on a slope analysis, the <i>slope</i> of that category; or (v) where a proposed lot is contained within more than one <i>slope</i> category shown on a <i>slope analysis</i>, the predominant <i>slope</i> of the use area, as follows:- (A) where the use area is contained within one <i>slope</i> category shown on a <i>slope analysis</i>, the <i>slope</i> of that category; or (A) where the use area is contained within one <i>slope</i> category shown on a <i>slope analysis</i>, the <i>slope</i> of that category; or (B) where the use area is contained within more than one <i>slope</i> category shown on a <i>slope analysis</i>, the <i>slope</i> of that category; or (B) where the use area is contained within more than one <i>slope</i> category shown on a <i>slope analysis</i>, the <i>slope</i> is the average of all predominant <i>slopes</i> of the use area. (b) for the purposes of building works or material change of use, the <i>slope</i> of the use area is that determined as follows:- (i) where the use area has one predominant <i>slope</i>, that <i>slope</i>; or (ii) where the use area has more than one predominant <i>slope</i>, the average of all predominant <i>slopes</i>. For the purposes of this definition, predominant <i>slope</i> (%) = (x ÷ y) x 100 where:- 'x' is the vertical distance in metres between the highest point and the lowest point of the area, and 'y' is the horizontal distance in metres measured in a straight line between the highest point and the lowest point of the area.
Slope analysis	average of all predominant slopes applies.Means a diagram prepared by a licensed surveyor indicating the slope of the site
· ·	 based on one metre contour intervals using the following <i>slope</i> categories:- (a) up to 15%; (b) 15% or more but less than 20%; (c) 20% or more but less than 25%;

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Column 1 Term	Column 2 Definition		
	(d) 25% or more.		
Sport and recreation activity group	The uses identified in Figure SC1.1.2E (Sport and recreation activity group) as forming part of the <i>sport and recreation activity group</i> .		
State heritage place ¹	A place of State cultural heritage significance as entered in the Queensland Heritage Register under the <i>Queensland Heritage Act 1992.</i>		
Steep land	Land comprising <i>slopes</i> of 15% or greater.		
Storey	 A space that is situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above, but not a space that contains only:- (a) a lift shaft, stairway or meter room; (b) a bathroom, shower room, laundry, water closet, or other sanitary compartment; or (c) a combination of the above. A <i>mezzanine</i> is a <i>storey</i>. A roofed structure on or part of a rooftop that does not solely accommodate building plant and equipment is a <i>storey</i>. A <i>basement</i> is not a storey. 		
Storm tide inundation area	An area subject to storm tide inundation during the <i>defined storm tide event</i> .		
Streetscape	The collective combination of urban form elements that constitute the view of a street and its public and private domains. These elements include buildings, roads, footpaths, <i>vegetation</i> , open spaces and street furniture.		
Sunshine Coast activity centre network	The network of activity centres described in Table SC1.2.3 (Sunshine Coast activity centre network).		
Supermarket	A single self-contained retailing outlet with fast service checkout facilities offering groceries and associated goods and services for sale.		
	Examples – Aldi, Coles, Foodstore, IGA, Woolworths.		
Temporary use	A use that is impermanent and may be irregular or infrequent that does not require the construction of a permanent building or the installation of permanent <i>infrastructure</i> or services.		
Third party advertising device	An <i>advertising device</i> placed on premises for the purpose of advertising a matter not associated with the primary purpose for which the premises is used or developed.		
Tidal waters	 Means:- (a) the sea and any part of a harbour or <i>waterway</i> ordinarily within the ebb and flow of the tide at spring tides; or (b) the water downstream from a downstream limit declared under the <i>Water Act 2000</i>. 		
Transport hierarchy	The <i>transport hierarchy</i> shown on Figure 9.4.8A (2031 Functional Transport Hierarchy) .		
Transport network	All transport corridors within the defined <i>transport hierarchy</i> , network of pedestrian and cyclist links and network of public transport links.		
Transport route	A <i>transport route</i> shown on an Extractive Resource Areas Overlay Map, being the primary route for the transport of extracted resources from the extractive resource area to a State-controlled road.		
Ultimate	The realistic extent of development anticipated to be achieved when a <i>site</i> (or		

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¹ Editor's note—State heritage places are shown on the Heritage and Character Areas Overlay Maps for information purposes only. Development involving a State heritage place is subject to the provisions of the Queensland Heritage Act 1992.

Column 1 Term	Column 2 Definition		
development	projection area or infrastructure service catchment) is fully developed.		
Urban purposes	For the purpose of the local government infrastructure plan, <i>urban purposes</i> includes residential (other than rural residential), retail, commercial, industrial, community and government related purposes.		
Urban zone	 Means each of the following zones:- (a) Low density residential zone; (b) Medium density residential zone; (c) High density residential zone; (d) Tourist accommodation zone; (e) Principal centre zone; (f) Major centre zone; (g) District centre zone; (h) Local centre zone; (i) Low impact industry zone; (j) Medium impact industry zone; (k) High impact industry zone; (l) Waterfront and marine industry zone; (m) Community facilities zone if located within the urban growth management boundary; (n) Emerging community zone; (o) Sport and recreation zone if located within the urban growth management boundary; (p) Specialised centre zone; and (q) Tourism area zone if located within the urban growth management boundary. 		
Use area	Means the area comprising the total <i>gross floor area</i> of all buildings on the <i>site</i> and any other part of the <i>site</i> which is to be used.		
Vegetation	Trees, plants and all other organisms of vegetable origin, whether living or dead.		
Vegetation clearing	 The destruction of <i>vegetation</i> or interference with its natural growth in any way including removing, clearing, slashing, cutting down, ringbarking, scar-barking, pushing or pulling over, poisoning (including by contamination), burning, flooding, draining or compacting of roots. The term does not include:- (a) destruction of standing <i>vegetation</i> by stock; (b) lopping a tree by cutting or pruning its branches, provided that it does not involve:- (i) removing the tree's trunk; or (ii) cutting or pruning the tree's branches so severely that it is likely to die; or 		
Water resource catchment area	An area shown on a Water Resource Catchments Overlay Map as being a <i>water</i> resource catchment area.		
Water supply storage	A water supply storage area used for bulk water supply as shown on a Water Resource Catchments Overlay Map.		
Waterway	 A river, creek or other stream, including a stream in the form of an anabranch or a tributary, in which water flows permanently or intermittently, regardless of the frequency of flow events, in a natural channel, whether artificially modified or not or in an artificial channel that has changed the course of the stream. A <i>waterway</i> includes any of the following located in it:- (a) in-stream islands; (b) benches; (c) bars. The term includes constructed storm water drains with surface water flows but not piped water drains. 		
Wetland	An area of permanent, periodic or intermittent inundation that includes areas of open water and/or native vegetation, with water that is static or flowing, fresh, brackish or salt. The term may include <i>wetlands</i> which lie within <i>floodplains</i> , but		

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as well as <i>constructed water bodies</i> but does not include <i>waterways</i> as separa defined.

Table SC1.2.3 Sunshine Coast activity centre network

Description	Location	Applicable local plan or structure plan		
Regional activity centres				
Principal regional activity centre (Maroochydore City Centre)	Maroochydore	Maroochydore/Kuluin local plan		
Provides for the largest and most diverse mix of uses and activities that form the core of urban settlement and includes a concentration of high-order retail, commercial, employment, health services, administrative, community, cultural, recreational and entertainment activities and other uses, servicing the Sunshine Coast region.		Editor's note—part of the Maroochydore Principal Regional Activity Centre is a priority development area subject to the <i>Economic Development Act 2012.</i>		
Major regional activity centres Provides for a wide mix of uses and activities and include concentrations of higher order retail, commercial, employment, health services, administrative, community, cultural and entertainment facilities and other uses capable of servicing part of the Sunshine Coast. Caloundra and Nambour are dominant major <i>regional activity centres.</i>	 Caloundra Nambour Beerwah Caloundra South Kawana Town Centre Sippy Downs Town Centre 	 Caloundra local plan Nambour local plan Beerwah local plan Not applicable Development Control Plan No. 1 (Kawana Waters) Sippy Downs local plan Editor's note—Caloundra South is a priority development area subject to the Economic Development Act 2012. 		
Specialist activity centre Provide specialist uses and related uses that promote economic activity and employment.	Sunshine Coast Airport	Maroochy North Shore local plan		
Sub-regional activity centres				
District activity centres Provide for a mix of uses and activities and include a concentration of retail, commercial, residential, offices and health services, community, entertainment and recreation facilities capable of servicing a district.	 Buderim Caloundra South Coolum Beach Currimundi Kawana (North) Maleny Mooloolaba Palmview Pelican Waters 	 Buderim local plan Not applicable Coolum local plan Caloundra local plan Caloundra local plan Kawana Waters local plan Maleny local plan Mooloolaba/Alexandra Headland local plan Palmview Structure Plan Golden Beach/Pelican Waters local plan Editor's note—Caloundra South is a priority development area subject to the Economic Development Act 2012. 		
Local (full service) activity centres	• Aroona	Caloundra West local plan		

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Description	Location	Applicable local plan or structure plan	
Provide for a wide range of local shopping, local employment, commercial, cafes and dining, entertainment, community services together with residential development where it can integrate and enhance the fabric of the activity centre.	 Bli Bli Brightwater Caloundra South Chancellor Park West Coolum West Eumundi Glass House Mountains Kenilworth Landsborough Mooloolah Mountain Creek Pacific Paradise Palmwoods Peregian Springs Woombye Yandina 	 Not applicable Sippy Downs local plan Coolum local plan Coolum local plan Eumundi local plan Eumundi local plan Glass House Mountains local plan Kenilworth local plan Landsborough local plan Mooloolah local plan Buderim local plan Buderim local plan Maroochy North Shore local plan Paradise Paramise Paramise Paramise Paramise Woombye local plan Woombye local plan 	
Local (not full service) activity centres	Not described		
Provide a local convenience function only, accommodating small scale services and facilities and supporting the role of higher order activity centres in the activity centre network.	Note—a number of smaller local activity centres and local business areas are located throughout the Sunshine Coast.		

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Appendix 2 Table of amendments

Date of adoption	Planning scheme	Amendment type	Summary of amendment
and effective date Date of adoption – 24 July 2014 Effective date – 10 November 2014	Version number Version 2 incorporating Sunshine Coast Planning Scheme 2014 (Minor Amendment) No. 1	Minor Amendment	The amendment clarifies the application and interpretation of the filling and excavation provisions in the Dwelling house code and the provisions relating to dwelling houses in the Landslide hazard and steep land overlay code.
Date of adoption – 26 February 2015 Effective date – 9 March 2015	Version 3 incorporating Sunshine Coast Planning Scheme 2014 (Administrative and Minor Amendment) No. 2	Administrative and Minor Amendment	The amendment corrects formatting, spelling, grammatical, mapping and cross-referencing errors and corrects factual matters incorrectly stated in the Planning Scheme.
Date of adoption – 13 July 2015 Effective date – 3 August 2015	Version 4 incorporating Planning Scheme Policies (Administrative and Minor Amendment) No. 3	Administrative and Minor Amendment	The amendment corrects spelling and grammatical errors, factual matters incorrectly stated, outdated terms and minor technical matters in the planning scheme policies for the flood hazard overlay code, development works and the transport and parking code.
Date of adoption – 23 November 2015 Effective date – 7 December 2015	Version 5 incorporating Sunshine Coast Planning Scheme 2014 (Transitional Interim Local Government Infrastructure Plan Amendment) No. 4	Transitional Interim Local Government Infrastructure Plan Amendment	The amendment deletes reference to water and sewer networks, corrects mapping errors, adds and removes a number of infrastructure projects and includes other minor revision or corrections.
Date of adoption – 22 March 2016 Effective date – 1 April 2016	Version 6 incorporating Sunshine Coast Planning Scheme 2014 (Major Amendment) No. 5	Major Amendment	The amendment reflects revised land use, densities and road layouts for the Palmview Master Planned Area, and includes amendments to the Planning Scheme Policy for Palmview Structure Plan and consequential planning scheme amendments.
Date of adoption – 5 August 2016 Effective date – 15 August 2016	Version 7 incorporating Sunshine Coast Planning Scheme 2014 (Major Amendment) No. 6	Major Amendment	The amendment changes the zoning of land at Tweddell Drive, Pelican Waters and at School Road, Bli Bli. The amendment also corrects a number of site specific zoning and building height anomalies located in other parts of the planning scheme area.
Date of adoption – 5 August 2016 Effective date – 15 August 2016	Version 7 incorporating Sunshine Coast Planning Scheme 2014 (Major Amendment) No. 7	Administrative and Minor Amendment	The amendment corrects formatting, spelling, grammatical, mapping and cross-referencing errors, corrects factual matters incorrectly stated in the Planning Scheme and reflects updates to the Queensland Planning Provisions (version 4.0).

Table AP2.1 Table of amendments

Date of adoption and effective date	Planning scheme version number	Amendment type	Summary of amendment
Date of adoption – 16 February 2017 Effective date – 27 February 2017	Version 8 incorporating Sunshine Coast Planning Scheme 2014 (Administrative and Minor Amendment) No. 8	Administrative and Minor Amendment	The amendment corrects formatting, grammatical, mapping and cross- referencing errors. The amendment also reflects a number of development approvals including the Caloundra South Development Scheme and reflects latest State Planning Policy mapping in relation to transport infrastructure and erosion prone areas.
Date amendment made – 18 May 2017 Effective date – 3 July 2017	Version 9 incorporating Sunshine Coast Planning Scheme 2014 (Alignment Amendment) No. 9	Alignment Amendment	The amendment provides for terminology and other operational changes required to align the Planning Scheme with the <i>Planning</i> <i>Act 2016</i> and the <i>Planning</i> <i>Regulation 2017</i> .
Date of adoption – 17 July 2017 Effective date – 31 July 2017	Version 10 incorporating Sunshine Coast Planning Scheme 2014 (Major Amendment) No. 10	Major Amendment	The amendment reflects the vision and recommendations of the <i>Place</i> <i>Making Mooloolaba Master Plan</i> and generally applies to the Mooloolaba town centre of the Mooloolaba/Alexandra Headland local plan area.
Date of adoption – 26 February 2018 Effective date – 5 March 2018	Version 11 incorporating Sunshine Coast Planning Scheme 2014 (Qualified State Interest Amendment) No. 11	Qualified State Interest Amendment	The amendment deletes the requirement for the Muraban Street extension through Key Site 1 (Brisbane Road Carpark), from the Mooloolaba/Alexandra Headland local plan code.
Date of adoption – 8 March 2018 Effective date – 19 March 2018	Version 12 incorporating Sunshine Coast Planning Scheme 2014 (Major Amendment) No. 12	Major Amendment	The amendment changes the zoning of land at Twin Waters West, Pacific Paradise and includes specific provisions in the Maroochy North Shore Local plan code to guide future development of the Twin Waters West land. The amendment also undertakes necessary consequential planning scheme amendments.
Date of adoption – 8 May 2018 Effective date – 14 May 2018	Version 13 incorporating Sunshine Coast Planning Scheme 2014 (Major Amendment and Alignment Amendment) No. 13	Major Amendment and Alignment Amendment	The amendment changes a zone or overlay relating to specific sites and addresses operational matters to improve the clarity and efficiency of the planning scheme. The amendment also makes terminology changes to align the amended provisions with the <i>Planning Act</i> 2016 and the <i>Planning Regulation</i> 2017.

Date of adoption and effective date	Planning scheme version number	Amendment type	Summary of amendment
Date of adoption – 5 June 2018 Effective date – 11 June 2018	Version 14 incorporating Sunshine Coast Planning Scheme 2014 (Major Amendment) No. 14	Major Amendment	The amendment deletes the Structure Plan for the Maroochydore Principal Regional Activity Centre from Part 10 (Other Plans) and incorporates relevant provisions relating to the area within the remainder of the planning scheme. The amendment also changes a zone or overlay relating to a number of specific sites within the Maroochydore Principal Regional Activity Centre and makes terminology changes to align the amended provisions with the <i>Planning Act 2016</i> and the <i>Planning</i> <i>Regulation 2017</i> .
Date of adoption – 14 June 2018 Effective date – 29 June 2018	Version 15 incorporating Sunshine Coast Planning Scheme 2014 (Local Government Infrastructure Plan Amendment) No. 15	Local Government Infrastructure Amendment	The amendment replaces the existing Priority Infrastructure Plan with a Local Government Infrastructure Plan that complies with the Sustainable Planning Act 2009 (repealed) and Statutory Guideline 03/14 Local government infrastructure plan.
Date of adoption – 27 September 2018 Effective date – 19 October 2018	Version 16 applying or adopting Development Control Plan 1 Kawana Waters (Qualified State Interest Amendment) No. 16	Qualified State Interest Amendment	The amendment reflects and provides for the continued effect of the provisions of <i>Temporary Local</i> <i>Planning Instrument (Kawana</i> <i>Waters Town Centre) No. 3 2017</i> , which revises the planning and development framework for the Kawana Waters Town Centre.
Date of adoption - 27 November 2018 Effective date - 10 December 2018	Version 17 incorporating Sunshine Coast Planning Scheme 2014 (Qualified State Interest Amendment) No. 17	Qualified State Interest Amendment	The amendment provides for additional building height for certain publicly accessible rooftop uses in major tourism location on the Sunshine Coast.
Date of adoption – 15 March 2019 Effective date -1 April 2019	Version 18 incorporating Sunshine Coast Planning Scheme 2014 Amendment No. 18	Tailored Amendment	The amendment responds to changes to the Urban Footprint under the <i>South East Queensland</i> <i>Regional Plan 2017</i> (ShapingSEQ). The amendment also includes a small number of operational amendments which seek to improve the clarity and efficiency of the planning scheme, particularly with respect to local parks, telecommunication facilities and parking rates.
Date of adoption – 9 September 2019 Effective date – 23 September 2019	Version 19 incorporating Sunshine Coast Planning Scheme (Major Amendment) No. 19	Major Amendment	The amendment reflects the adopted <i>Caloundra Centre Master</i> <i>Plan</i> and responds to a small number of other matters related to development in the Caloundra Centre.

Date of adoption and effective date	Planning scheme version number	Amendment type	Summary of amendment
Date of adoption – 1 November 2019 Effective date – 11 November 2019	Version 20 incorporating Sunshine Coast Planning Scheme (Major Amendment) No. 20	Major Amendment	The amendment changes zoning, overlays, precincts and/or planning provisions for a number of specific sites. The amendment also the zoning and the Height of buildings and structures overlay for a number of specific sites relating to Educational establishments, Residential care facilities and retirement facilities. The amendment also reduces the number of building height increments in the Height of buildings and structures overlay and addresses other operational matters to improve the clarity and efficiency of the planning scheme.